



Retaining Wall in Lot 695
 Max Height : 2.5m
 Min Height : 2.0m
 Average Height : 2.25m

Retaining Wall in Lot 695
 Max Height : 2.0m
 Min Height : 0.5m
 Average Height : 1.25m

Retaining Wall in Lot 695
 Max Height : 2.15m
 Min Height : 2.15m
 Average Height : 2.15m

Retaining Wall in Lot 695
 Max Height : 2.15m
 Min Height : 1.2m
 Average Height : 1.7m

LEGEND

- Area of Fill
- Area of Cut
- Contours (Constructed)
- Zero Lot Boundary
- Retaining Wall
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level
- 1.0 Depth of Fill

(Not all items in this legend may be relevant to the lot shown hereon)

NOTES

This plan has been prepared from preliminary survey plan (SP302892), engineering plans provided on the 18/12/19 by KN Group & site survey conducted by Saunders Havill Group in Jan-Feb 2020.

Lot 695 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

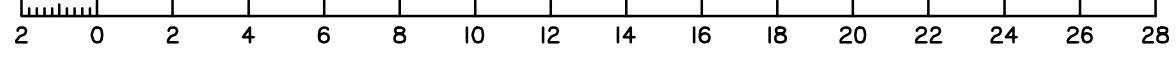
Development Approval for reconfiguration of a lot and material change of use (Application 1489/2017/CA) have been approved by Ipswich City Council (25/09/2017).

Development Approval has been granted for Operational Works for the proposed lot (17/09/18).

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.

No.	by	Date	Description
A	TBG	08/03/19	Original Issue
B	TBG	19/12/19	Earthworks Update. Built to Bdy removed
C	TBG	05/02/20	Earthworks Updated as per construction

Scale 1:200 - Lengths are in Metres.



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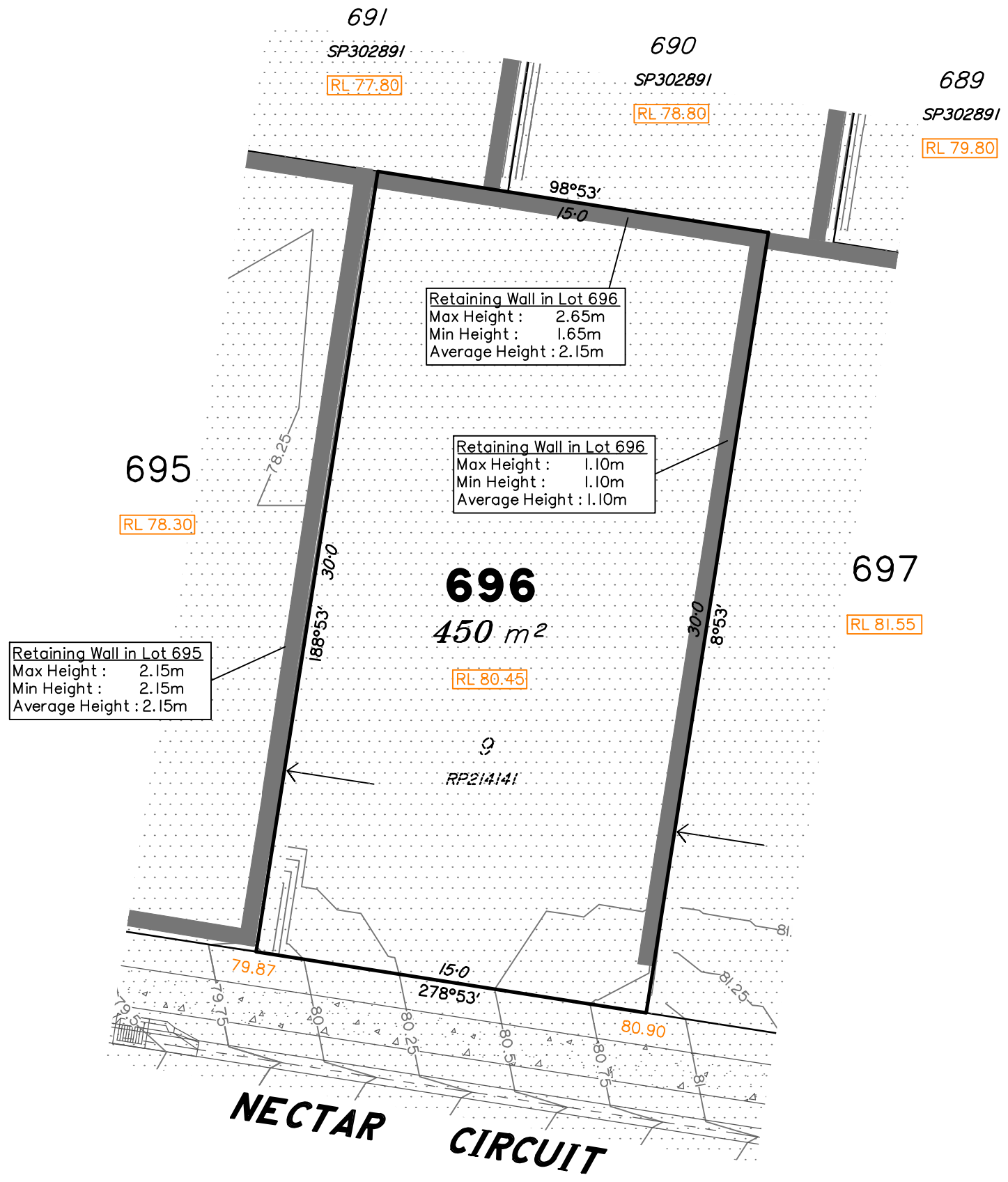
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Disclosure Plan for Proposed Lot 695 (Restricted) on SP302892

Described as part of Lot 9001 (Restricted) on SP302893
 Existing Title Reference: 51192607

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PM203515
 RL of Origin: 86.32
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Dwg No. 8655 S 07 DP C_695



LEGEND	
	Area of Fill
	Area of Cut
	Design Contours
	Zero Lot Boundary
	Retaining Wall
38.78	Finished Surface Design Level
RL 38.78	Finished Pad Design Level
1.0	Depth of Fill

(Not all items in this legend may be relevant to the lot shown hereon)

NOTES

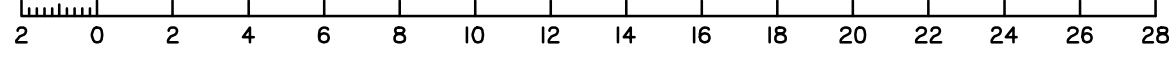
This plan has been prepared from preliminary survey plan (SP302892), engineering plans provided on the 18/12/19 by KN Group & site survey conducted by Saunders Havill Group in Jan-Feb 2020.

Lot 696 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval for reconfiguration of a lot and material change of use (Application 1489/2017/CA) have been approved by Ipswich City Council (25/09/2017).

Development Approval has been granted for Operational Works for the proposed lot (17/09/18).

Scale 1:200 – Lengths are in Metres.



No.	by	Date	Description
A	TBG	08/03/19	Original Issue
B	TBG	17/12/19	Earthworks Update
C	TBG	05/02/20	Earthworks Updated as per construction

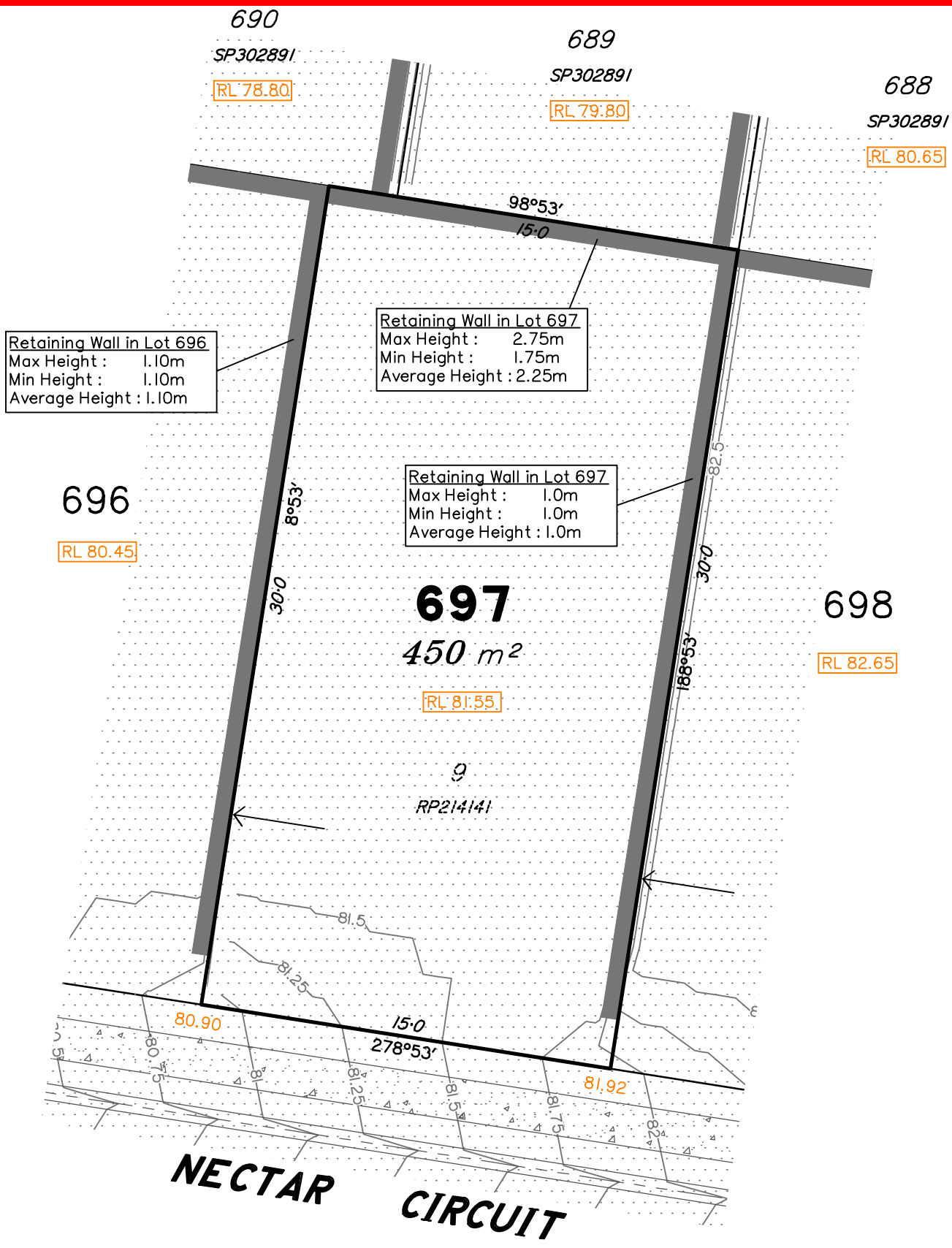


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Disclosure Plan for Proposed Lot 696 (Restricted) on SP302892
 Described as part of Lot 9001 (Restricted) on SP302893
 Existing Title Reference: 51192607
 Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PM203515
 RL of Origin: 86.32
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Dwg No. 8655 S 07 DP C_696

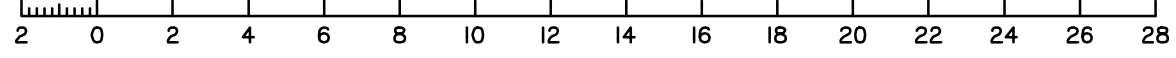


Retaining Wall in Lot 696
 Max Height : 1.10m
 Min Height : 1.10m
 Average Height : 1.10m

Retaining Wall in Lot 697
 Max Height : 2.75m
 Min Height : 1.75m
 Average Height : 2.25m

Retaining Wall in Lot 697
 Max Height : 1.0m
 Min Height : 1.0m
 Average Height : 1.0m

Scale 1:200 – Lengths are in Metres.



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Zero Lot Boundary
- Retaining Wall
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level
- 1.0 Depth of Fill

(Not all items in this legend may be relevant to the lot shown hereon)

NOTES

This plan has been prepared from preliminary survey plan (SP302892), engineering plans provided on the 18/12/19 by KN Group & site survey conducted by Saunders Havill Group in Jan-Feb 2020.

Lot 697 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval for reconfiguration of a lot and material change of use (Application 1489/2017/CA) have been approved by Ipswich City Council (25/09/2017).

Development Approval has been granted for Operational Works for the proposed lot (17/09/18).

No.	by	Date	Description
A	TBG	08/03/19	Original Issue
B	TBG	17/12/19	Earthworks Update
C	TBG	05/02/20	Earthworks Updated as per construction

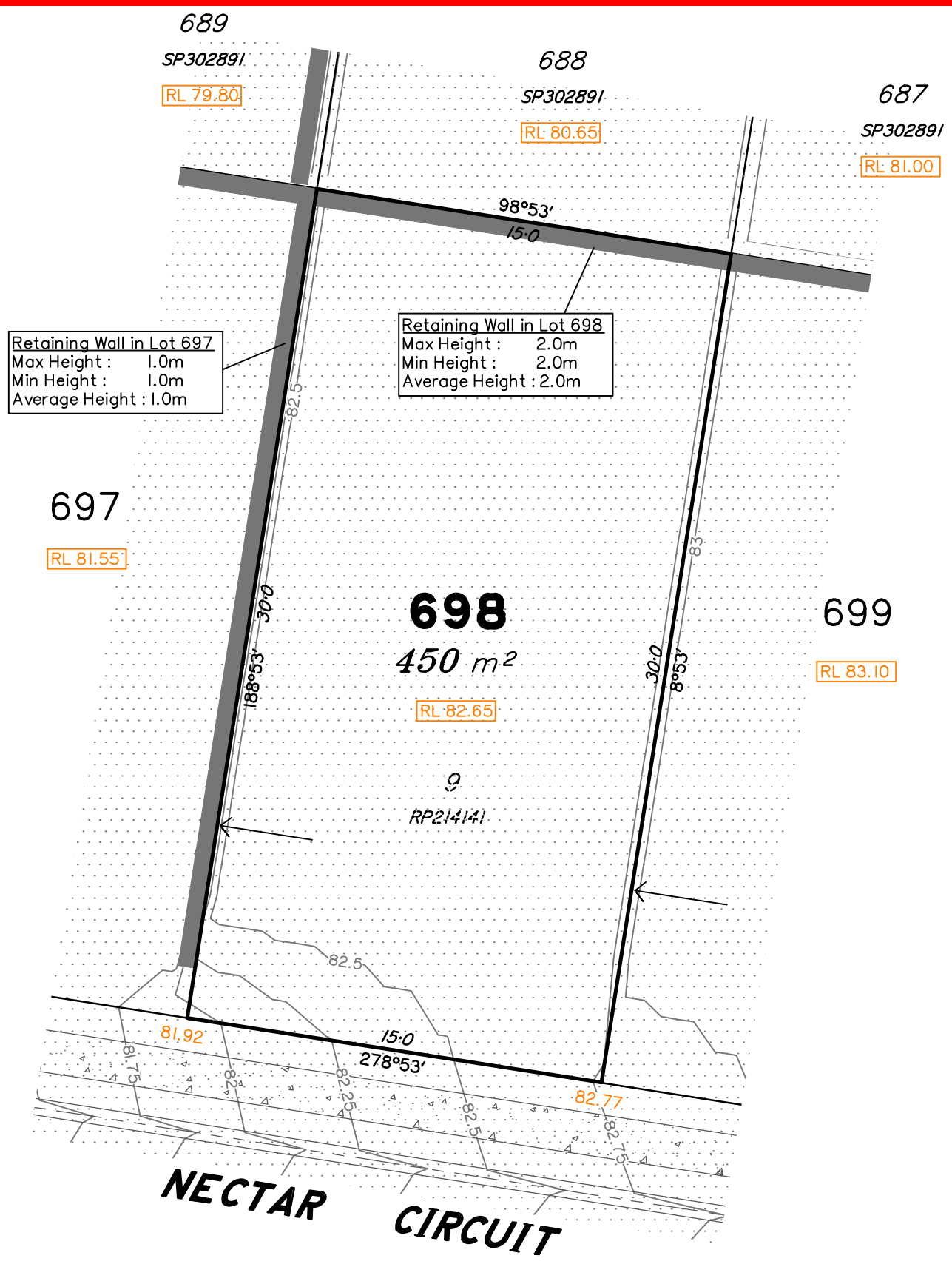


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Disclosure Plan for Proposed Lot 697 (Restricted) on SP302892
 Described as part of Lot 9001 (Restricted) on SP302893
 Existing Title Reference: 51192607
 Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PM203515
 RL of Origin: 86.32
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Dwg No. 8655 S 07 DP C_697



LEGEND	
	Area of Fill
	Area of Cut
	Design Contours
	Zero Lot Boundary
	Retaining Wall
38.78	Finished Surface Design Level
RL 38.78	Finished Pad Design Level
1.0	Depth of Fill

(Not all items in this legend may be relevant to the lot shown hereon)

NOTES

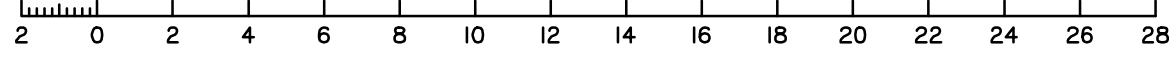
This plan has been prepared from preliminary survey plan (SP302892), engineering plans provided on the 18/12/19 by KN Group & site survey conducted by Saunders Havill Group in Jan-Feb 2020.

Lot 698 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval for reconfiguration of a lot and material change of use (Application 1489/2017/CA) have been approved by Ipswich City Council (25/09/2017).

Development Approval has been granted for Operational Works for the proposed lot (17/09/18).

Scale 1:200 – Lengths are in Metres.



No.	by	Date	Description
A	TBG	08/03/19	Original Issue
B	TBG	17/12/19	Earthworks Update
C	TBG	05/02/20	Earthworks Updated as per construction



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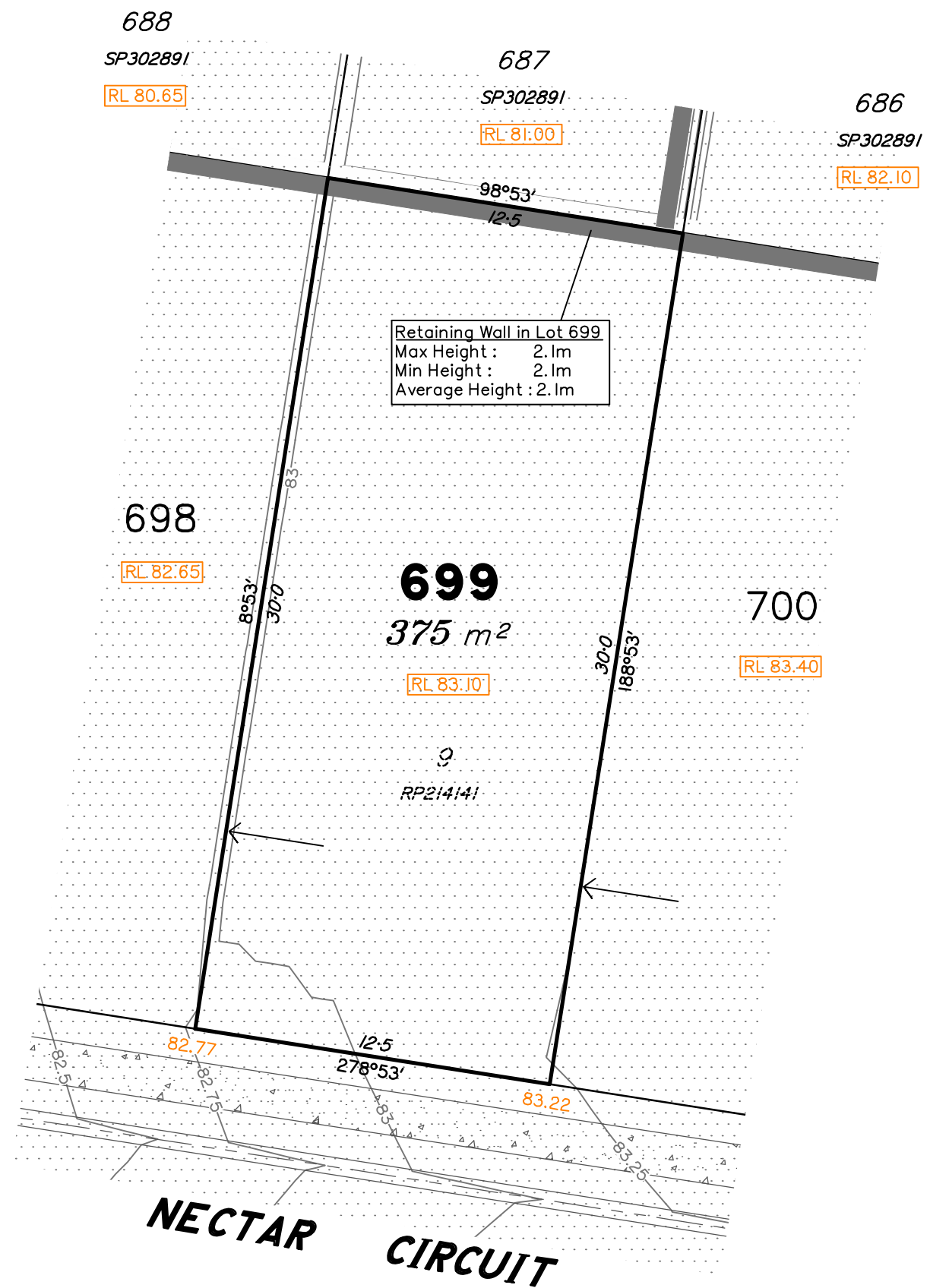
Disclosure Plan for Proposed Lot 698 (Restricted) on SP302892

Described as part of Lot 9001 (Restricted) on SP302893
 Existing Title Reference: 51192607

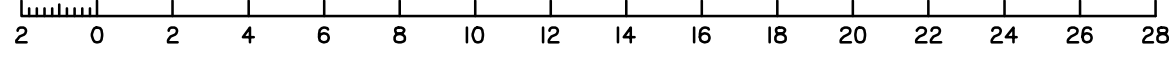
Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PM203515
 RL of Origin: 86.32
 Contour Interval: 0.25m

Scale @A3 1: 200
 Dwg No. 8655 S 07 DP C_698



Scale 1:200 – Lengths are in Metres.



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Zero Lot Boundary
- Retaining Wall
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level
- 1.0 Depth of Fill

(Not all items in this legend may be relevant to the lot shown hereon)

NOTES

This plan has been prepared from preliminary survey plan (SP302892), engineering plans provided on the 18/12/19 by KN Group & site survey conducted by Saunders Havill Group in Jan-Feb 2020.

Lot 699 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval for reconfiguration of a lot and material change of use (Application 1489/2017/CA) have been approved by Ipswich City Council (25/09/2017).

Development Approval has been granted for Operational Works for the proposed lot (17/09/18).

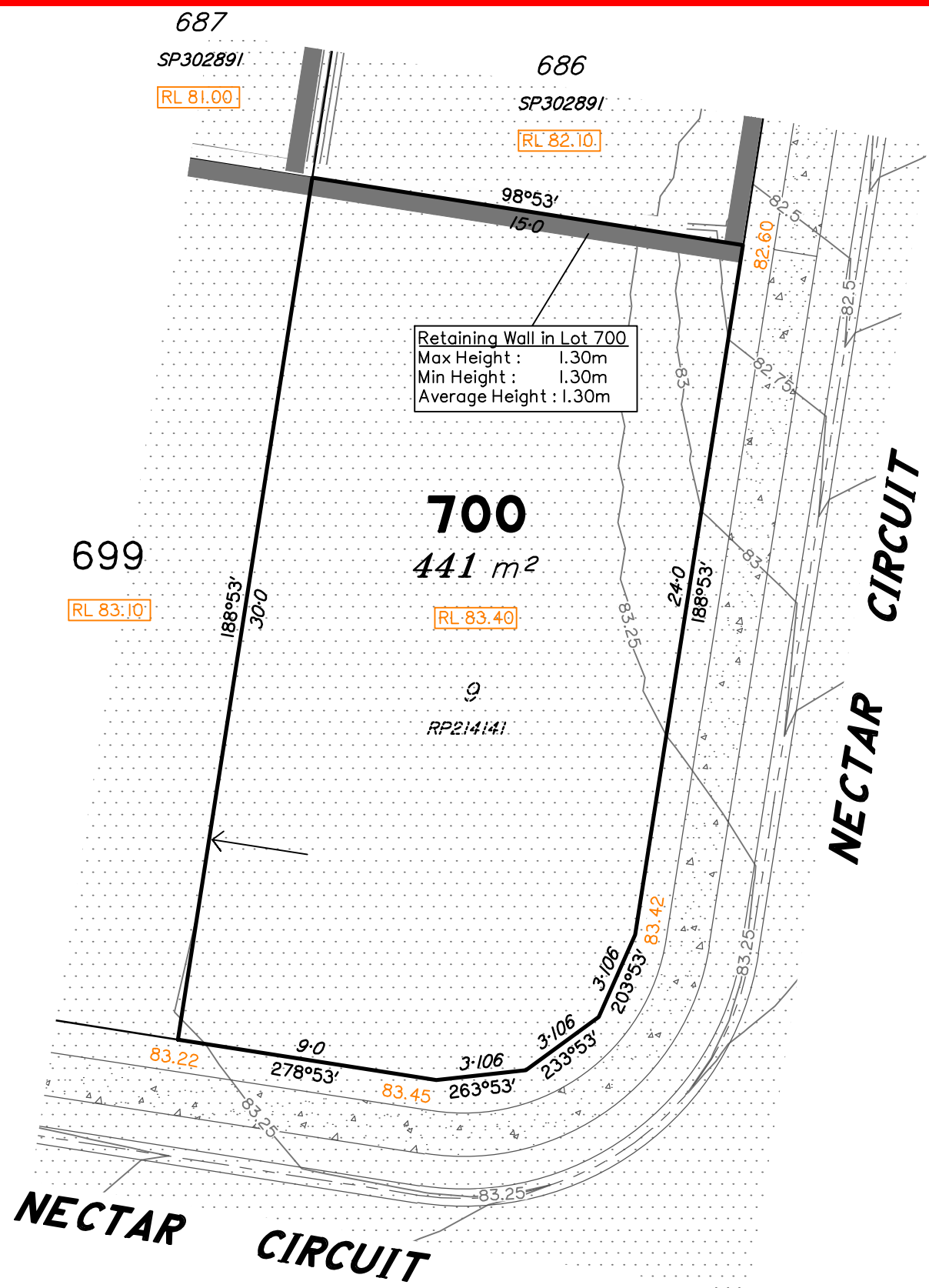
No.	by	Date	Description
A	TBG	08/03/19	Original Issue
B	TBG	17/12/19	Earthworks Update
C	TBG	05/02/20	Earthworks Updated as per construction

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Disclosure Plan for Proposed Lot 699 (Restricted) on SP302892
 Described as part of Lot 9001 (Restricted) on SP302893
 Existing Title Reference: 51192607
 Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PM203515
 RL of Origin: 86.32
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Dwg No. 8655 S 07 DP C_699



LEGEND	
	Area of Fill
	Area of Cut
	Design Contours
	Zero Lot Boundary
	Retaining Wall
38.78	Finished Surface Design Level
RL 38.78	Finished Pad Design Level
1.0	Depth of Fill

(Not all items in this legend may be relevant to the lot shown hereon)

NOTES

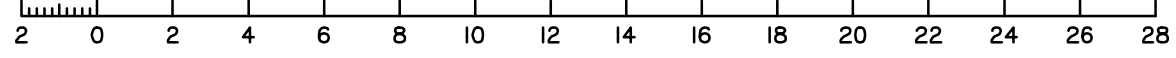
This plan has been prepared from preliminary survey plan (SP302892), engineering plans provided on the 18/12/19 by KN Group & site survey conducted by Saunders Havill Group in Jan-Feb 2020.

Lot 700 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval for reconfiguration of a lot and material change of use (Application 1489/2017/CA) have been approved by Ipswich City Council (25/09/2017).

Development Approval has been granted for Operational Works for the proposed lot (17/09/18).

Scale 1:200 – Lengths are in Metres.



No.	by	Date	Description
A	TBG	08/03/19	Original Issue
B	TBG	17/12/19	Earthworks Update
C	TBG	05/02/20	Earthworks Updated as per construction



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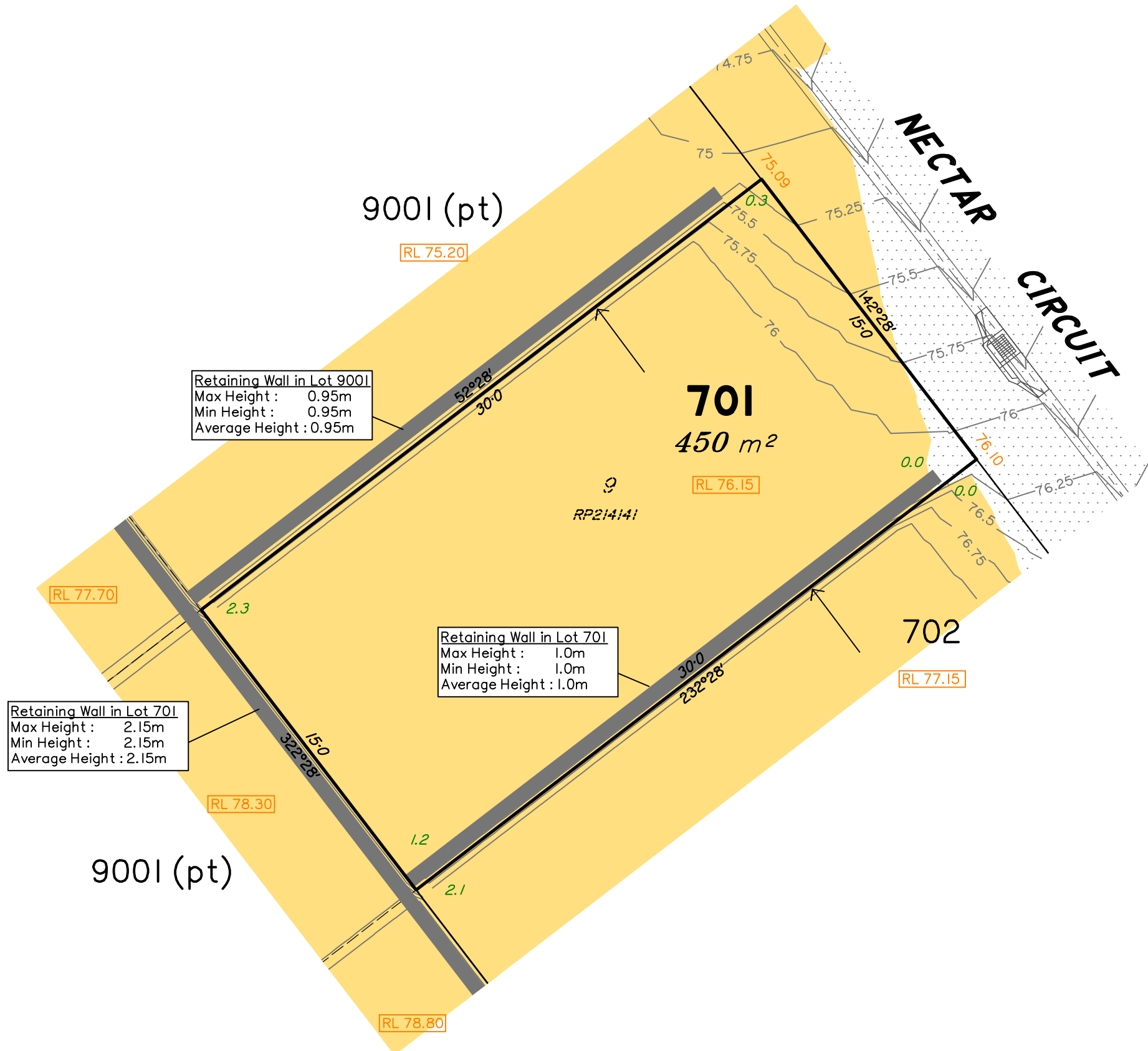
Disclosure Plan for Proposed Lot 700 (Restricted) on SP302892

Described as part of Lot 9001 (Restricted) on SP302893
 Existing Title Reference: 51192607

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PM203515
 RL of Origin: 86.32
 Contour Interval: 0.25m

Scale @A3 1: 200
 Dwg No. 8655 S 07 DP C_700



Retaining Wall in Lot 9001
 Max Height : 0.95m
 Min Height : 0.95m
 Average Height : 0.95m

Retaining Wall in Lot 701
 Max Height : 1.0m
 Min Height : 1.0m
 Average Height : 1.0m

Retaining Wall in Lot 701
 Max Height : 2.15m
 Min Height : 2.15m
 Average Height : 2.15m

LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Zero Lot Boundary
- Retaining Wall
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level
- 1.0 Depth of Fill

(Not all items in this legend may be relevant to the lot shown hereon)

NOTES

This plan has been prepared from preliminary survey plan (SP302892) and engineering plans provided on the 08/08/18 by Premise Engineering.

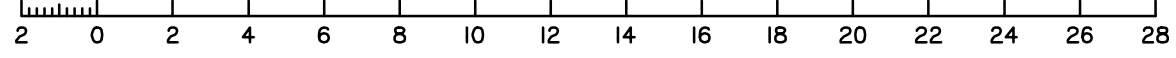
Lot 701 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval for reconfiguration of a lot and material change of use (Application 1489/2017/CA) have been approved by Ipswich City Council (25/09/2017).

Development Approval has been granted for Operational Works for the proposed lot (17/09/18).

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.

Scale 1:200 - Lengths are in Metres.



No.	by	Date	Description
A	TBG	08/03/19	Original Issue



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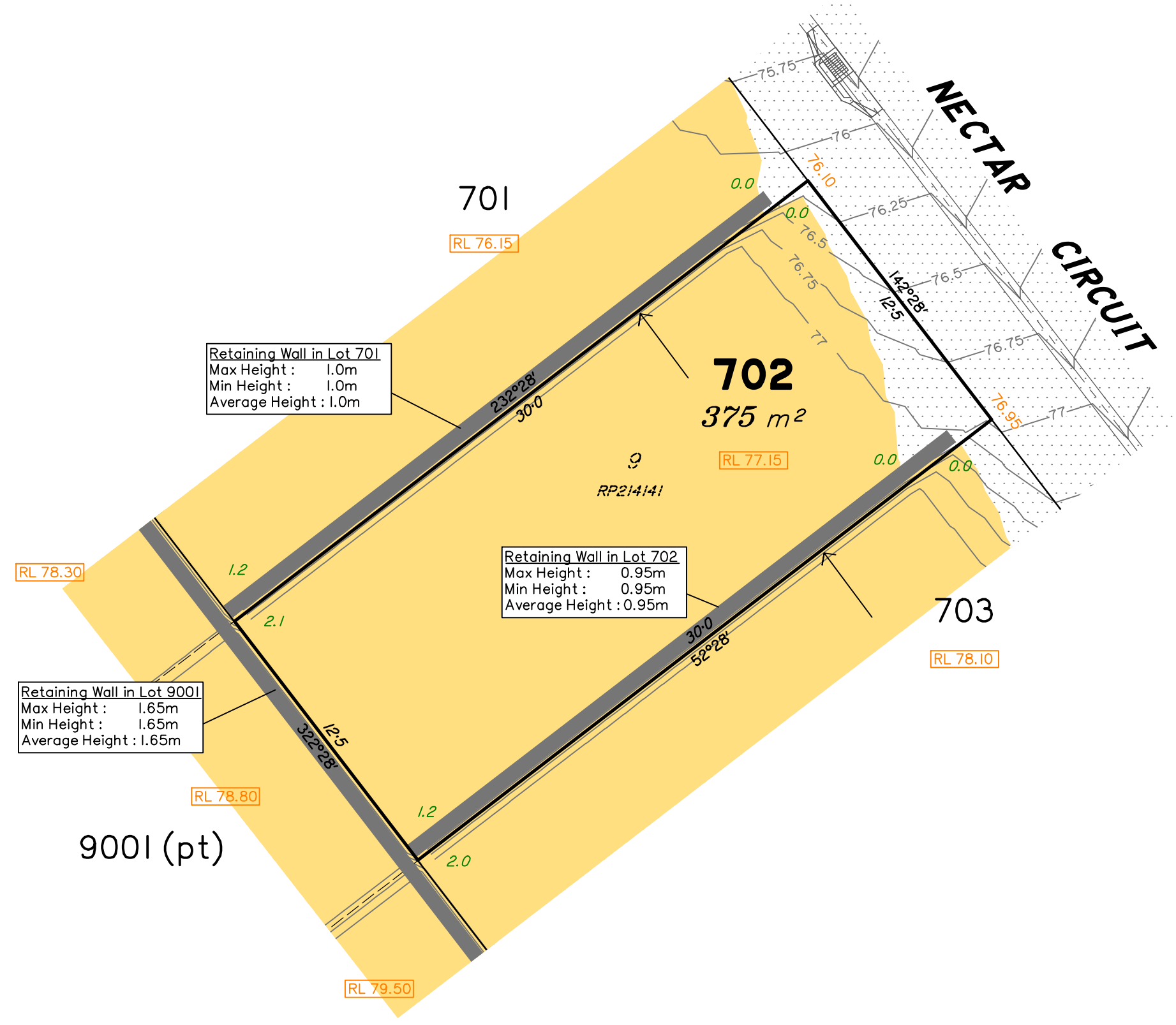
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Disclosure Plan for Proposed Lot 701 (Restricted) on SP302892

Described as part of Lot 9001 (Restricted) on SP302893
 Existing Title Reference: 51192607

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PM203515
 RL of Origin: 86.32
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Dwg No. 8655 S 07 DP A_701



LEGEND	
	Area of Fill
	Area of Cut
	Design Contours
	Zero Lot Boundary
	Retaining Wall
38.78	Finished Surface Design Level
RL 38.78	Finished Pad Design Level
1.0	Depth of Fill

(Not all items in this legend may be relevant to the lot shown hereon)

NOTES

This plan has been prepared from preliminary survey plan (SP302892) and engineering plans provided on the 08/08/18 by Premise Engineering.

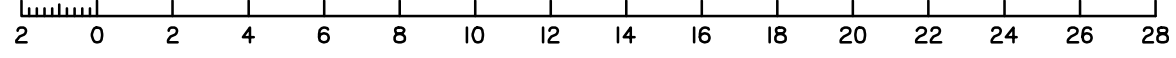
Lot 702 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval for reconfiguration of a lot and material change of use (Application 1489/2017/CA) have been approved by Ipswich City Council (25/09/2017).

Development Approval has been granted for Operational Works for the proposed lot (17/09/18).

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.

Scale 1:200 – Lengths are in Metres.



No.	by	Date	Description
A	TBG	08/03/19	Original Issue



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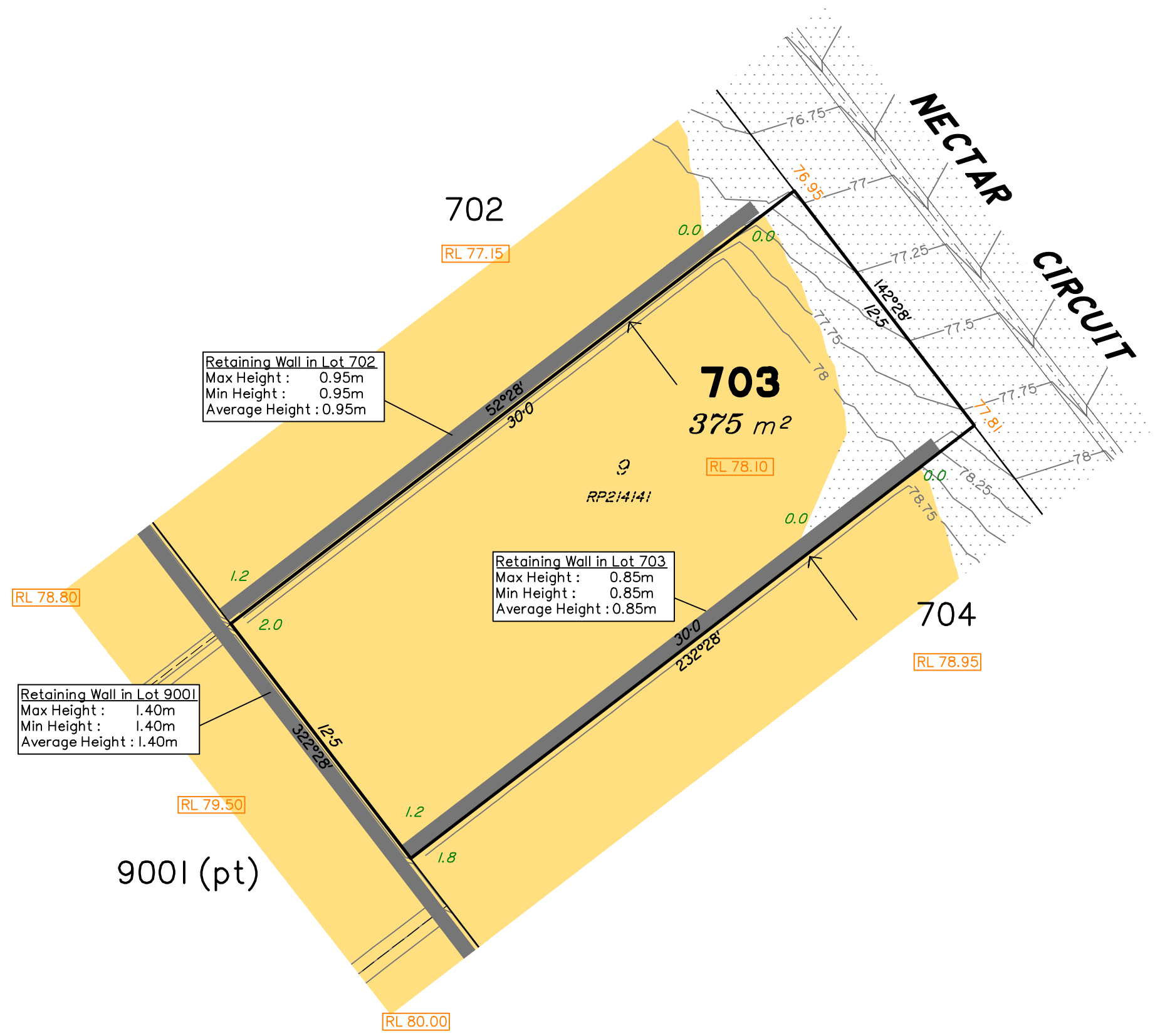
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Disclosure Plan for Proposed Lot 702 (Restricted) on SP302892

Described as part of Lot 9001 (Restricted) on SP302893
 Existing Title Reference: 51192607

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PM203515
 RL of Origin: 86.32
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Dwg No. 8655 S 07 DP A_702



LEGEND	
	Area of Fill
	Area of Cut
	Design Contours
	Zero Lot Boundary
	Retaining Wall
38.78	Finished Surface Design Level
RL 38.78	Finished Pad Design Level
1.0	Depth of Fill

(Not all items in this legend may be relevant to the lot shown hereon)

NOTES

This plan has been prepared from preliminary survey plan (SP302892) and engineering plans provided on the 08/08/18 by Premise Engineering.

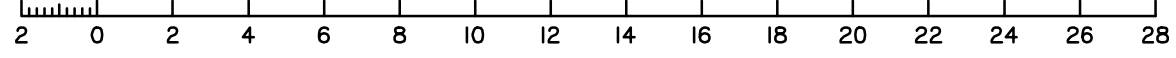
Lot 703 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval for reconfiguration of a lot and material change of use (Application 1489/2017/CA) have been approved by Ipswich City Council (25/09/2017).

Development Approval has been granted for Operational Works for the proposed lot (17/09/18).

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.

Scale 1:200 - Lengths are in Metres.



No.	by	Date	Description
A	TBG	08/03/19	Original Issue



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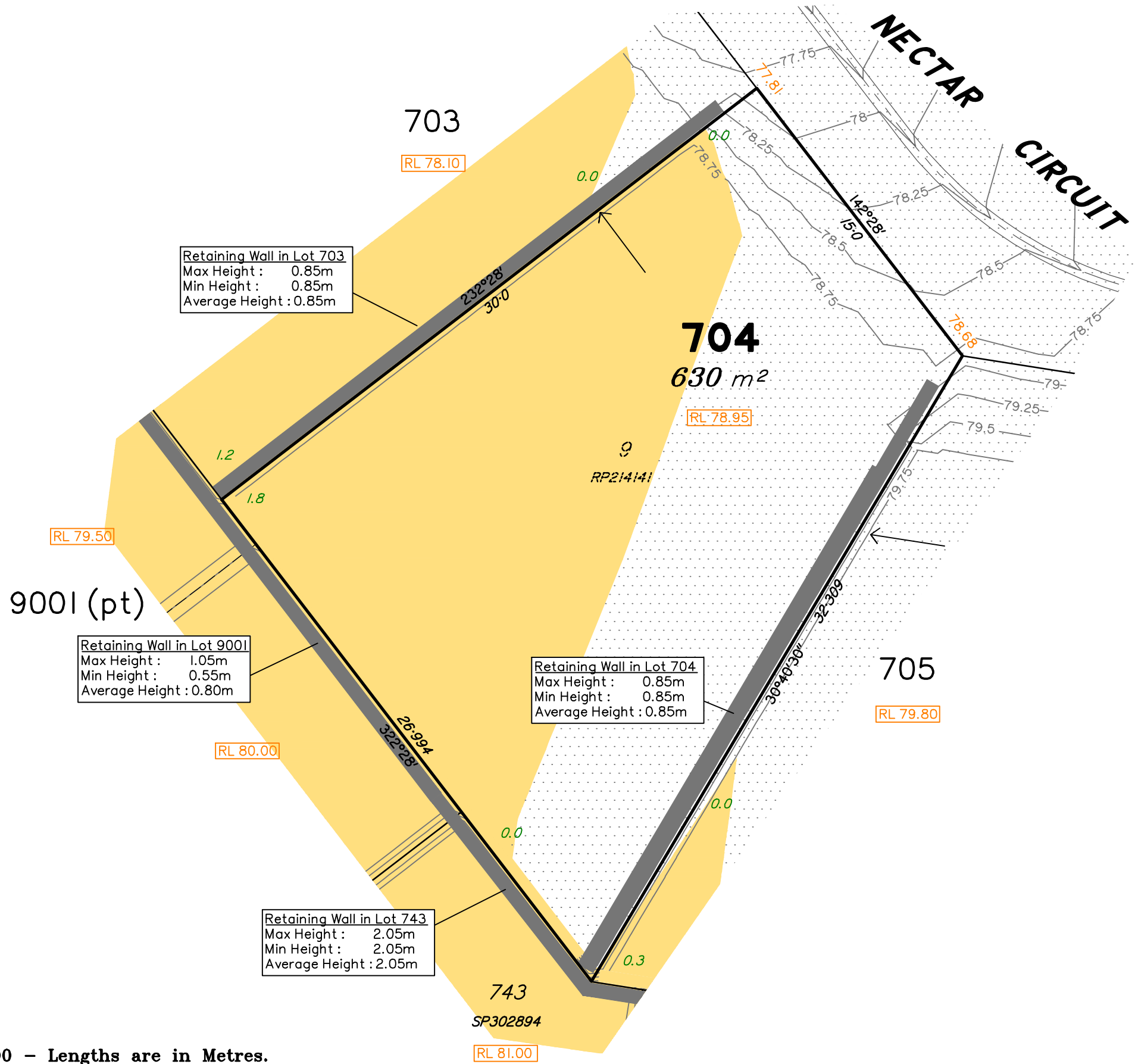
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Disclosure Plan for Proposed Lot 703 (Restricted) on SP302892

Described as part of Lot 9001 (Restricted) on SP302893
 Existing Title Reference: 51192607

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PM203515
 RL of Origin: 86.32
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Dwg No. 8655 S 07 DP A_703



LEGEND	
	Area of Fill
	Area of Cut
	Design Contours
	Zero Lot Boundary
	Retaining Wall
38.78	Finished Surface Design Level
RL 38.78	Finished Pad Design Level
1.0	Depth of Fill

(Not all items in this legend may be relevant to the lot shown hereon)

NOTES

This plan has been prepared from preliminary survey plan (SP302892) and engineering plans provided on the 08/08/18 by Premise Engineering.

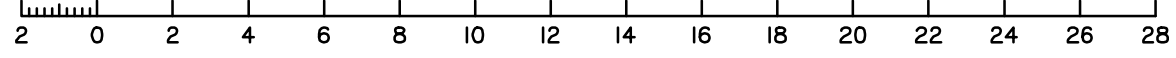
Lot 704 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval for reconfiguration of a lot and material change of use (Application 1489/2017/CA) have been approved by Ipswich City Council (25/09/2017).

Development Approval has been granted for Operational Works for the proposed lot (17/09/18).

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.

Scale 1:200 – Lengths are in Metres.



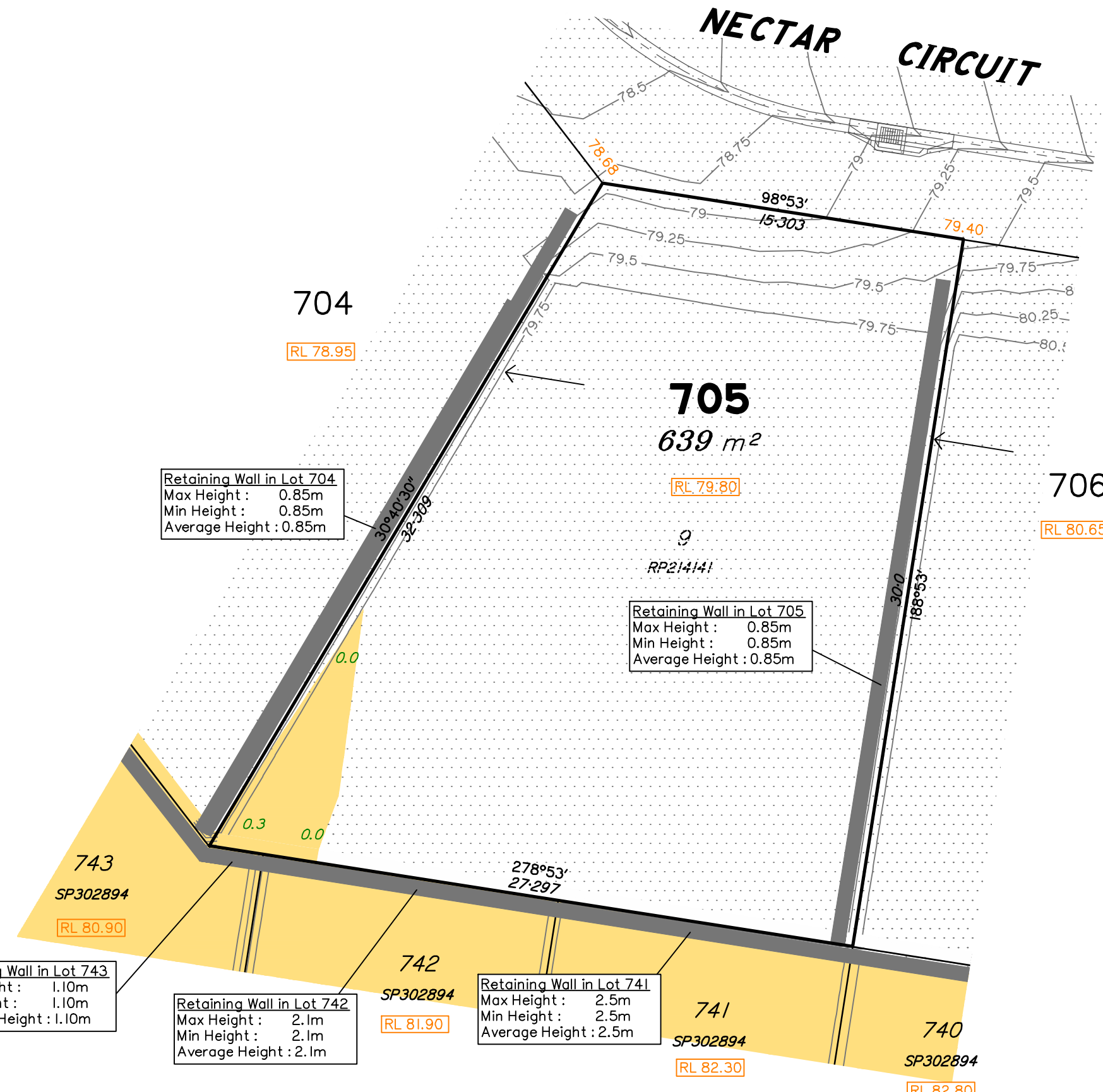
No.	by	Date	Description
A	TBG	08/03/19	Original Issue

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Disclosure Plan for Proposed Lot 704 (Restricted) on SP302892
 Described as part of Lot 9001 (Restricted) on SP302893
 Existing Title Reference: 51192607
 Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PM203515
 RL of Origin: 86.32
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Dwg No. 8655 S 07 DP A_704



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Zero Lot Boundary
- Retaining Wall
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level
- 1.0 Depth of Fill

(Not all items in this legend may be relevant to the lot shown hereon)

NOTES

This plan has been prepared from preliminary survey plan (SP302892), engineering plans provided on the 18/12/19 by KN Group & site survey conducted by Saunders Havill Group in Jan-Feb 2020.

Lot 705 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

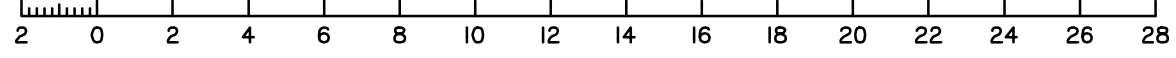
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No.	by	Date	Description
A	TBG	08/03/19	Original Issue
B	TBG	05/02/20	Earthworks Updated as per construction

Scale 1:200 – Lengths are in Metres.



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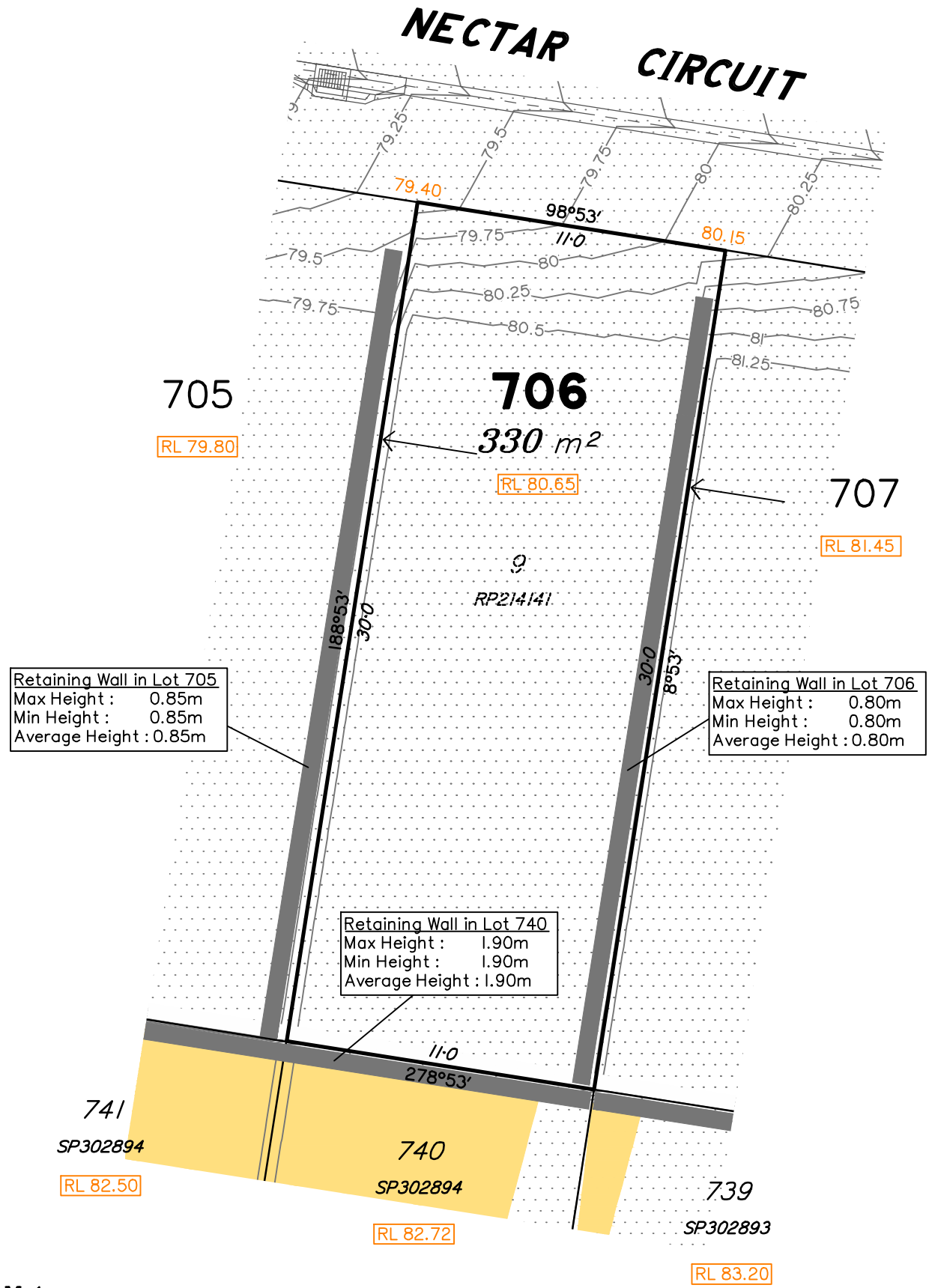
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 head office 9 Thompson St Bowen Hills Q 4006
 phone 1300 123 SHG web www.saundershavill.com

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Disclosure Plan for Proposed Lot 705 (Restricted) on SP302892
 Described as part of Lot 9001 (Restricted) on SP302893
 Existing Title Reference: 51192607
 Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PM203515
 RL of Origin: 86.32
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Dwg No. 8655 S 07 DP B_705

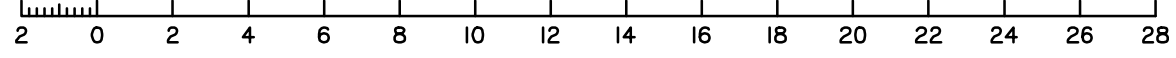


Retaining Wall in Lot 705
 Max Height : 0.85m
 Min Height : 0.85m
 Average Height : 0.85m

Retaining Wall in Lot 706
 Max Height : 0.80m
 Min Height : 0.80m
 Average Height : 0.80m

Retaining Wall in Lot 740
 Max Height : 1.90m
 Min Height : 1.90m
 Average Height : 1.90m

Scale 1:200 – Lengths are in Metres.



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Zero Lot Boundary
- Retaining Wall
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level
- 1.0 Depth of Fill

(Not all items in this legend may be relevant to the lot shown hereon)

NOTES

This plan has been prepared from preliminary survey plan (SP302892), engineering plans provided on the 18/12/19 by KN Group & site survey conducted by Saunders Havill Group in Jan-Feb 2020.

Lot 706 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval for reconfiguration of a lot and material change of use (Application 1489/2017/CA) have been approved by Ipswich City Council (25/09/2017).

Development Approval has been granted for Operational Works for the proposed lot (17/09/18).

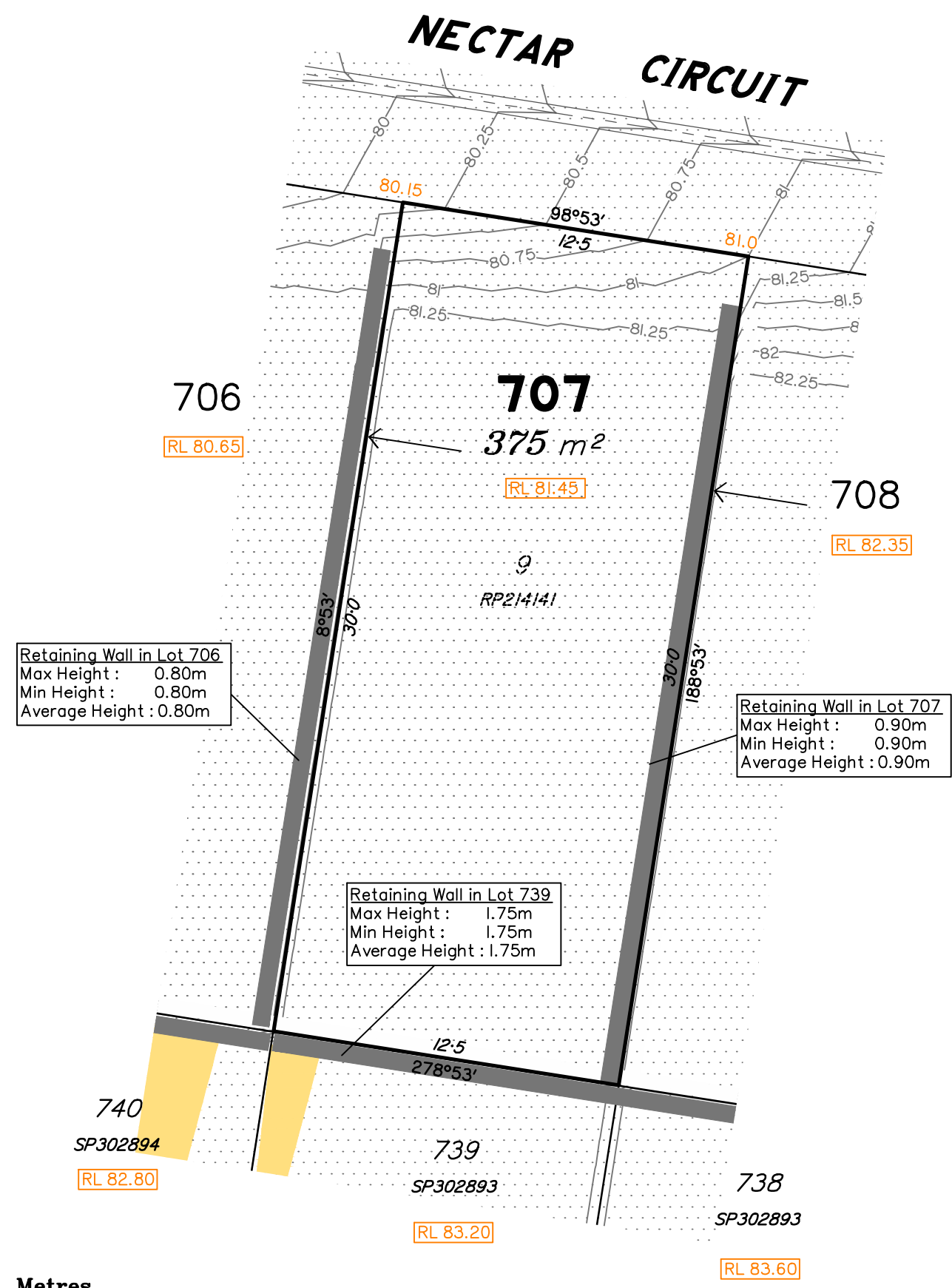
No.	by	Date	Description
A	TBG	08/03/19	Original Issue
B	TBG	05/02/20	Earthworks Updated as per construction

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Disclosure Plan for Proposed Lot 706 (Restricted) on SP302892
 Described as part of Lot 9001 (Restricted) on SP302893
 Existing Title Reference: 51192607
 Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PM203515
 RL of Origin: 86.32
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Dwg No. 8655 S 07 DP B_706



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Zero Lot Boundary
- Retaining Wall
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level
- 1.0 Depth of Fill

(Not all items in this legend may be relevant to the lot shown hereon)

NOTES

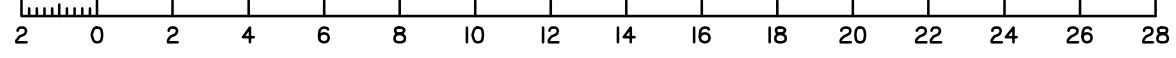
This plan has been prepared from preliminary survey plan (SP302892) and engineering plans provided on the 08/08/18 by Premise Engineering.

Lot 707 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval for reconfiguration of a lot and material change of use (Application 1489/2017/CA) have been approved by Ipswich City Council (25/09/2017).

Development Approval has been granted for Operational Works for the proposed lot (17/09/18).

Scale 1:200 – Lengths are in Metres.



No.	by	Date	Description
A	TBG	08/03/19	Original Issue

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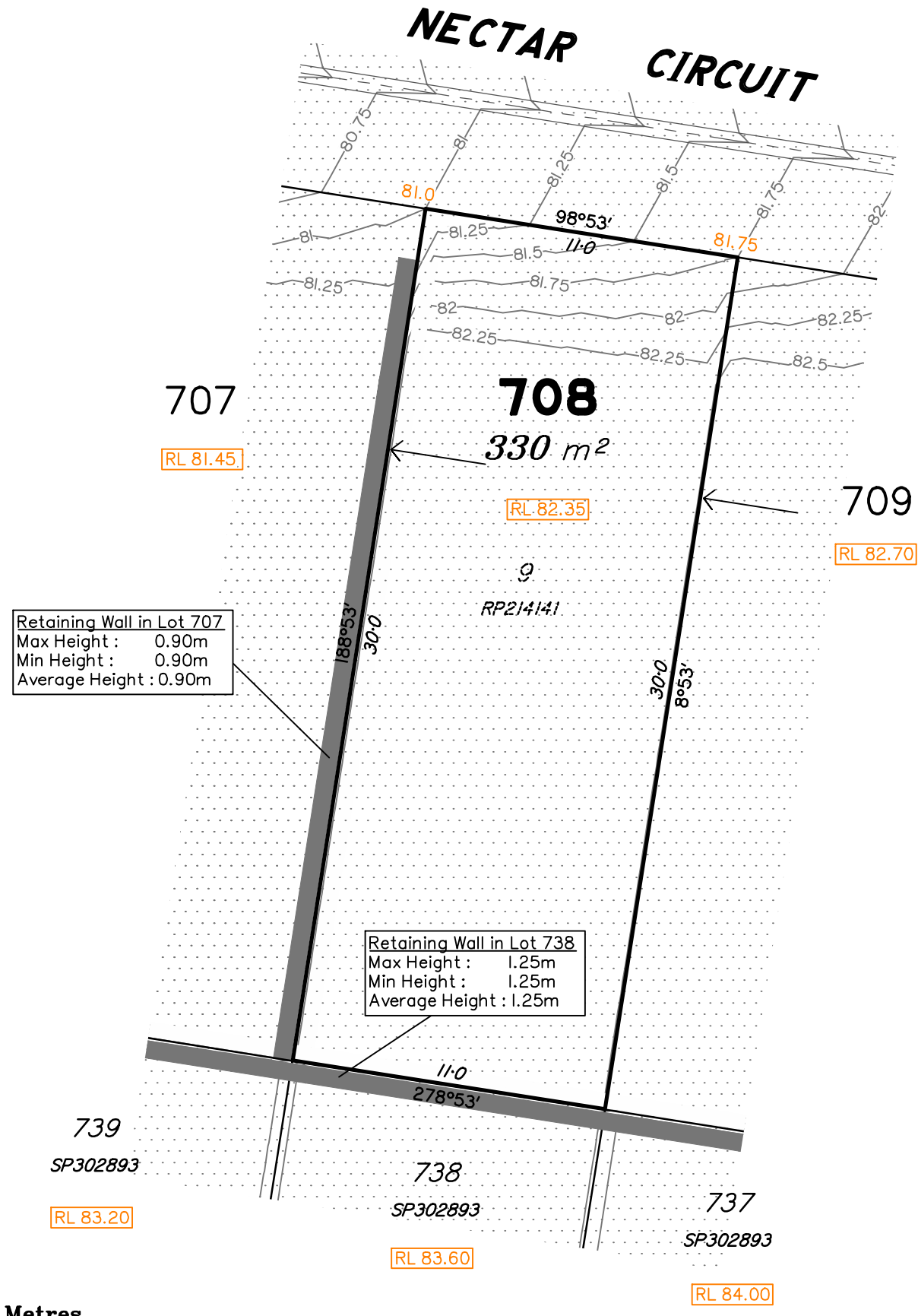
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Disclosure Plan for Proposed Lot 707 (Restricted) on SP302892
 Described as part of Lot 9001 (Restricted) on SP302893
 Existing Title Reference: 51192607
 Locality of Redbank Plains (Ipswich City Council)

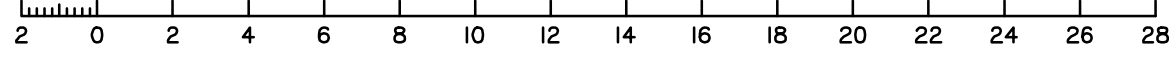
Level Datum: AHD der.
 Origin of Levels: PM203515
 RL of Origin: 86.32
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Dwg No. 8655 S 07 DP A_707



Retaining Wall in Lot 707
 Max Height : 0.90m
 Min Height : 0.90m
 Average Height : 0.90m

Retaining Wall in Lot 738
 Max Height : 1.25m
 Min Height : 1.25m
 Average Height : 1.25m

Scale 1:200 – Lengths are in Metres.



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Zero Lot Boundary
- Retaining Wall
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level
- 1.0 Depth of Fill

(Not all items in this legend may be relevant to the lot shown hereon)

NOTES

This plan has been prepared from preliminary survey plan (SP302892) and engineering plans provided on the 08/08/18 by Premise Engineering.

Lot 708 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval for reconfiguration of a lot and material change of use (Application 1489/2017/CA) have been approved by Ipswich City Council (25/09/2017).

Development Approval has been granted for Operational Works for the proposed lot (17/09/18).

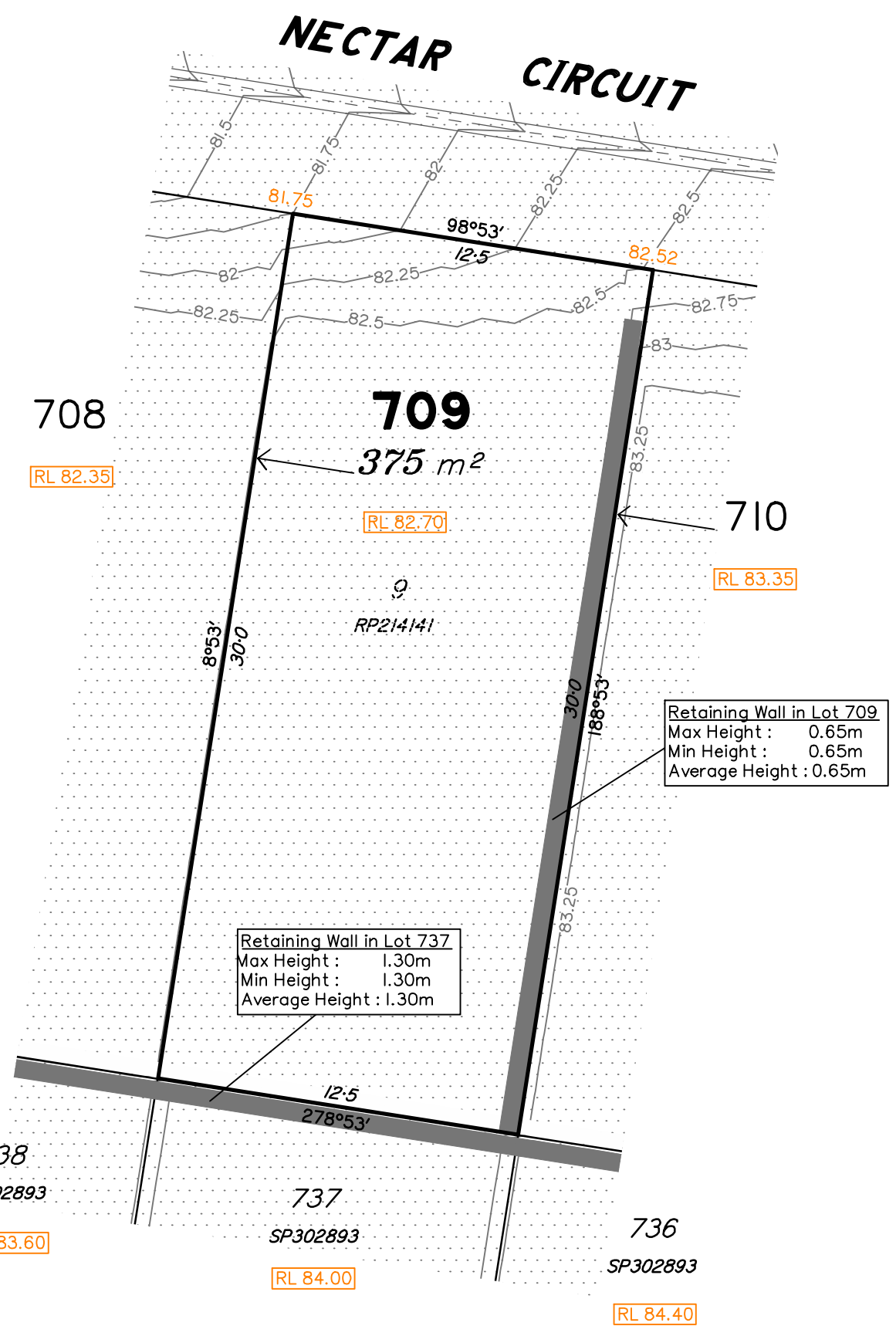
No.	by	Date	Description
A	TBG	08/03/19	Original Issue

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Disclosure Plan for Proposed Lot 708 (Restricted) on SP302892
 Described as part of Lot 9001 (Restricted) on SP302893
 Existing Title Reference: 51192607
 Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PM203515
 RL of Origin: 86.32
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Dwg No. 8655 S 07 DP A_708



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Zero Lot Boundary
- Retaining Wall
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level
- 1.0 Depth of Fill

(Not all items in this legend may be relevant to the lot shown hereon)

NOTES

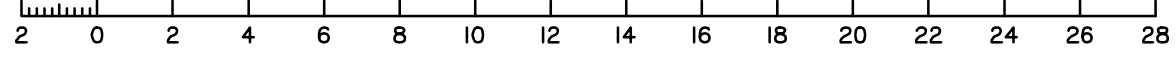
This plan has been prepared from preliminary survey plan (SP302892) and engineering plans provided on the 08/08/18 by Premise Engineering.

Lot 709 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval for reconfiguration of a lot and material change of use (Application 1489/2017/CA) have been approved by Ipswich City Council (25/09/2017).

Development Approval has been granted for Operational Works for the proposed lot (17/09/18).

Scale 1:200 – Lengths are in Metres.



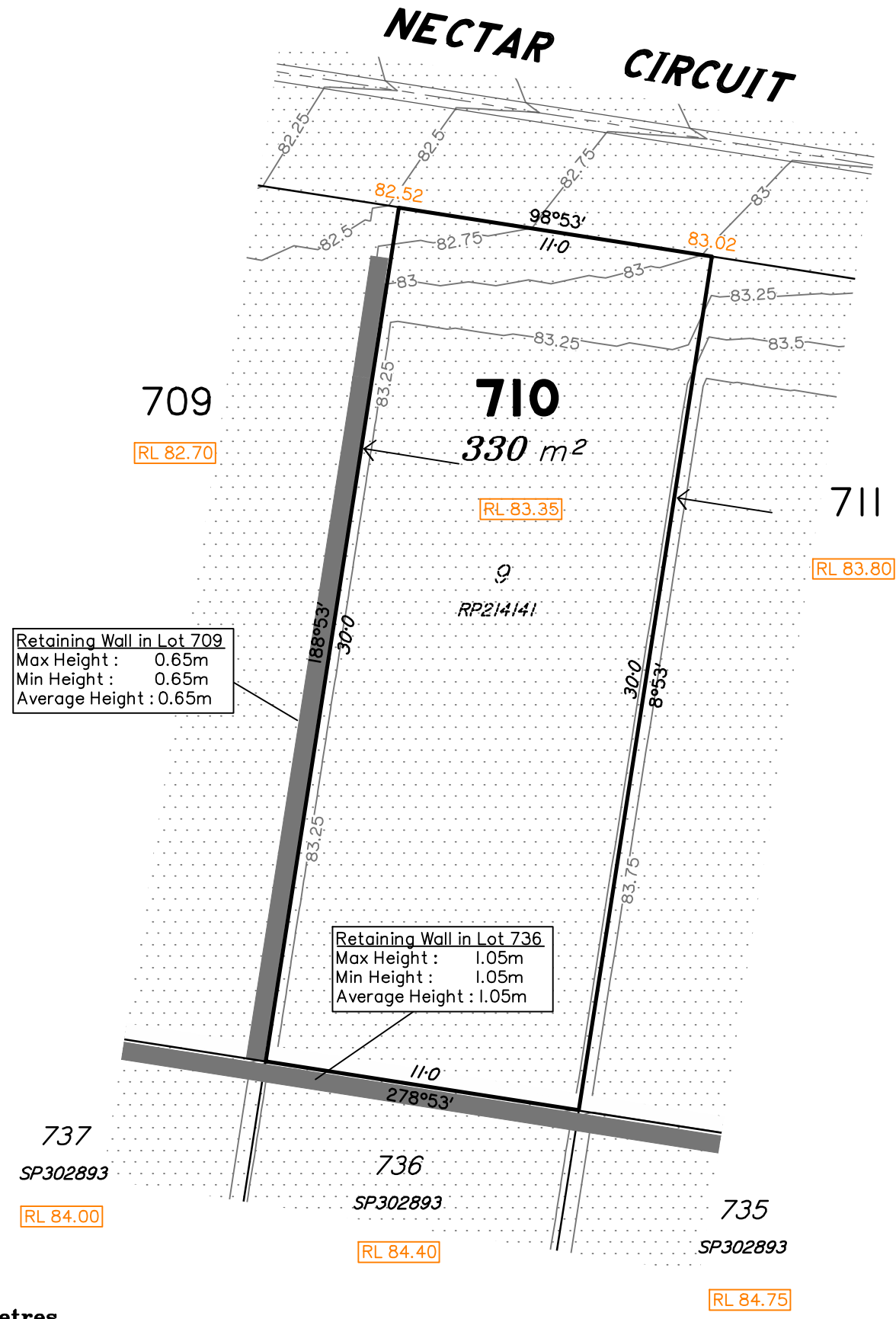
No.	by	Date	Description
A	TBG	08/03/19	Original Issue

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Disclosure Plan for Proposed Lot 709 (Restricted) on SP302892
 Described as part of Lot 9001 (Restricted) on SP302893
 Existing Title Reference: 51192607
 Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PM203515
 RL of Origin: 86.32
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Dwg No. 8655 S 07 DP A_709



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- ← Zero Lot Boundary
- Retaining Wall
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level
- 1.0 Depth of Fill

(Not all items in this legend may be relevant to the lot shown hereon)

NOTES

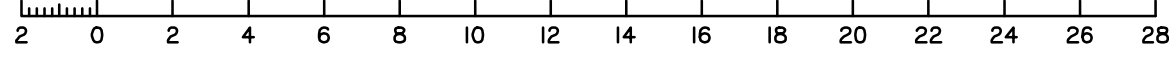
This plan has been prepared from preliminary survey plan (SP302892) and engineering plans provided on the 08/08/18 by Premise Engineering.

Lot 710 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval for reconfiguration of a lot and material change of use (Application 1489/2017/CA) have been approved by Ipswich City Council (25/09/2017).

Development Approval has been granted for Operational Works for the proposed lot (17/09/18).

Scale 1:200 – Lengths are in Metres.



No.	by	Date	Description
A	TBG	08/03/19	Original Issue



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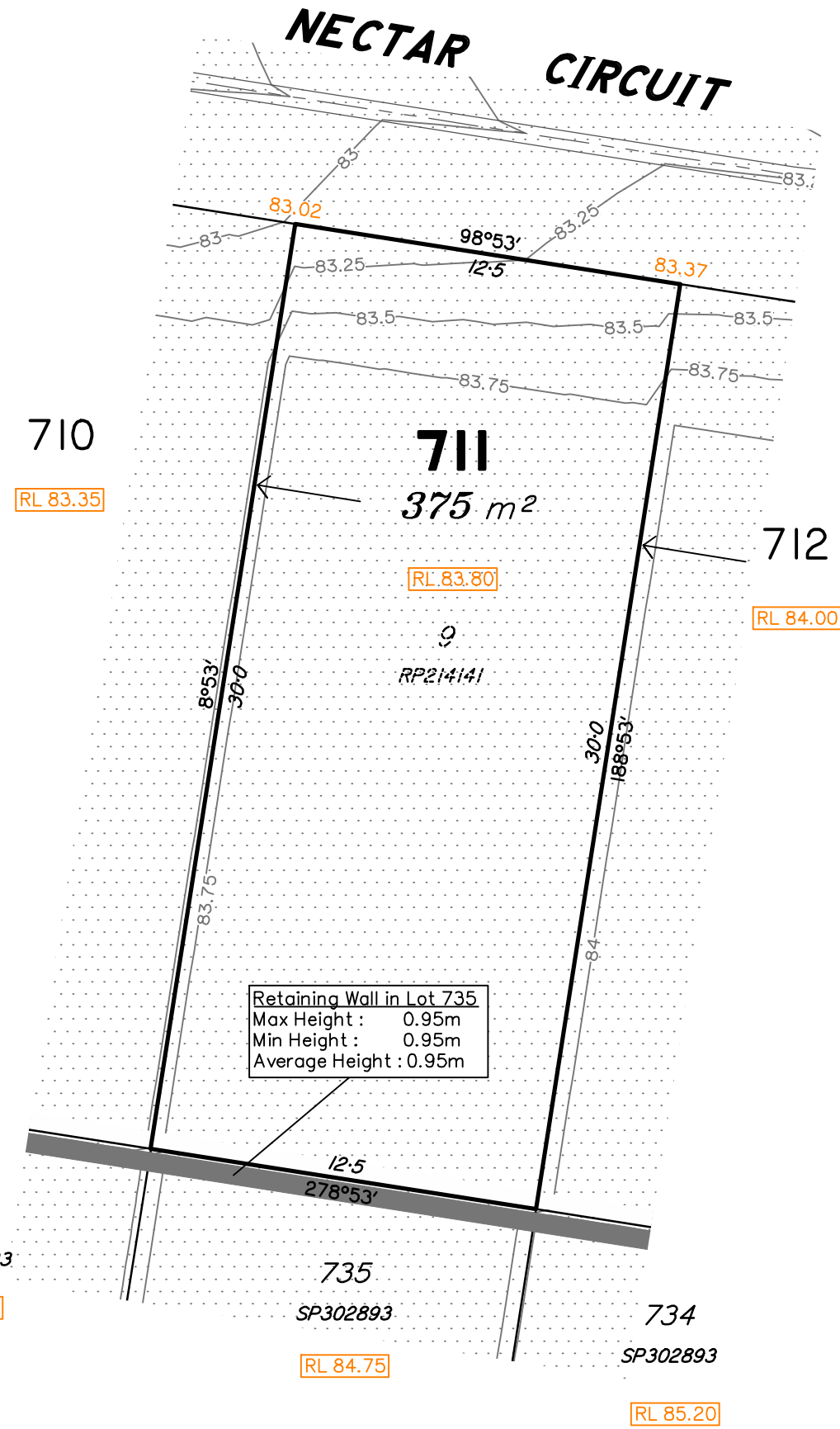
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Disclosure Plan for Proposed Lot 710 (Restricted) on SP302892

Described as part of Lot 9001 (Restricted) on SP302893
 Existing Title Reference: 51192607

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PM203515
 RL of Origin: 86.32
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Dwg No. 8655 S 07 DP A_710



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Zero Lot Boundary
- Retaining Wall
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level
- 1.0 Depth of Fill

(Not all items in this legend may be relevant to the lot shown hereon)

NOTES

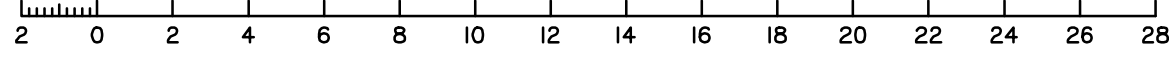
This plan has been prepared from preliminary survey plan (SP302892) and engineering plans provided on the 08/08/18 by Premise Engineering.

Lot 711 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval for reconfiguration of a lot and material change of use (Application 1489/2017/CA) have been approved by Ipswich City Council (25/09/2017).

Development Approval has been granted for Operational Works for the proposed lot (17/09/18).

Scale 1:200 – Lengths are in Metres.



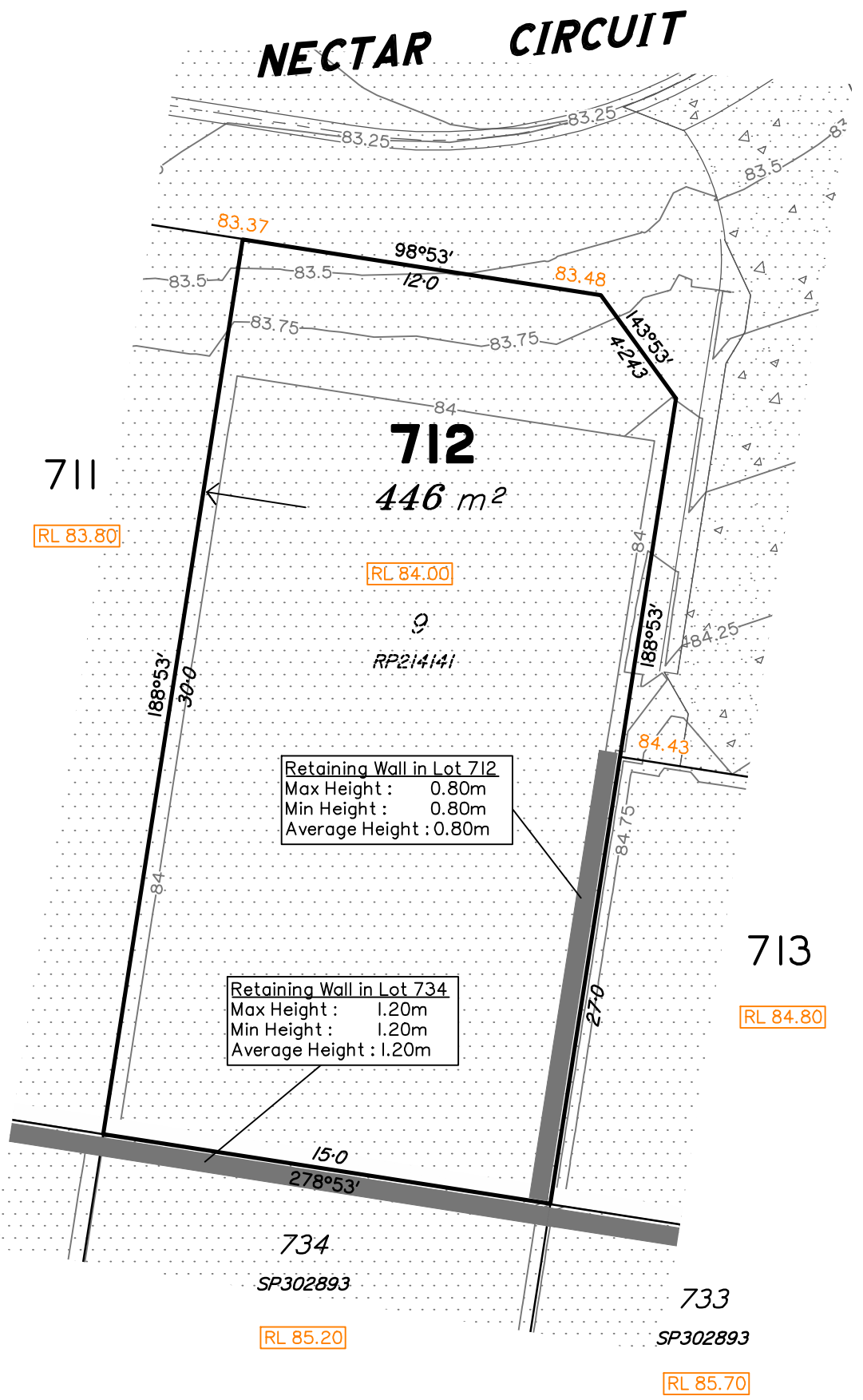
No.	by	Date	Description
A	TBG	08/03/19	Original Issue

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Disclosure Plan for Proposed Lot 711 (Restricted) on SP302892
 Described as part of Lot 9001 (Restricted) on SP302893
 Existing Title Reference: 51192607
 Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PM203515
 RL of Origin: 86.32
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Dwg No. 8655 S 07 DP A_711



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Zero Lot Boundary
- Retaining Wall
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level
- 1.0 Depth of Fill

(Not all items in this legend may be relevant to the lot shown hereon)

NOTES

This plan has been prepared from preliminary survey plan (SP302892) and engineering plans provided on the 08/08/18 by Premise Engineering.

Lot 712 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

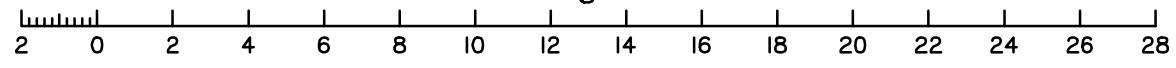
Development Approval for reconfiguration of a lot and material change of use (Application 1489/2017/CA) have been approved by Ipswich City Council (25/09/2017).

Development Approval has been granted for Operational Works for the proposed lot (17/09/18).

Retaining Wall in Lot 712
 Max Height : 0.80m
 Min Height : 0.80m
 Average Height : 0.80m

Retaining Wall in Lot 734
 Max Height : 1.20m
 Min Height : 1.20m
 Average Height : 1.20m

Scale 1:200 – Lengths are in Metres.



No.	by	Date	Description
A	TBG	08/03/19	Original Issue

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Disclosure Plan for Proposed Lot 712 (Restricted) on SP302892
 Described as part of Lot 9001 (Restricted) on SP302893
 Existing Title Reference: 51192607
 Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PM203515
 RL of Origin: 86.32
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Dwg No. 8655 S 07 DP A_712



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Zero Lot Boundary
- Retaining Wall
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level
- 1.0 Depth of Fill

(Not all items in this legend may be relevant to the lot shown hereon)

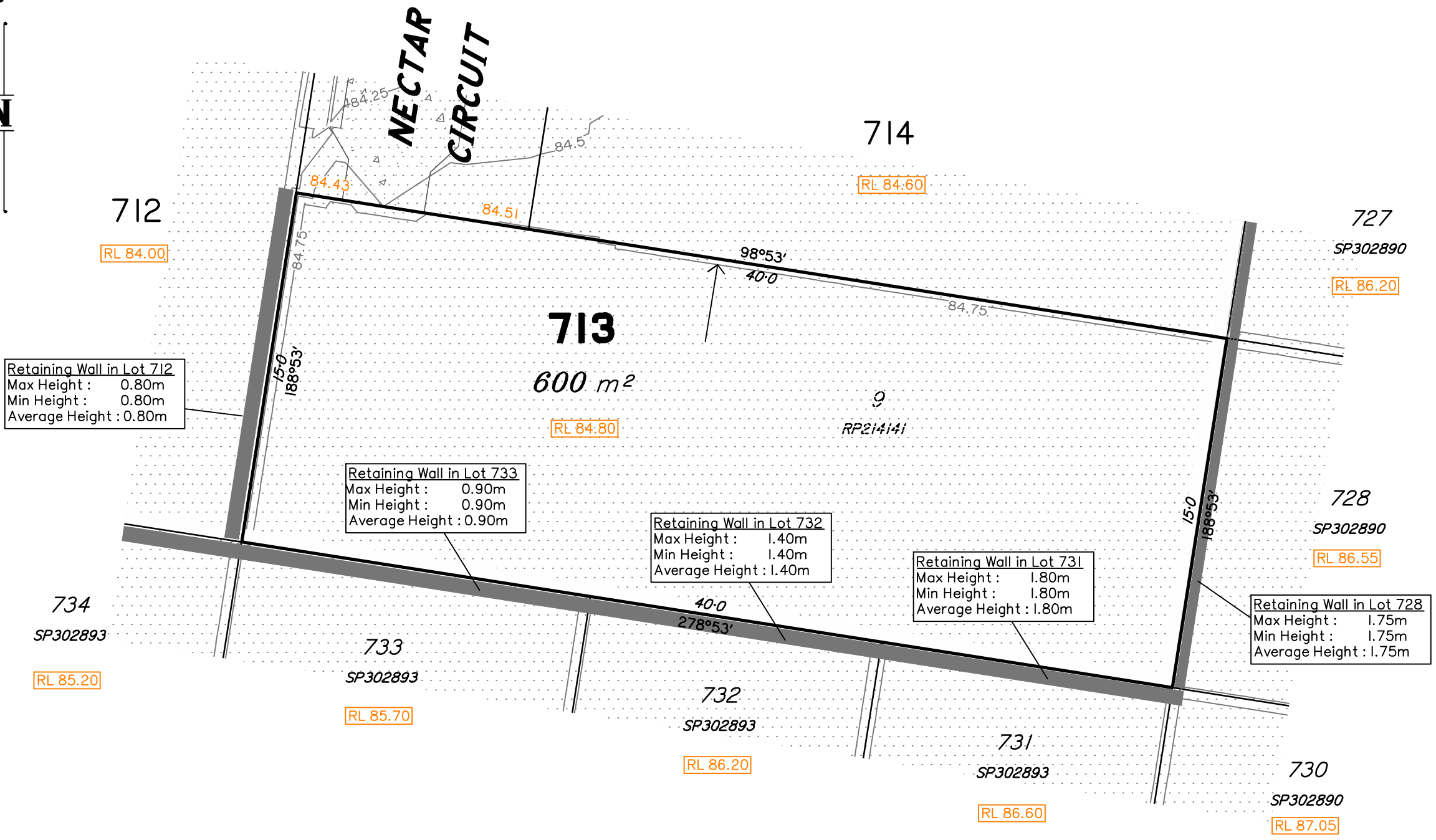
NOTES

This plan has been prepared from preliminary survey plan (SP302892) and engineering plans provided on the 08/08/18 by Premise Engineering.

Lot 713 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval for reconfiguration of a lot and material change of use (Application 1489/2017/CA) have been approved by Ipswich City Council (25/09/2017).

Development Approval has been granted for Operational Works for the proposed lot (17/09/18).



Retaining Wall in Lot 712
 Max Height : 0.80m
 Min Height : 0.80m
 Average Height : 0.80m

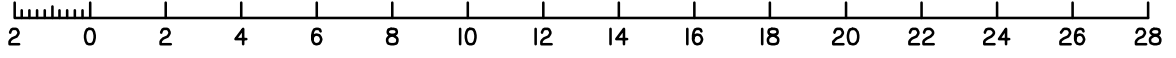
Retaining Wall in Lot 733
 Max Height : 0.90m
 Min Height : 0.90m
 Average Height : 0.90m

Retaining Wall in Lot 732
 Max Height : 1.40m
 Min Height : 1.40m
 Average Height : 1.40m

Retaining Wall in Lot 731
 Max Height : 1.80m
 Min Height : 1.80m
 Average Height : 1.80m

Retaining Wall in Lot 728
 Max Height : 1.75m
 Min Height : 1.75m
 Average Height : 1.75m

Scale 1:200 - Lengths are in Metres.



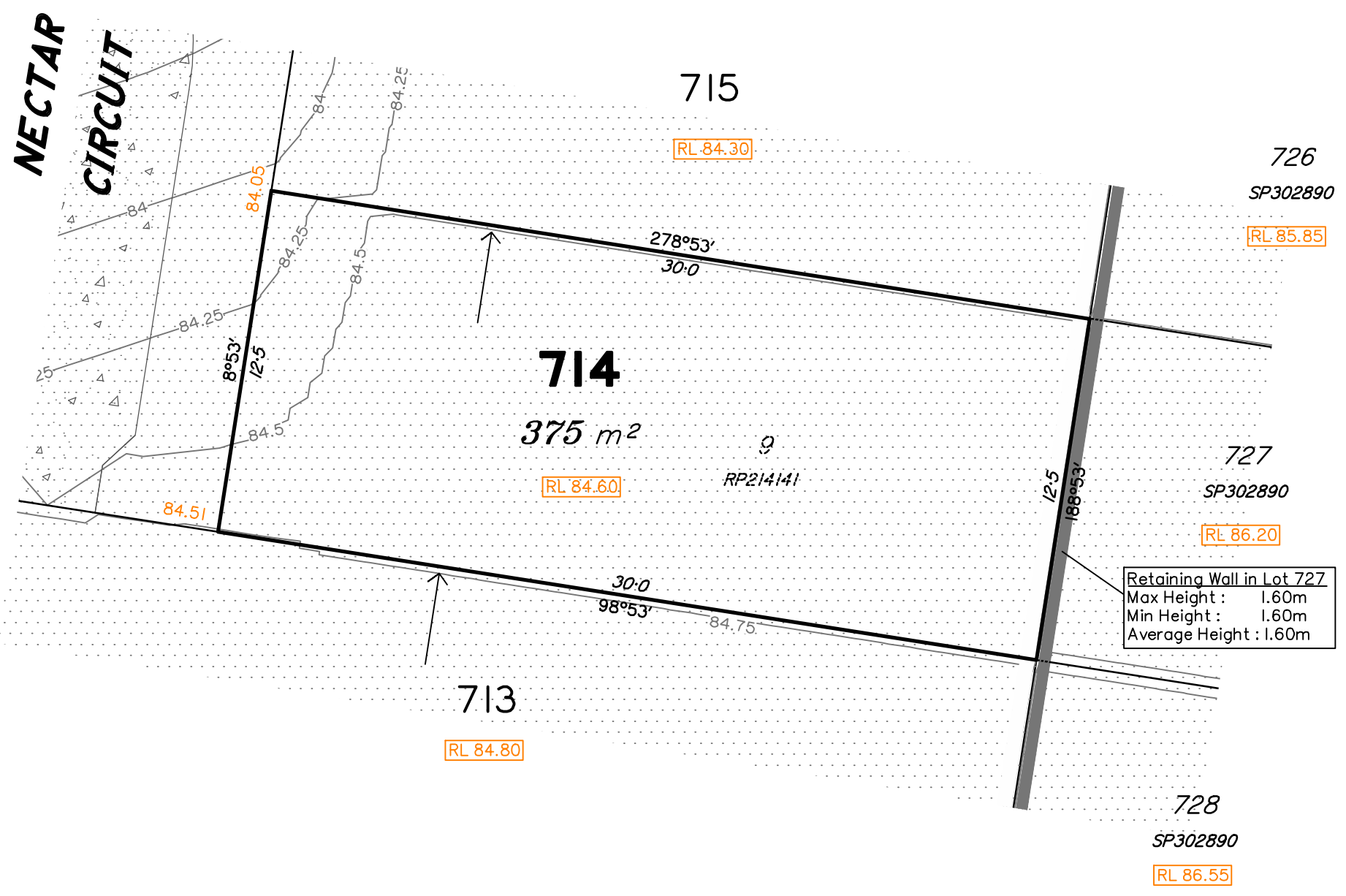
No.	by	Date	Description
A	TBG	08/03/19	Original Issue

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Disclosure Plan for Proposed Lot 713 (Restricted) on SP302892
 Described as part of Lot 9001 (Restricted) on SP302893
 Existing Title Reference: 51192607
 Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PM203515
 RL of Origin: 86.32
 Contour Interval: 0.25m
 Scale @A3 1: 200
 Dwg No. 8655 S 07 DP A_713



LEGEND	
	Area of Fill
	Area of Cut
	Design Contours
	Zero Lot Boundary
	Retaining Wall
38.78	Finished Surface Design Level
RL 38.78	Finished Pad Design Level
1.0	Depth of Fill

(Not all items in this legend may be relevant to the lot shown hereon)

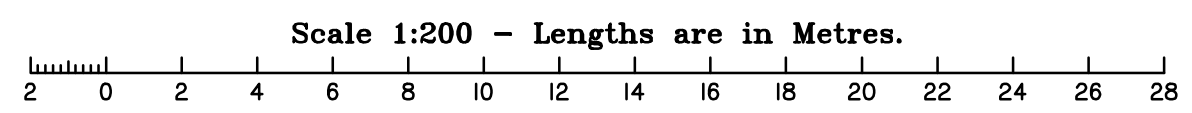
NOTES

This plan has been prepared from preliminary survey plan (SP302892) and engineering plans provided on the 08/08/18 by Premise Engineering.

Lot 714 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval for reconfiguration of a lot and material change of use (Application 1489/2017/CA) have been approved by Ipswich City Council (25/09/2017).

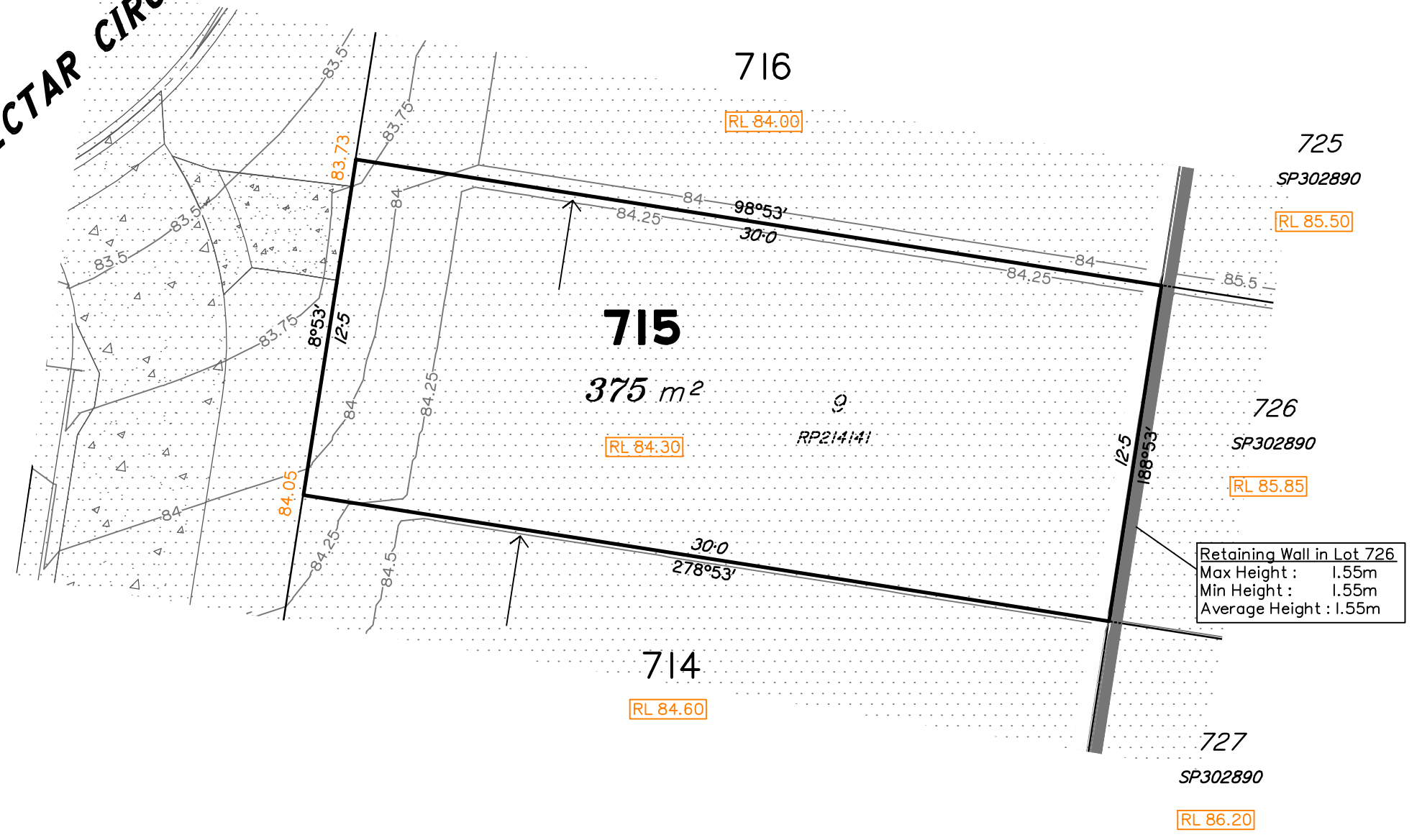
Development Approval has been granted for Operational Works for the proposed lot (17/09/18).



No.	by	Date	Description
A	TBG	08/03/19	Original Issue



NECTAR CIRCUIT



LEGEND	
	Area of Fill
	Area of Cut
	Design Contours
	Zero Lot Boundary
	Retaining Wall
38.78	Finished Surface Design Level
RL 38.78	Finished Pad Design Level
1.0	Depth of Fill

(Not all items in this legend may be relevant to the lot shown hereon)

NOTES

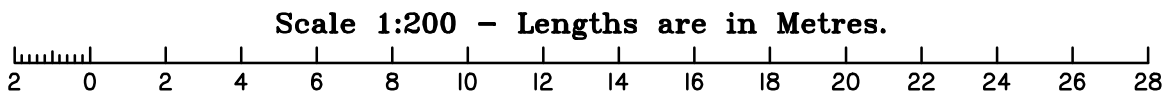
This plan has been prepared from preliminary survey plan (SP302892) and engineering plans provided on the 08/08/18 by Premise Engineering.

Lot 715 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

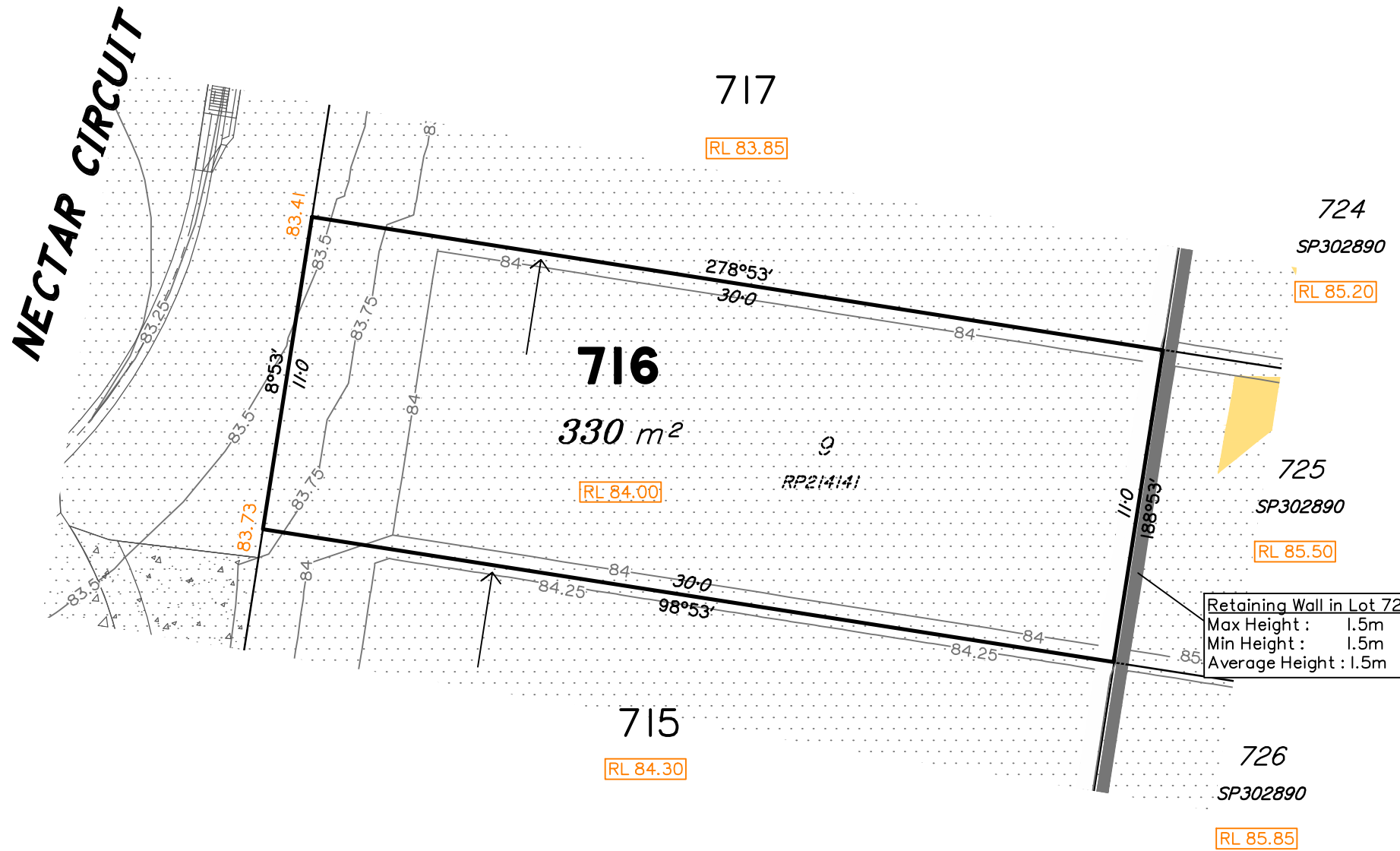
Development Approval for reconfiguration of a lot and material change of use (Application 1489/2017/CA) have been approved by Ipswich City Council (25/09/2017).

Development Approval has been granted for Operational Works for the proposed lot (17/09/18).

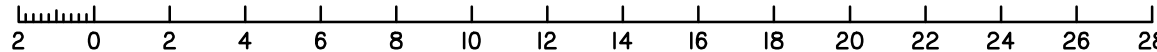
Retaining Wall in Lot 726
 Max Height : 1.55m
 Min Height : 1.55m
 Average Height : 1.55m



No.	by	Date	Description
A	TBG	08/03/19	Original Issue



Scale 1:200 - Lengths are in Metres.



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Zero Lot Boundary
- Retaining Wall
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level
- 1.0 Depth of Fill

(Not all items in this legend may be relevant to the lot shown hereon)

NOTES

This plan has been prepared from preliminary survey plan (SP302892) and engineering plans provided on the 08/08/18 by Premise Engineering.

Lot 716 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval for reconfiguration of a lot and material change of use (Application 1489/2017/CA) have been approved by Ipswich City Council (25/09/2017).

Development Approval has been granted for Operational Works for the proposed lot (17/09/18).

No.	by	Date	Description
A	TBG	08/03/19	Original Issue



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phone 1300 123 SHG web www.saundershavill.com

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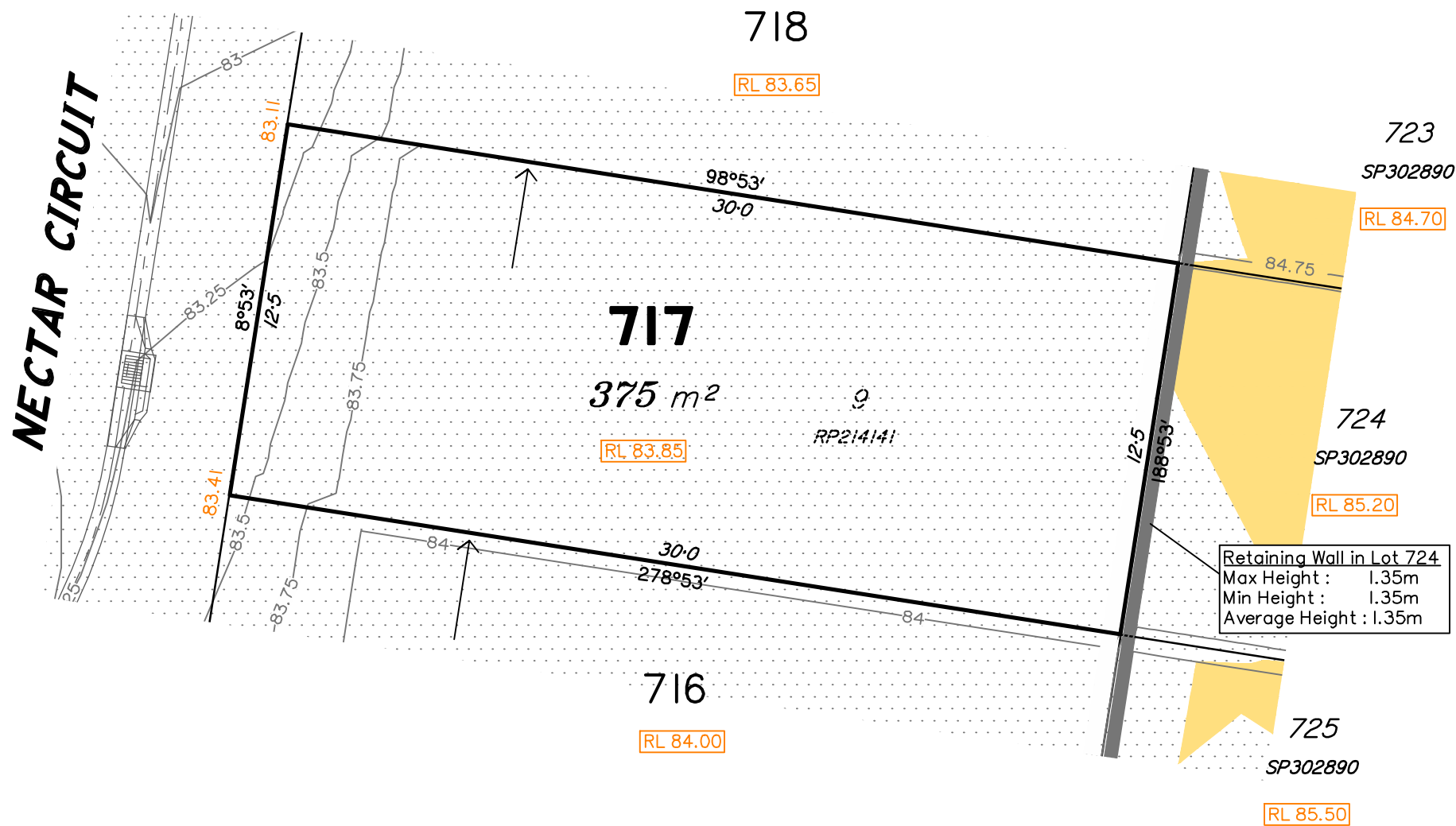
Disclosure Plan for Proposed Lot 716 (Restricted) on SP302892

Described as part of Lot 9001 (Restricted) on SP302893
Existing Title Reference: 51192607

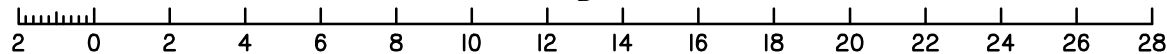
Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
Origin of Levels: PM203515
RL of Origin: 86.32
Contour Interval: 0.25m

Scale @A3 1: 200
Dwg No. 8655 S 07 DP A_716



Scale 1:200 - Lengths are in Metres.



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- ← Zero Lot Boundary
- Retaining Wall
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level
- 1.0 Depth of Fill

(Not all items in this legend may be relevant to the lot shown hereon)

NOTES

This plan has been prepared from preliminary survey plan (SP302892) and engineering plans provided on the 08/08/18 by Premise Engineering.

Lot 717 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval for reconfiguration of a lot and material change of use (Application 1489/2017/CA) have been approved by Ipswich City Council (25/09/2017).

Development Approval has been granted for Operational Works for the proposed lot (17/09/18).

No.	by	Date	Description
A	TBG	08/03/19	Original Issue



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■ surveying ■ town planning ■ urban design ■ environmental management ■ landscape architecture

This Disclosure Plan is prepared for the sole purpose of satisfying the Disclosure requirements of the Land Sales Act and SHOULD NOT be used for any other purpose, particularly As-constructed purposes. This information is compiled from Design plans only, unless otherwise stated, and therefore is subject to final survey and construction of operational works.

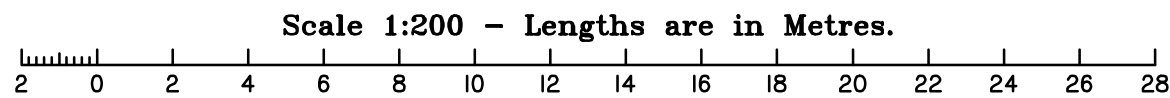
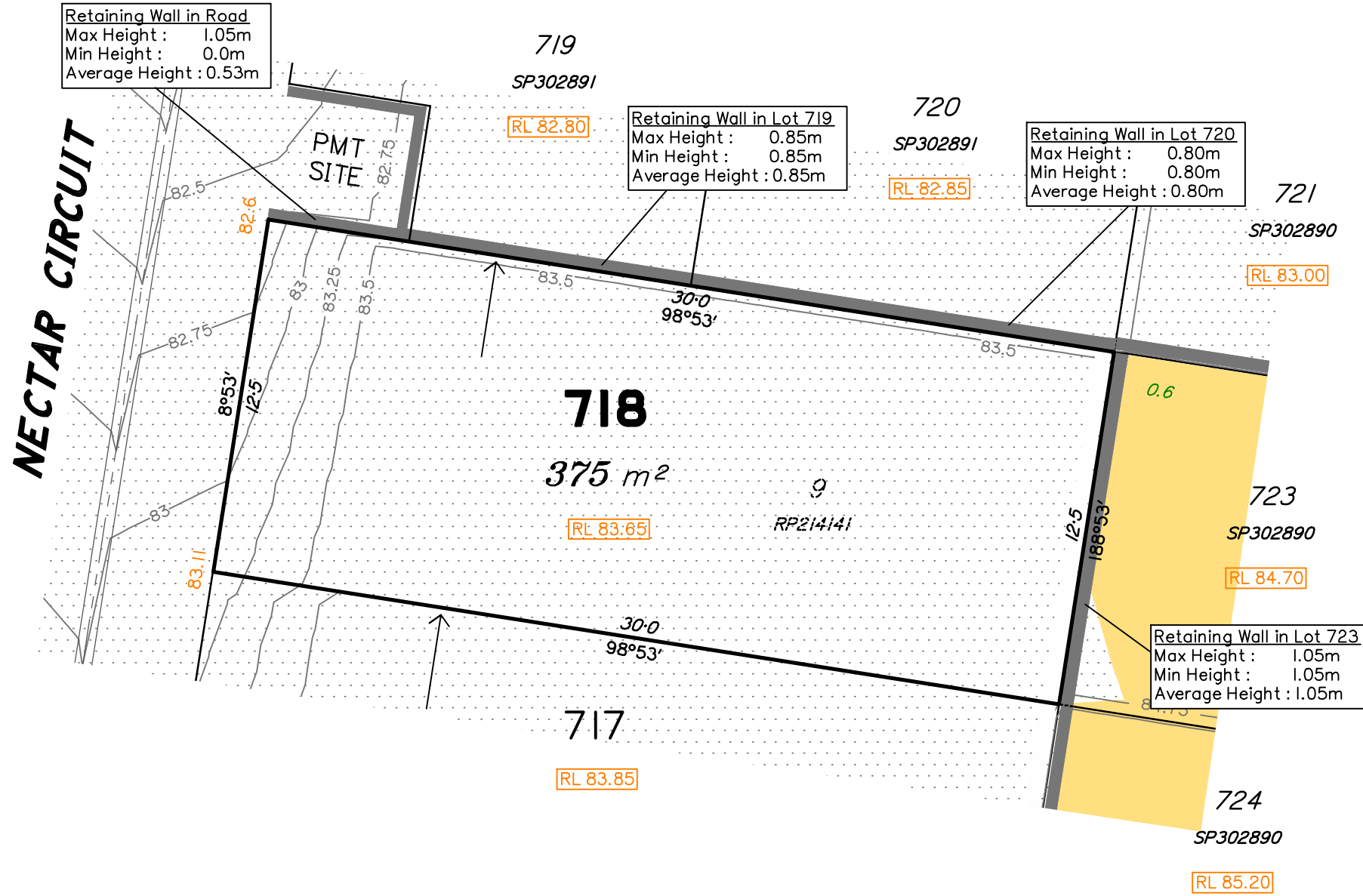
Disclosure Plan for Proposed Lot 717 (Restricted) on SP302892

Described as part of Lot 9001 (Restricted) on SP302893
 Existing Title Reference: 51192607

Locality of Redbank Plains (Ipswich City Council)

Level Datum: AHD der.
 Origin of Levels: PM203515
 RL of Origin: 86.32
 Contour Interval: 0.25m

Scale @A3 1: 200
 Dwg No. 8655 S 07 DP A_717



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- ← Zero Lot Boundary
- Retaining Wall
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level
- 1.0 Depth of Fill

(Not all items in this legend may be relevant to the lot shown hereon)

NOTES

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