

LEGEND

- Area of Fill
- Design Contours
- Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level
- 1.2 Depth of Fill

NOTES

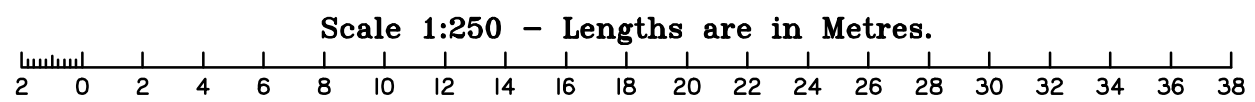
This plan has been prepared from preliminary survey plan (SP292394) and engineering plans provided on the 12/10/2016, 01/11/2016 & 15/02/2017 by ETS Engineering; and by Robin Russell and Associates P/L on the 09/02/2017.

Lot 425 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.



No.	by	Date	Description
A	CTW	04/11/16	Original Issue
B	TBG	21/02/17	RMU Site Added. Path Added.

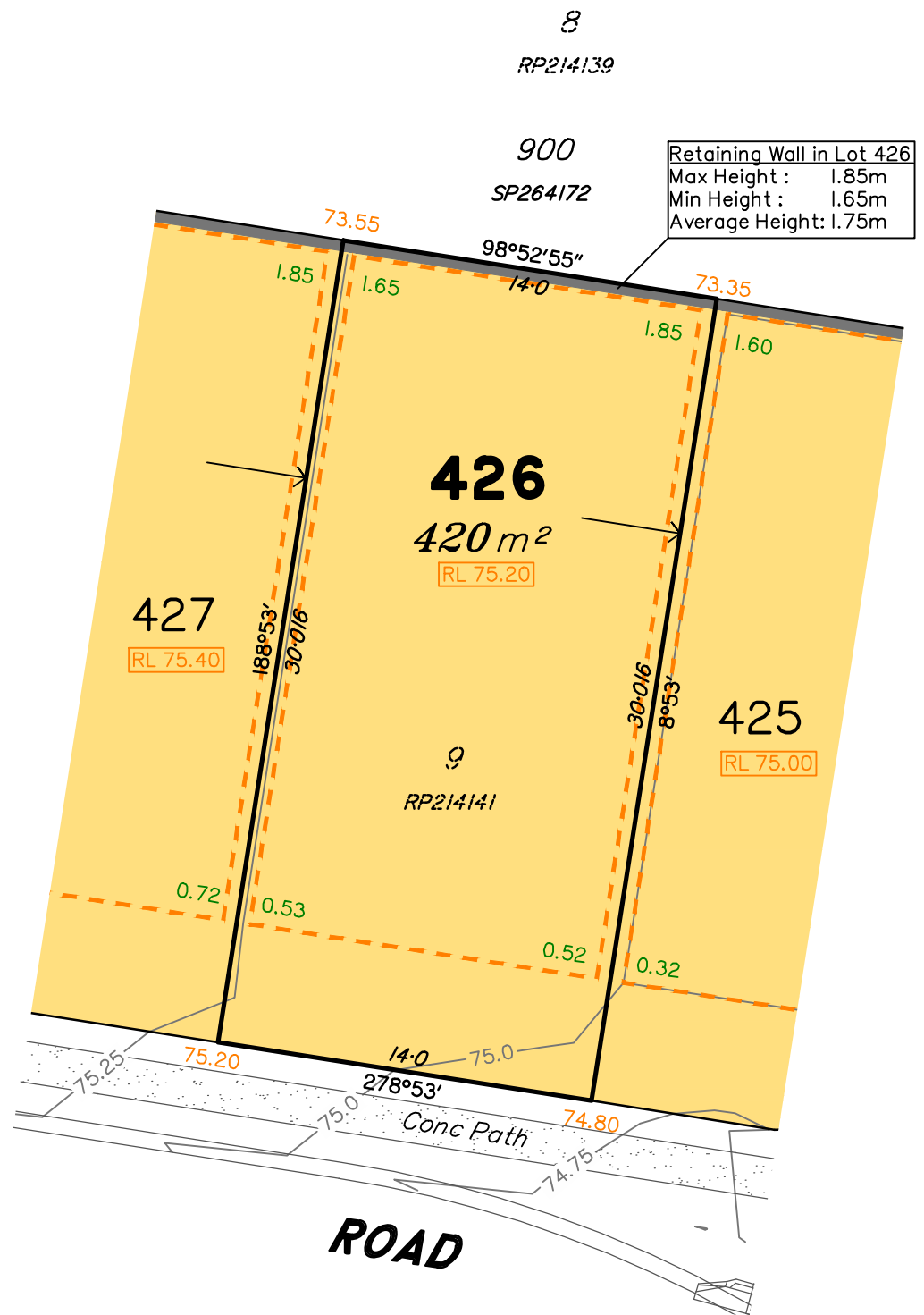
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Disclosure Plan for Proposed Lot 425 (Restricted) on SP292394
 Described as part of Lot 855 (Restricted) on SP279417
 Existing Title Reference: 51016185

Level Datum: AHD der.
 Origin of Levels: PM161439
 RL of Origin: 78.888
 Contour Interval: 0.25m
 Scale @A3 1: 250
 Dwg No. 8353 S 25 DP B_425

Locality of Redbank Plains



LEGEND

- Area of Fill
- Design Contours
- Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level
- 1.2 Depth of Fill

NOTES

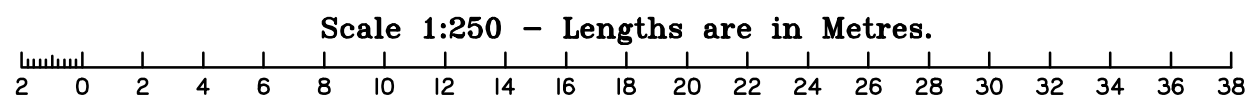
This plan has been prepared from preliminary survey plan (SP292394) and engineering plans provided on the 12/10/2016 & 01/11/2016 by ETS Engineering.

Lot 426 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

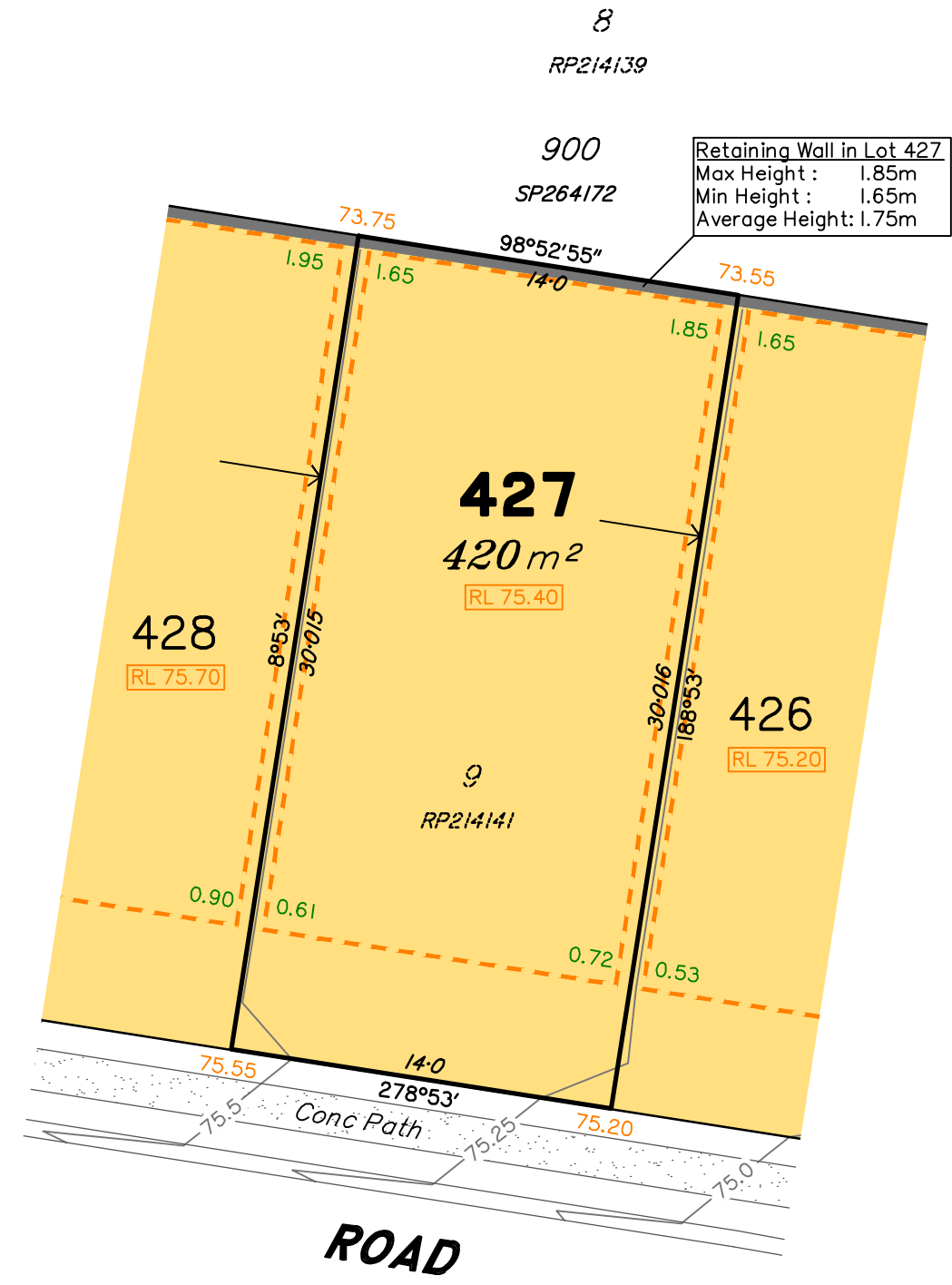
Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.



No.	by	Date	Description
A	CTW	04/11/16	Original Issue
B	TBG	22/02/17	Contours amended. Path added.



LEGEND

- Area of Fill
- Design Contours
- ← Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level
- 1.2 Depth of Fill

NOTES

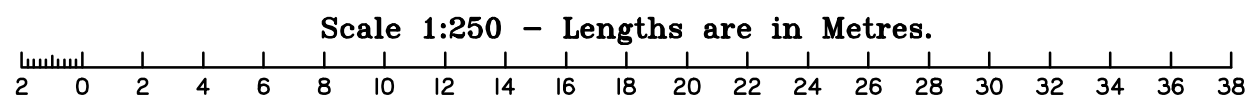
This plan has been prepared from preliminary survey plan (SP292394) and engineering plans provided on the 12/10/2016 & 01/11/2016 by ETS Engineering.

Lot 427 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

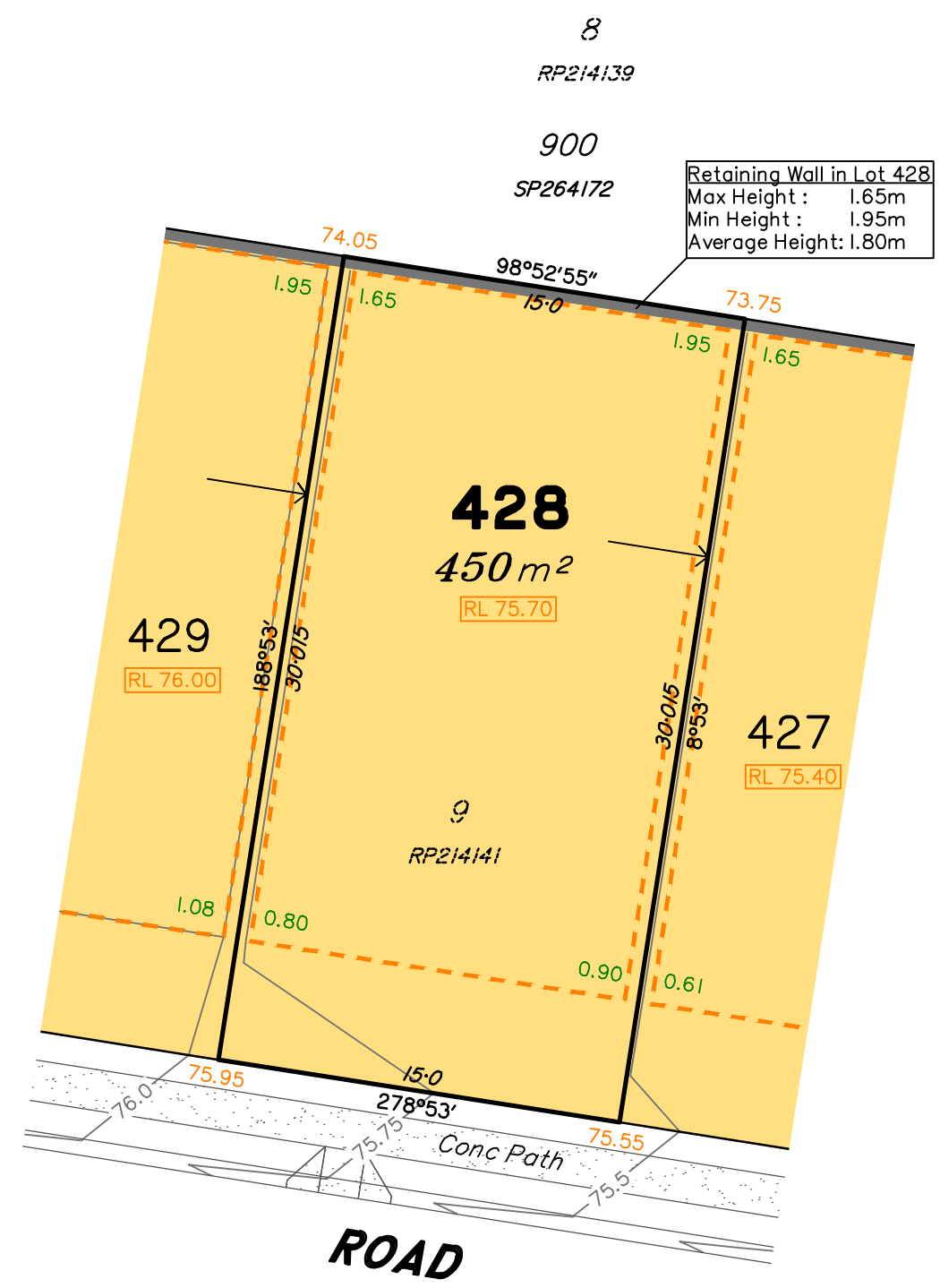
Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.



No.	by	Date	Description
A	CTW	04/11/16	Original Issue
B	TBG	22/02/17	Contours amended. Path added.



LEGEND

- Area of Fill
- Design Contours
- ← Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level
- 1.2 Depth of Fill

NOTES

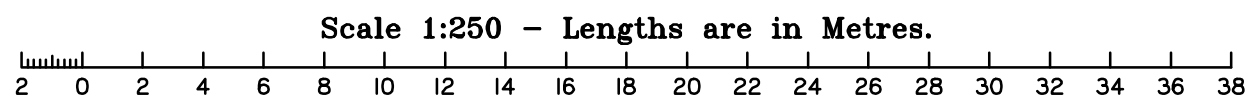
This plan has been prepared from preliminary survey plan (SP292394) and engineering plans provided on the 12/10/2016 & 01/11/2016 by ETS Engineering.

Lot 428 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

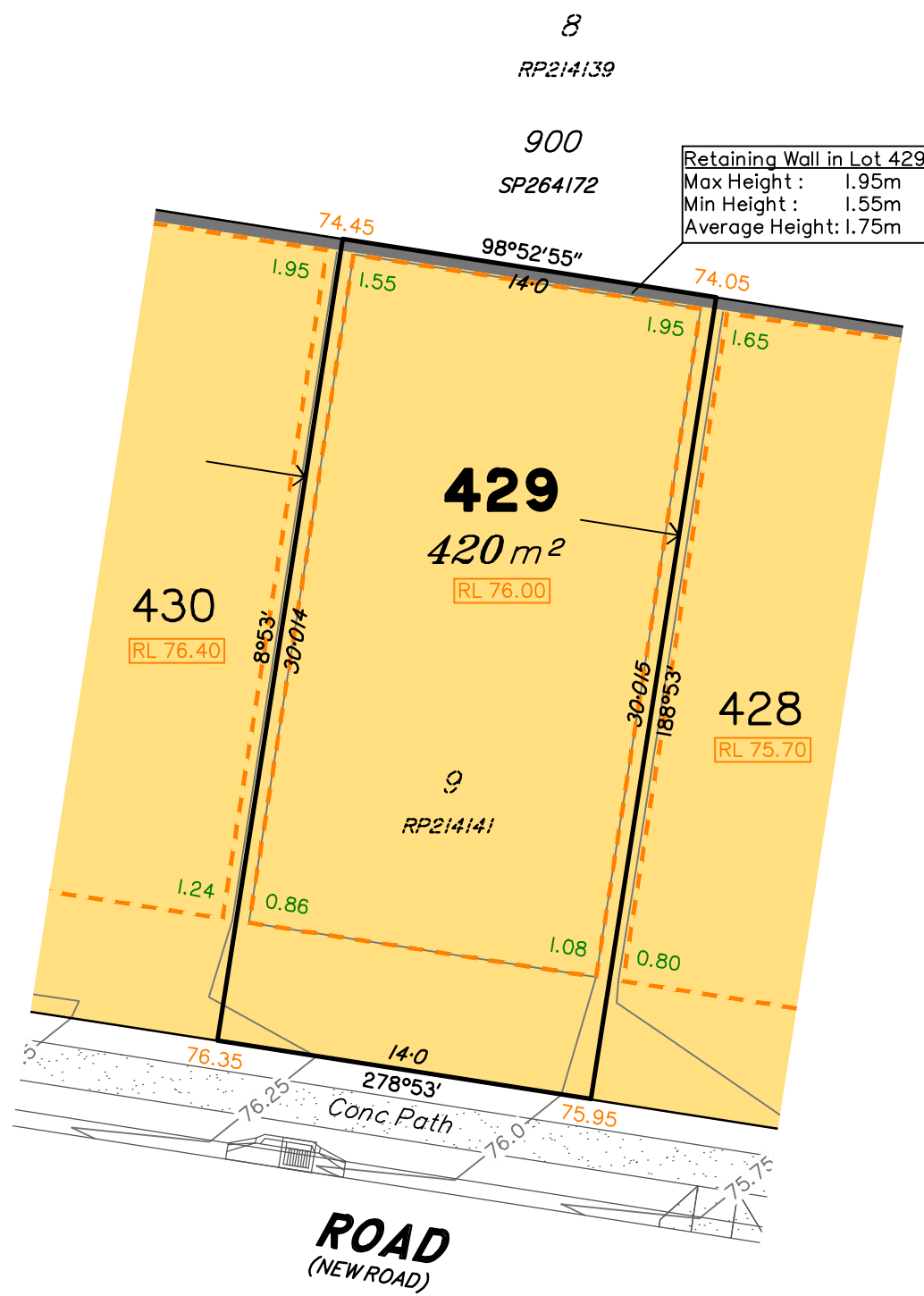
Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.



No.	by	Date	Description
A	CTW	04/11/16	Original Issue
B	TBG	22/02/17	Contours amended. Path added.



LEGEND

- Area of Fill
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- Proposed Retaining Wall
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- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level
- 1.2 Depth of Fill

NOTES

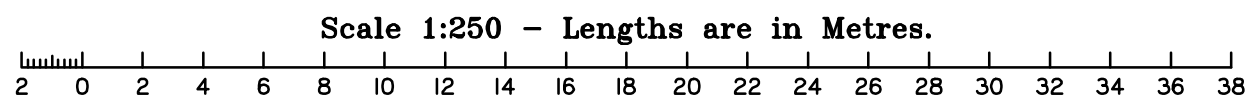
This plan has been prepared from preliminary survey plan (SP292394) and engineering plans provided on the 12/10/2016 & 01/11/2016 by ETS Engineering.

Lot 429 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

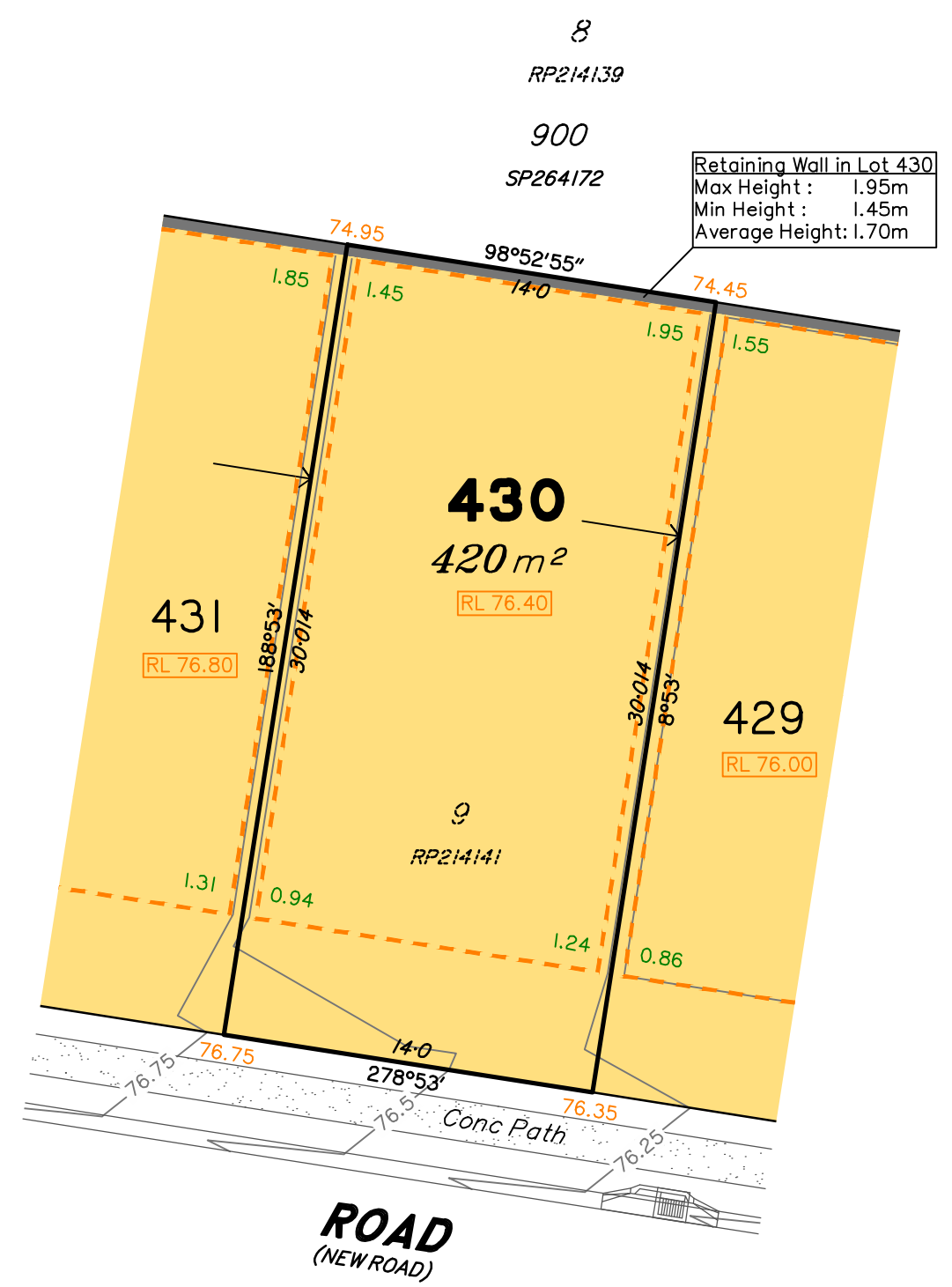
Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.



No.	by	Date	Description
A	CTW	04/11/16	Original Issue
B	TBG	22/02/17	Contours amended. Path added.



LEGEND

- Area of Fill
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- ← Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level
- 1.2 Depth of Fill

NOTES

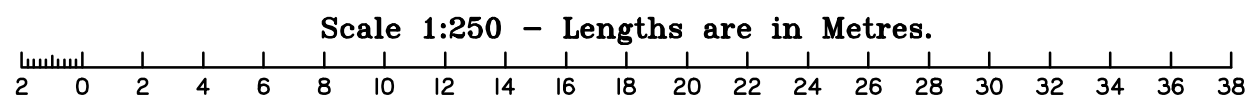
This plan has been prepared from preliminary survey plan (SP292394) and engineering plans provided on the 12/10/2016 & 01/11/2016 by ETS Engineering.

Lot 430 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.



No.	by	Date	Description
A	CTW	04/11/16	Original Issue
B	TBG	22/02/17	Contours amended. Path added.

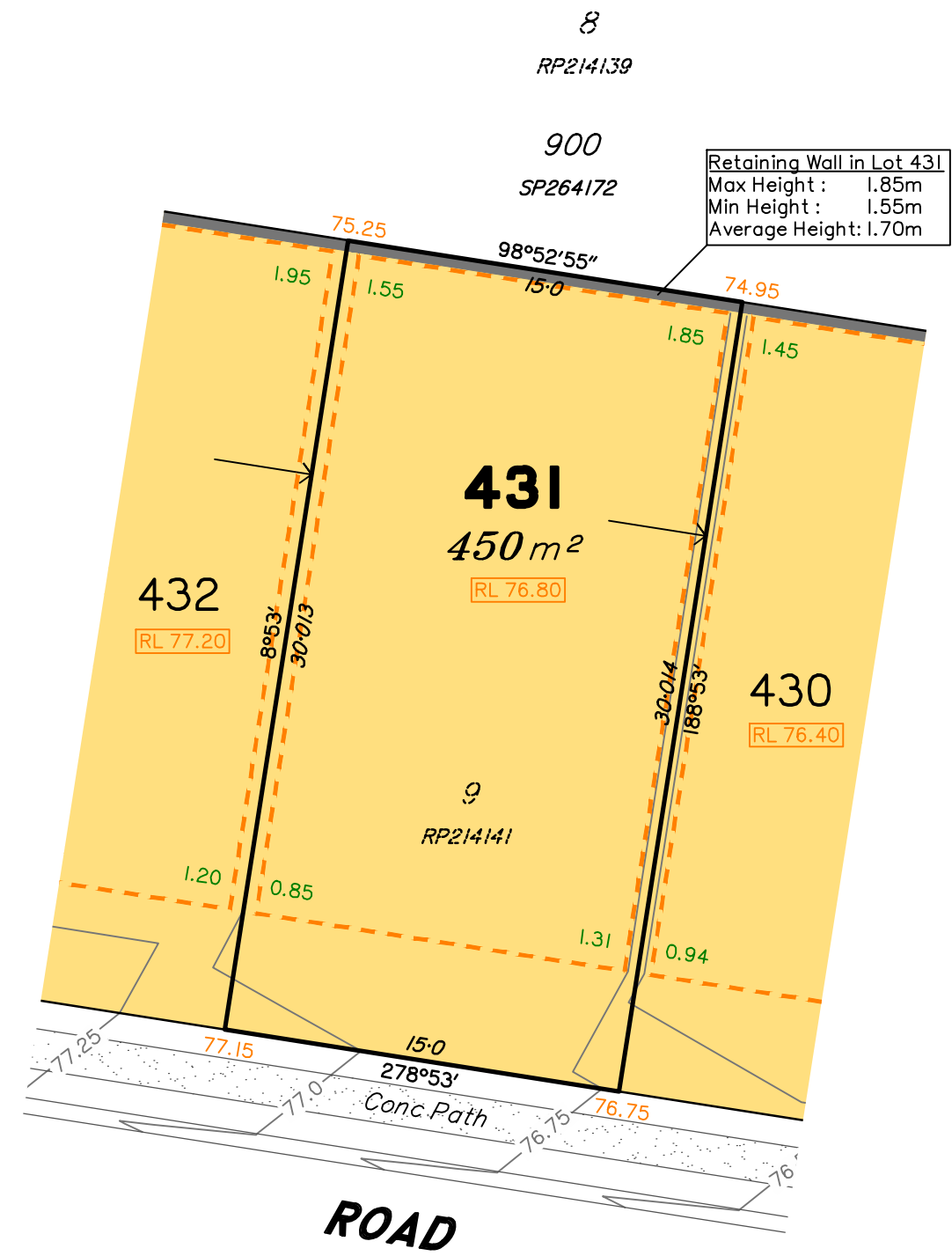
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Disclosure Plan for Proposed Lot 430 (Restricted) on SP292394
 Described as part of Lot 855 (Restricted) on SP279417
 Existing Title Reference: 51016185

Level Datum: AHD der.
 Origin of Levels: PM161439
 RL of Origin: 78.888
 Contour Interval: 0.25m
 Scale @A3 1: 250
 Dwg No. 8353 S 25 DP B_430

Locality of Redbank Plains



LEGEND

- Area of Fill
- Design Contours
- Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level
- 1.2 Depth of Fill

NOTES

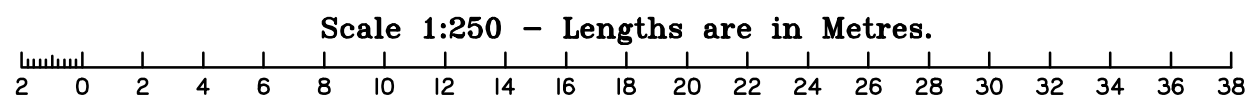
This plan has been prepared from preliminary survey plan (SP292394) and engineering plans provided on the 12/10/2016 & 01/11/2016 by ETS Engineering.

Lot 431 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.

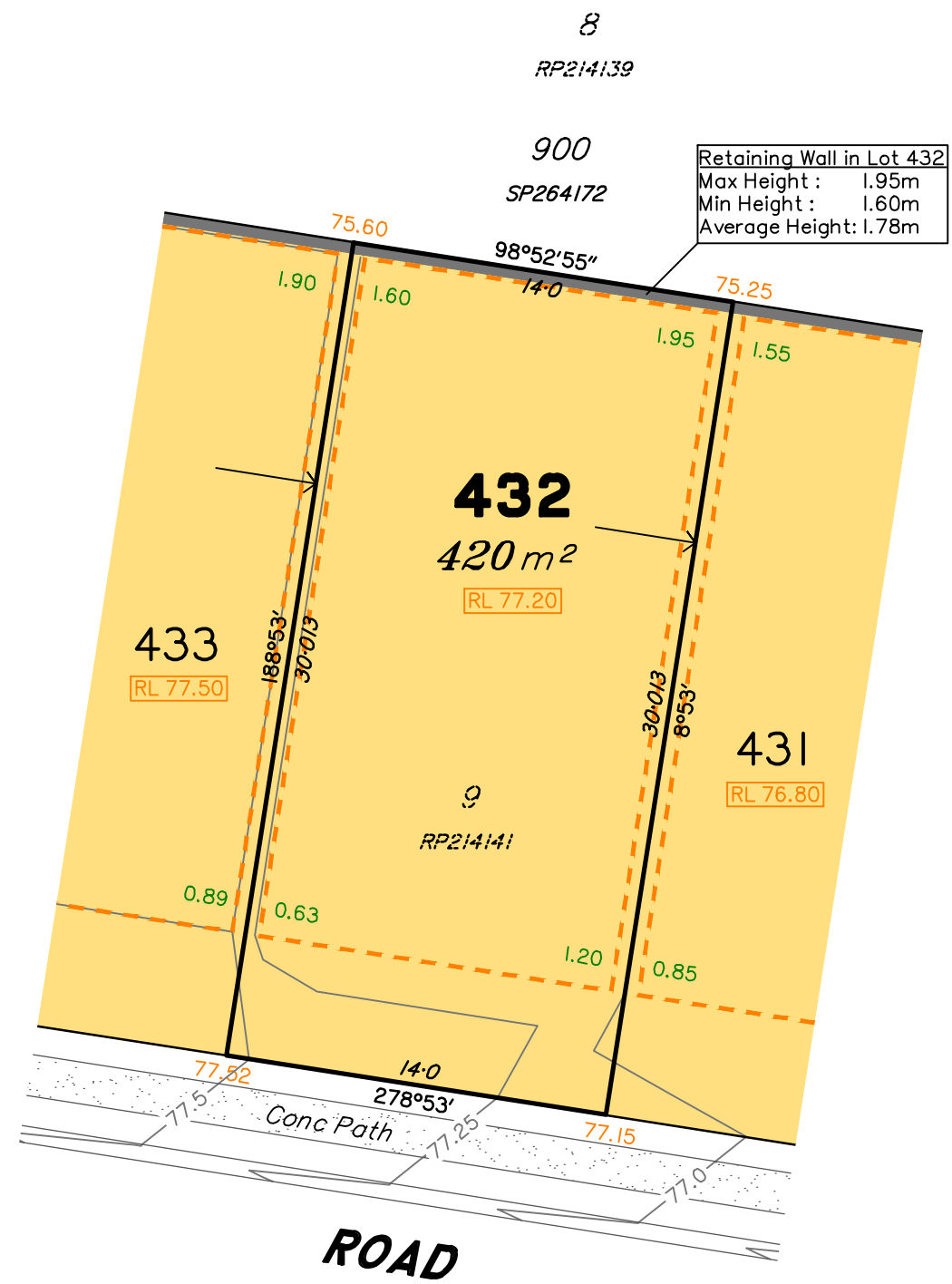


No.	by	Date	Description
A	CTW	04/11/16	Original Issue
B	TBG	22/02/17	Contours amended. Path added.

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Disclosure Plan for Proposed Lot 431 (Restricted) on SP292394
 Described as part of Lot 855 (Restricted) on SP279417
 Existing Title Reference: 51016185

Level Datum: AHD der.
 Origin of Levels: PM161439
 RL of Origin: 78.888
 Contour Interval: 0.25m
 Scale @A3 1: 250
 Dwg No. 8353 S 25 DP B_431



LEGEND

- Area of Fill
- Design Contours
- ← Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level
- 1.2 Depth of Fill

NOTES

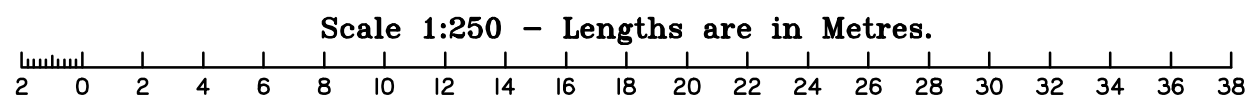
This plan has been prepared from preliminary survey plan (SP292394) and engineering plans provided on the 12/10/2016 & 01/11/2016 by ETS Engineering.

Lot 432 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

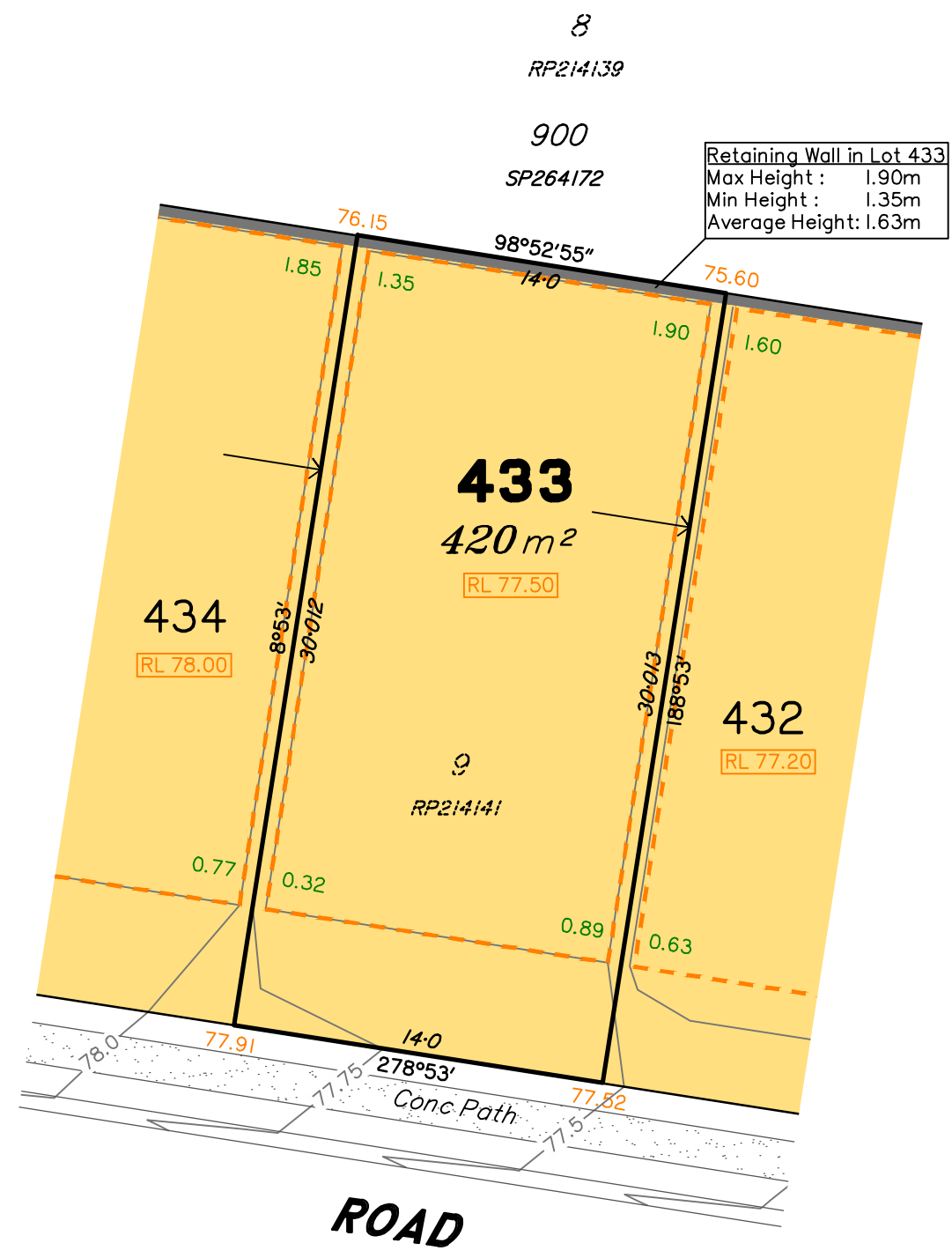
Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.



No.	by	Date	Description
A	CTW	04/11/16	Original Issue
B	TBG	22/02/17	Contours amended. Path added.



LEGEND

- Area of Fill
- Design Contours
- ← Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level
- 1.2 Depth of Fill

NOTES

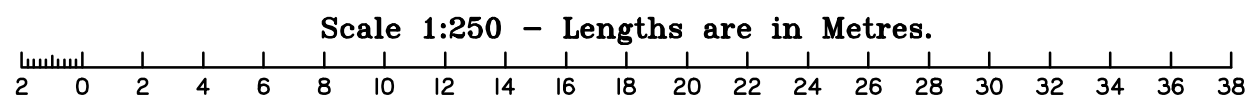
This plan has been prepared from preliminary survey plan (SP292394) and engineering plans provided on the 12/10/2016 & 01/11/2016 by ETS Engineering.

Lot 433 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.



No.	by	Date	Description
A	CTW	04/11/16	Original Issue
B	TBG	22/02/17	Contours amended. Path added.

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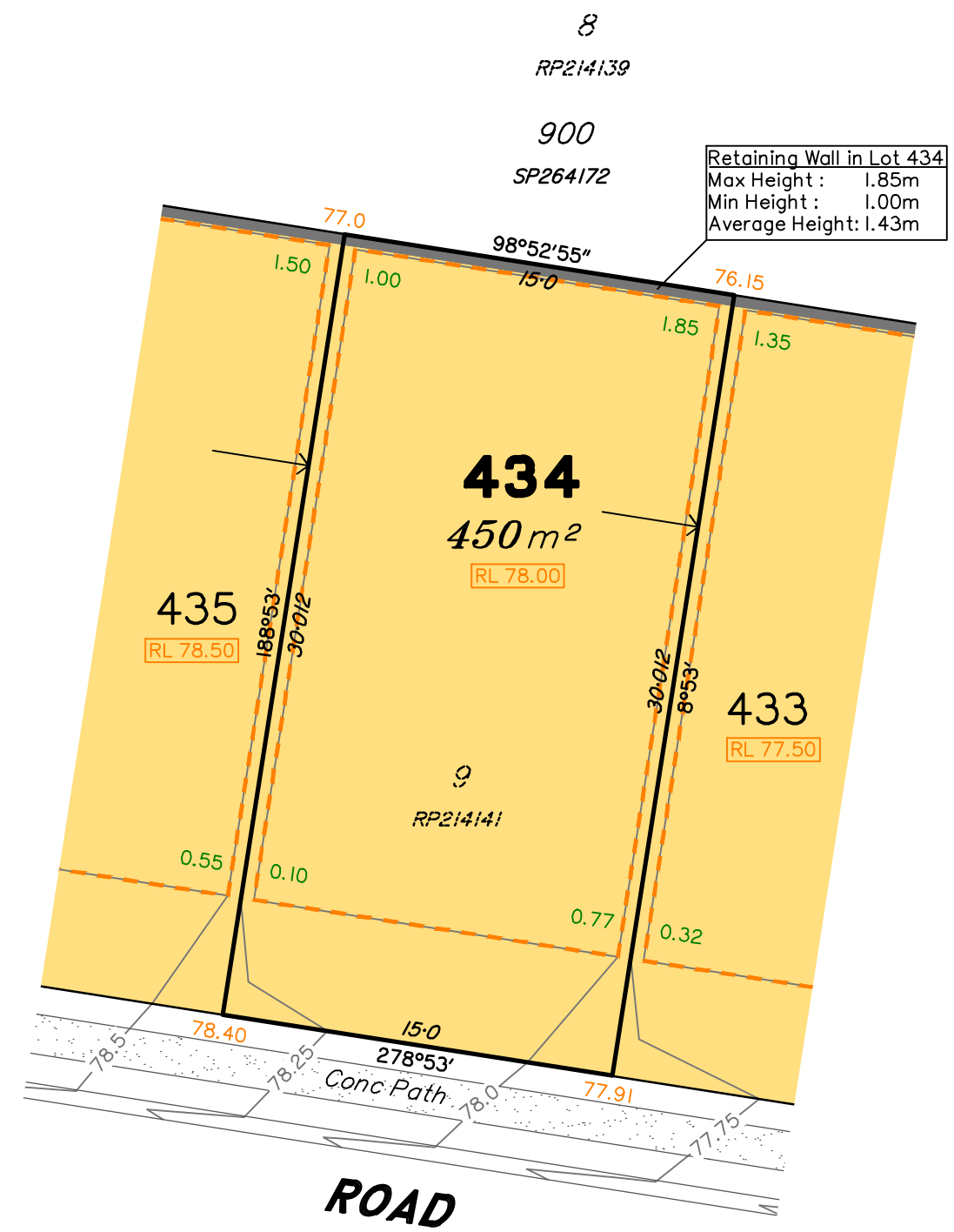
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Disclosure Plan for Proposed Lot 433 (Restricted) on SP292394
 Described as part of Lot 855 (Restricted) on SP279417
 Existing Title Reference: 51016185

Level Datum: AHD der.
 Origin of Levels: PM161439
 RL of Origin: 78.888
 Contour Interval: 0.25m
 Scale @A3 1: 250
 Dwg No. 8353 S 25 DP B_433

Locality of Redbank Plains



LEGEND

- Area of Fill
- Design Contours
- ← Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level
- 1.2 Depth of Fill

NOTES

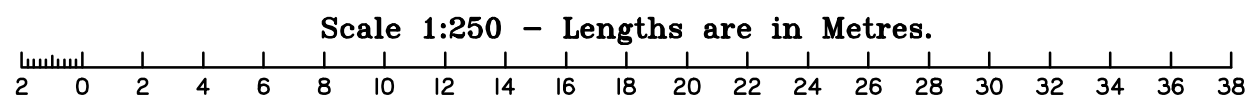
This plan has been prepared from preliminary survey plan (SP292394) and engineering plans provided on the 12/10/2016 & 01/11/2016 by ETS Engineering.

Lot 434 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.



No.	by	Date	Description
A	CTW	04/11/16	Original Issue
B	TBG	22/02/17	Contours amended. Path added.

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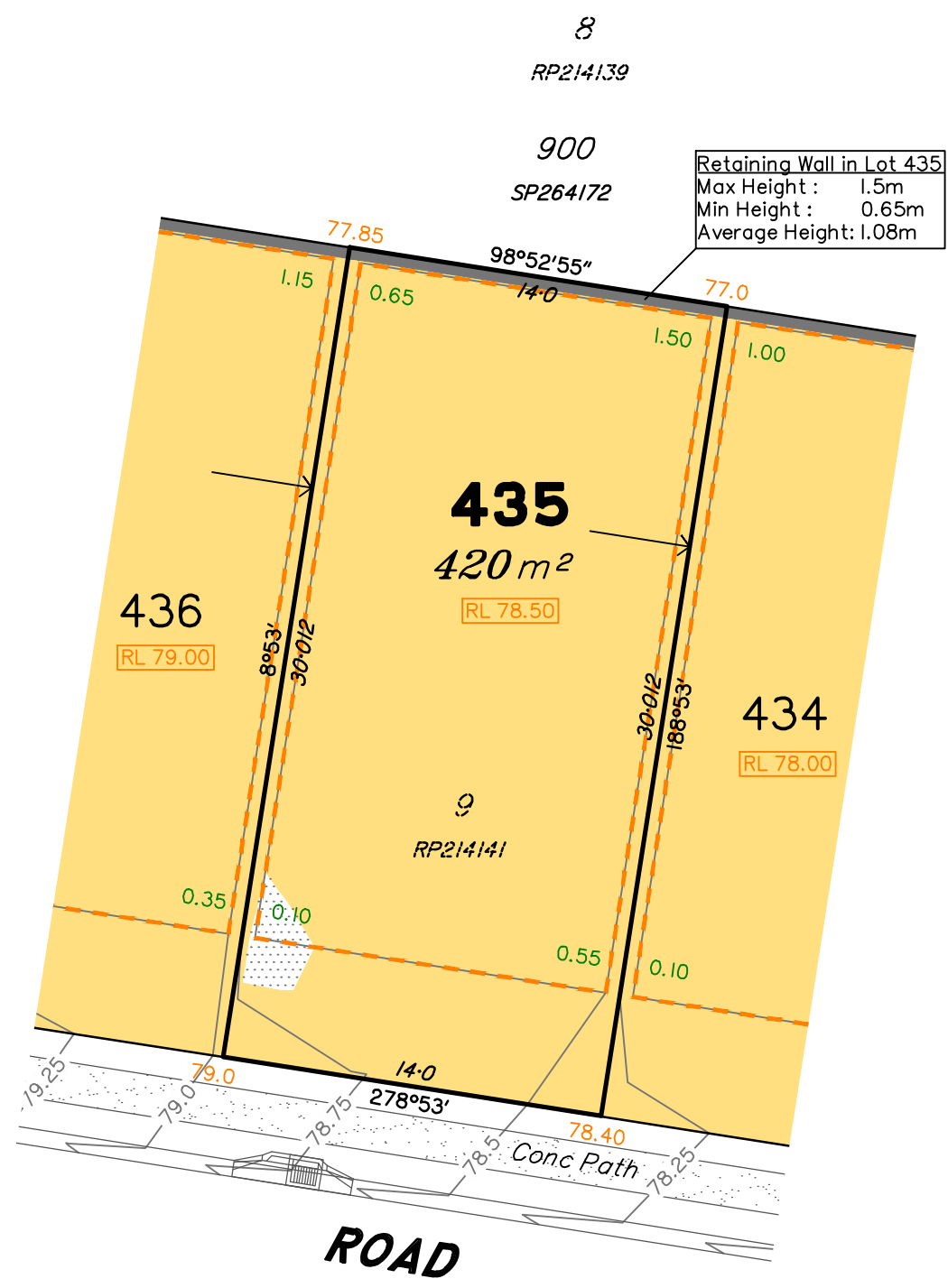
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Disclosure Plan for Proposed Lot 434 (Restricted) on SP292394
 Described as part of Lot 855 (Restricted) on SP279417
 Existing Title Reference: 51016185

Level Datum: AHD der.
 Origin of Levels: PM161439
 RL of Origin: 78.888
 Contour Interval: 0.25m
 Scale @A3 1: 250
 Dwg No. 8353 S 25 DP B_434

Locality of Redbank Plains



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level
- 1.2 Depth of Fill

NOTES

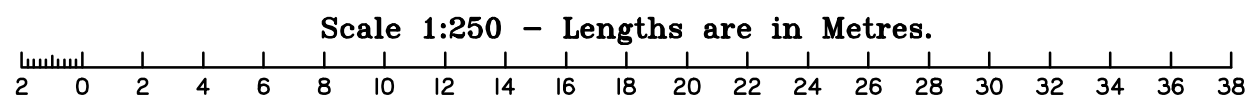
This plan has been prepared from preliminary survey plan (SP292394) and engineering plans provided on the 12/10/2016 & 01/11/2016 by ETS Engineering.

Lot 435 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.



No.	by	Date	Description
A	CTW	04/11/16	Original Issue
B	TBG	22/02/17	Contours amended. Path added.

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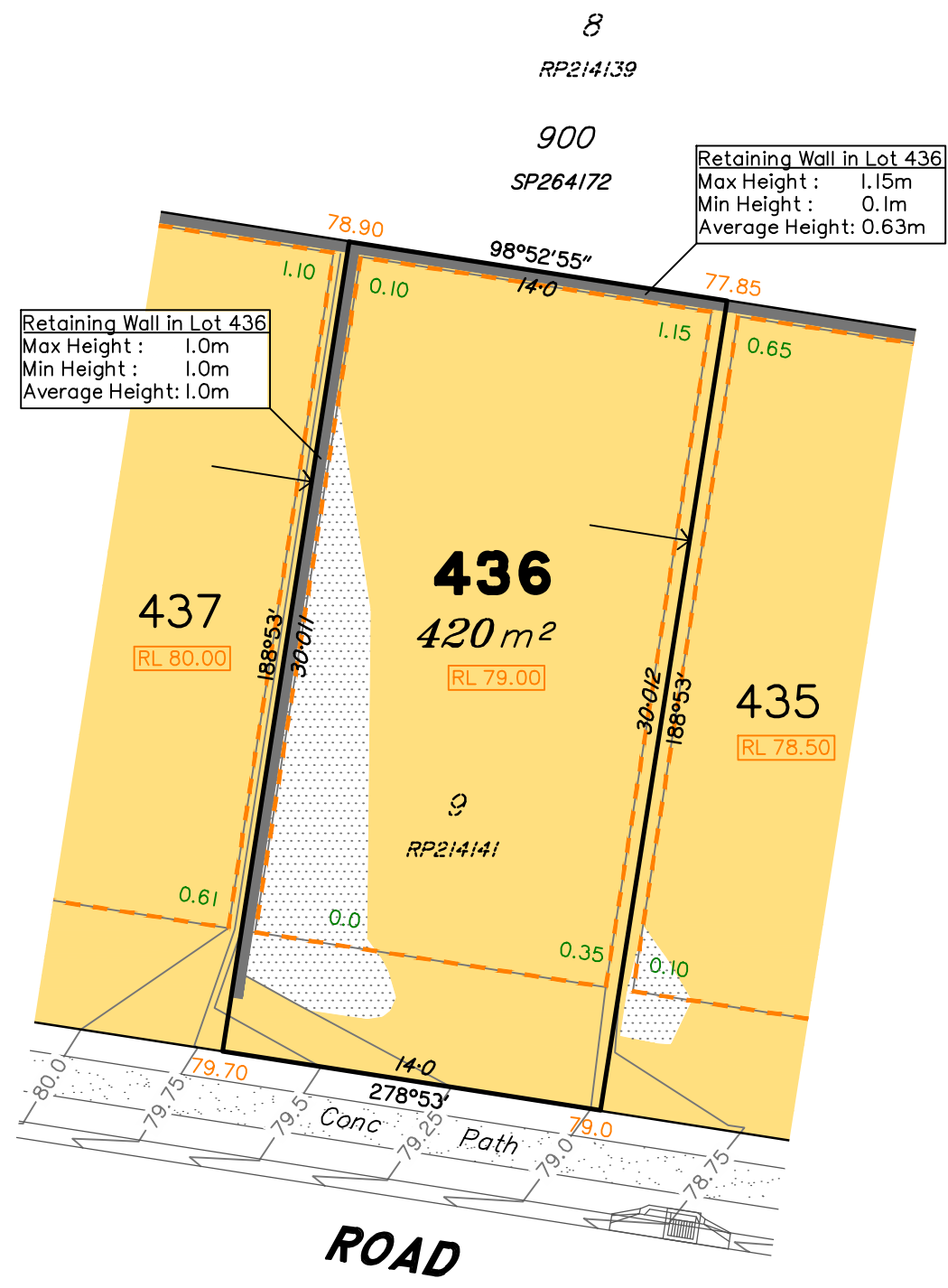
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Disclosure Plan for Proposed Lot 435 (Restricted) on SP292394
 Described as part of Lot 855 (Restricted) on SP279417
 Existing Title Reference: 51016185

Level Datum: AHD der.
 Origin of Levels: PM161439
 RL of Origin: 78.888
 Contour Interval: 0.25m
 Scale @A3 1: 250
 Dwg No. 8353 S 25 DP B_435

Locality of Redbank Plains



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level
- 1.2 Depth of Fill

NOTES

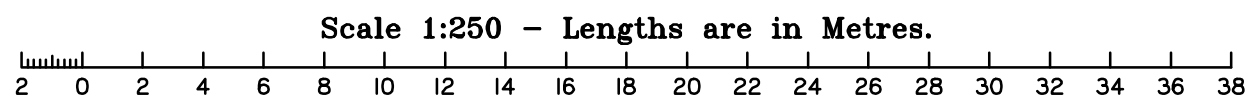
This plan has been prepared from preliminary survey plan (SP292394) and engineering plans provided on the 12/10/2016 & 01/11/2016 by ETS Engineering.

Lot 436 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.



No.	by	Date	Description
A	CTW	04/11/16	Original Issue
B	TBG	22/02/17	Contours amended. Path added.

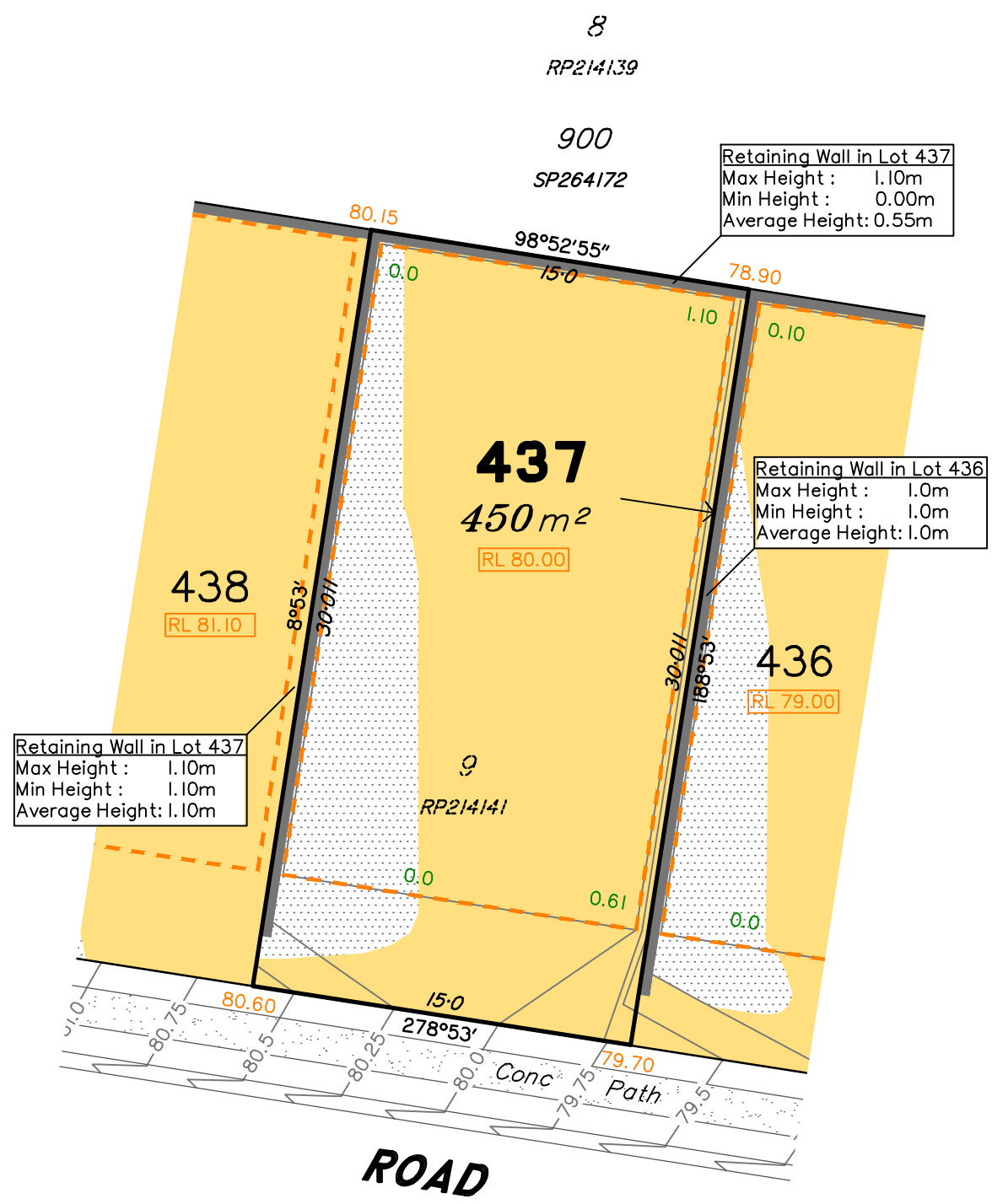
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Disclosure Plan for Proposed Lot 436 (Restricted) on SP292394
 Described as part of Lot 855 (Restricted) on SP279417
 Existing Title Reference: 51016185

Level Datum: AHD der.
 Origin of Levels: PM161439
 RL of Origin: 78.888
 Contour Interval: 0.25m
 Scale @A3 1: 250
 Dwg No. 8353 S 25 DP B_436

Locality of Redbank Plains



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Zero Lot Boundary
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- Proposed Building Pad
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level
- 1.2 Depth of Fill

NOTES

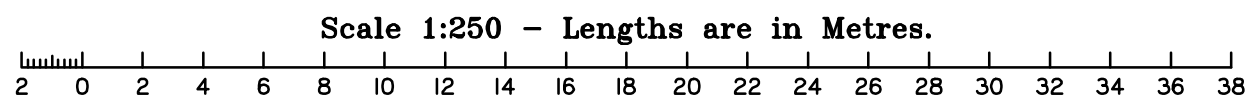
This plan has been prepared from preliminary survey plan (SP292394) and engineering plans provided on the 12/10/2016 & 01/11/2016 by ETS Engineering.

Lot 437 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

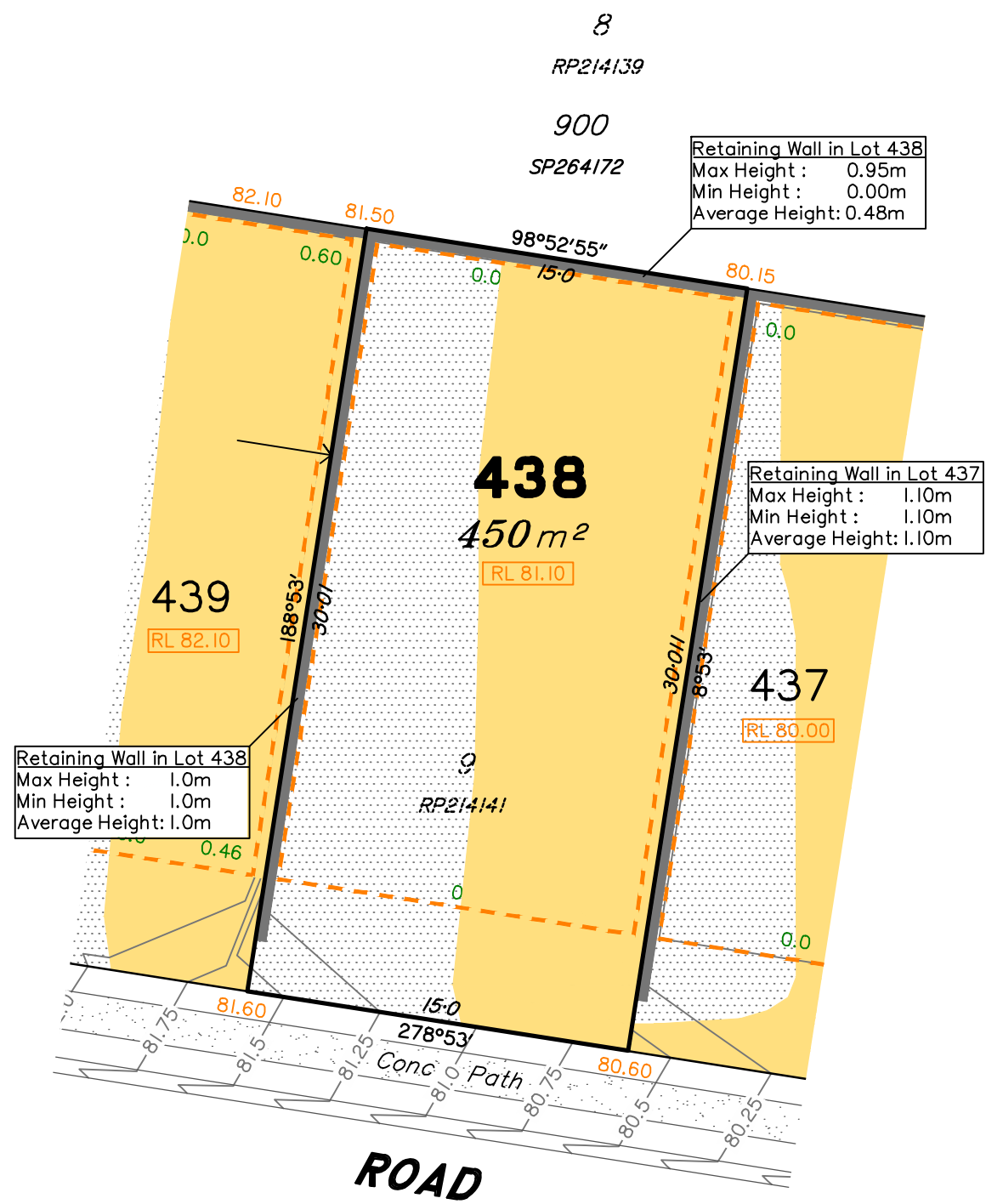
Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

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No.	by	Date	Description
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B	TBG	22/02/17	Contours amended. Path added.



LEGEND

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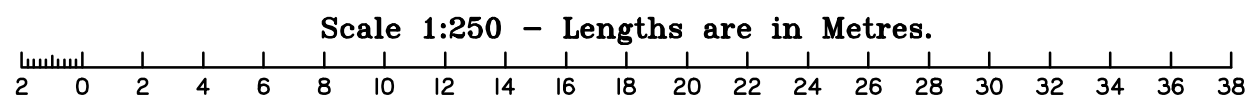
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Lot 438 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

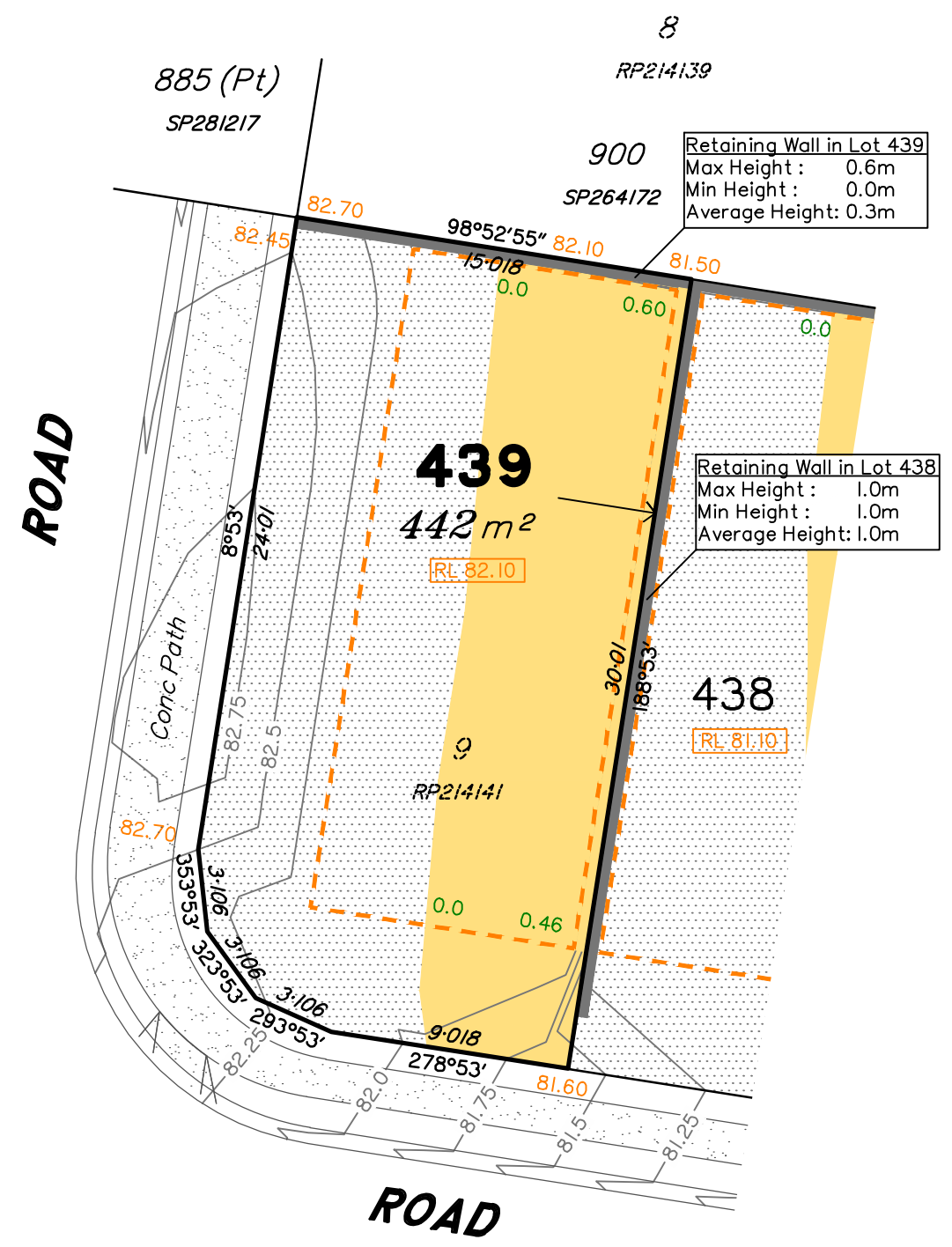
Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

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No.	by	Date	Description
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B	TBG	22/02/17	Contours amended. Path added.



LEGEND

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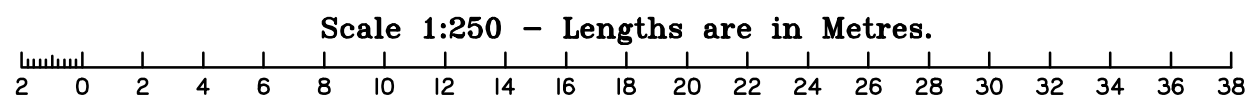
This plan has been prepared from preliminary survey plan (SP292394) and engineering plans provided on the 12/10/2016 & 01/11/2016 by ETS Engineering.

Lot 439 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

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No.	by	Date	Description
A	CTW	04/11/16	Original Issue
B	TBG	22/02/17	Contours amended. Path added.
C	TBG	24/02/17	Lot dimensions & area adjusted.

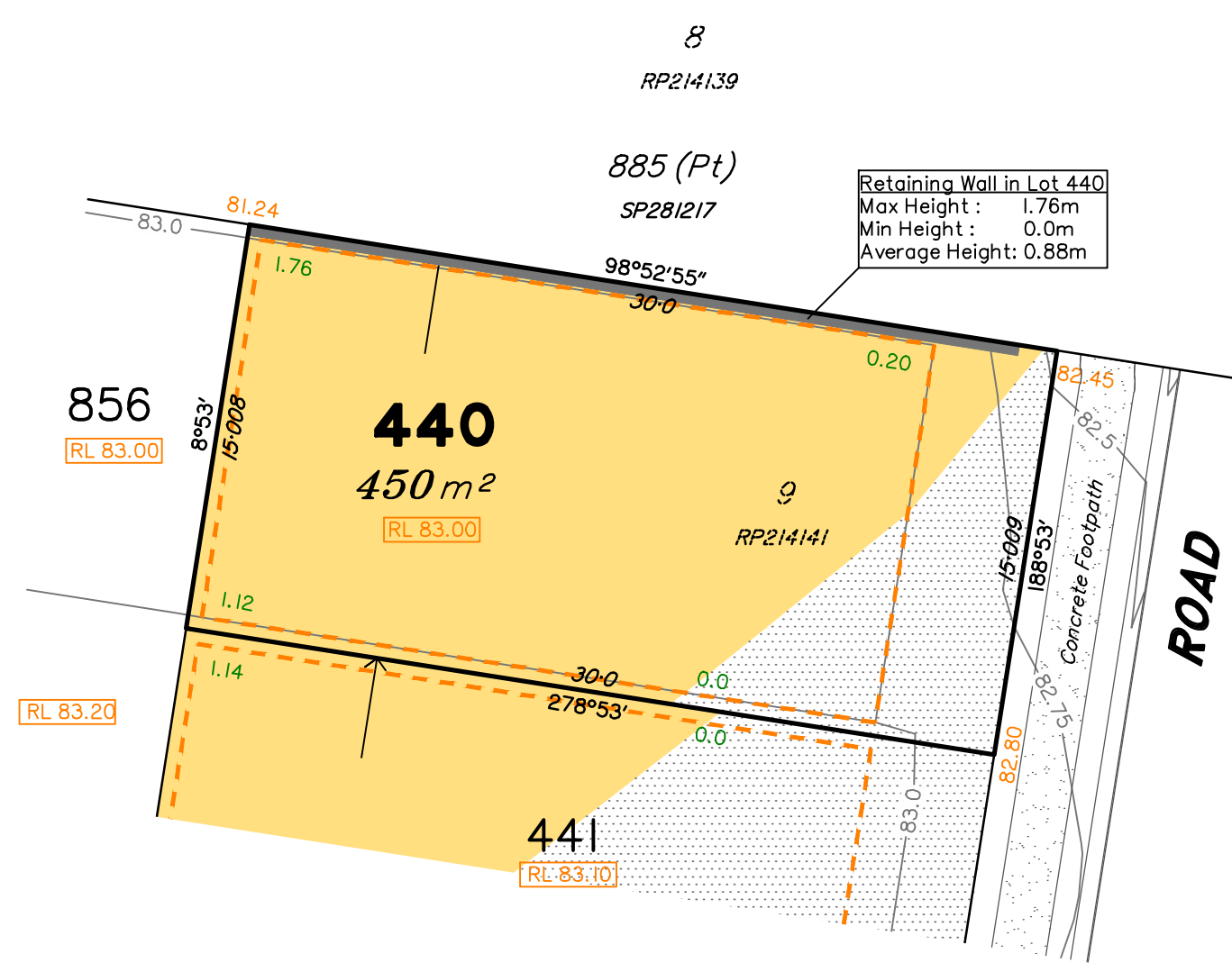
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Disclosure Plan for Proposed Lot 439 (Restricted) on SP292394
 Described as part of Lot 855 (Restricted) on SP279417
 Existing Title Reference: 51016185

Level Datum: AHD der.
 Origin of Levels: PM161439
 RL of Origin: 78.888
 Contour Interval: 0.25m
 Scale @A3 1: 250
 Dwg No. 8353 S 25 DP C_439

Locality of Redbank Plains



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level
- 1.2 Depth of Fill

NOTES

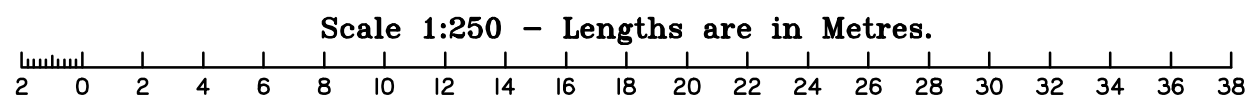
This plan has been prepared from preliminary survey plan (SP292394) and engineering plans provided on the 12/10/2016 & 01/11/2016 by ETS Engineering.

Lot 440 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

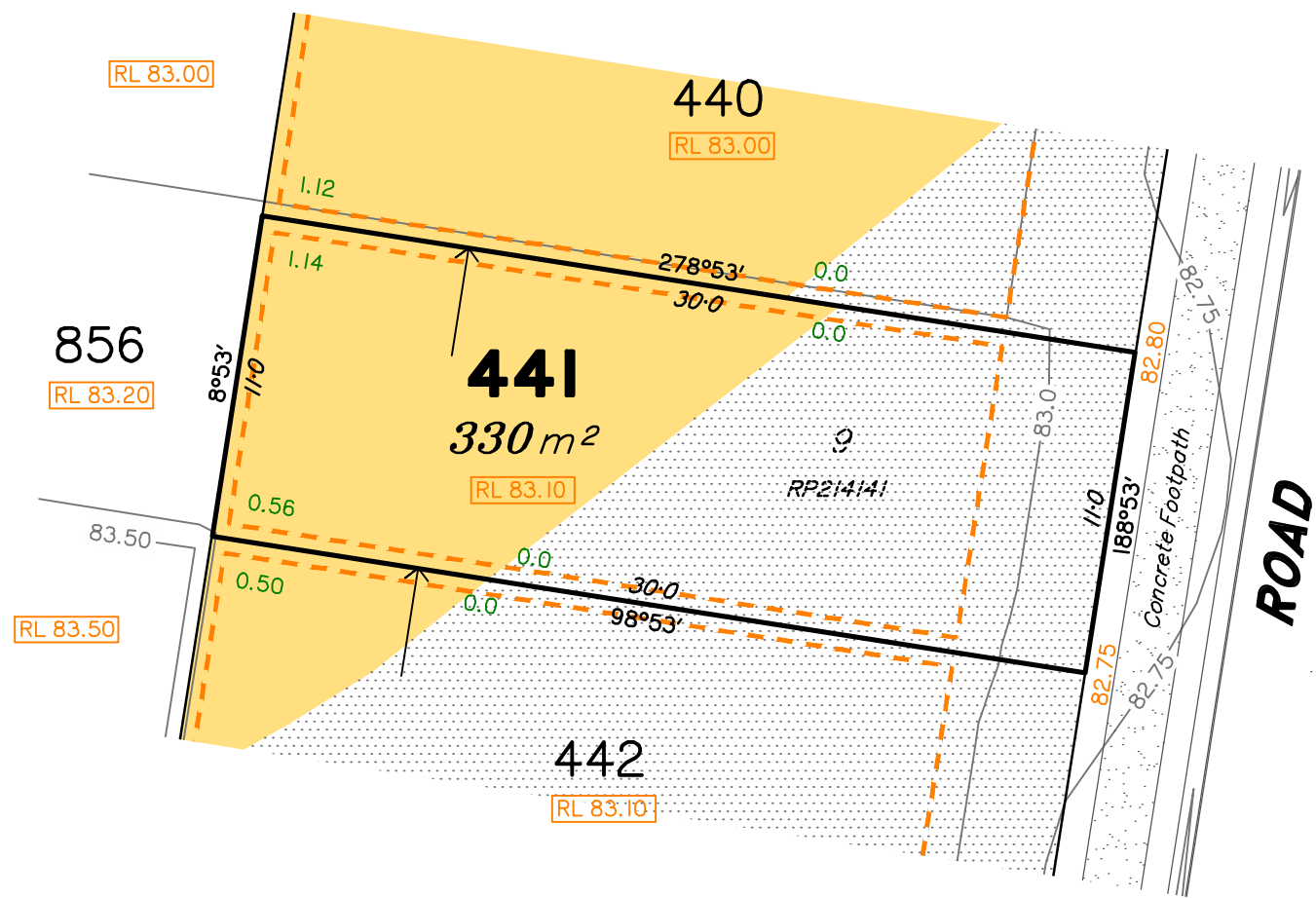
Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.



No.	by	Date	Description
A	CTW	04/11/16	Original Issue
B	TBG	15/02/17	Contours amended.



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level
- 1.2 Depth of Fill

NOTES

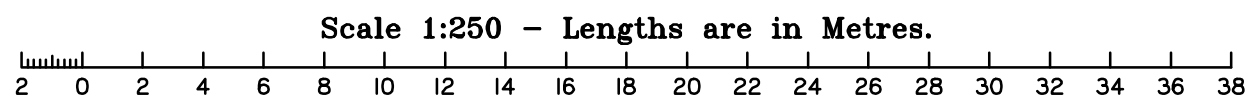
This plan has been prepared from preliminary survey plan (SP292394) and engineering plans provided on the 12/10/2016 & 01/11/2016 by ETS Engineering.

Lot 441 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

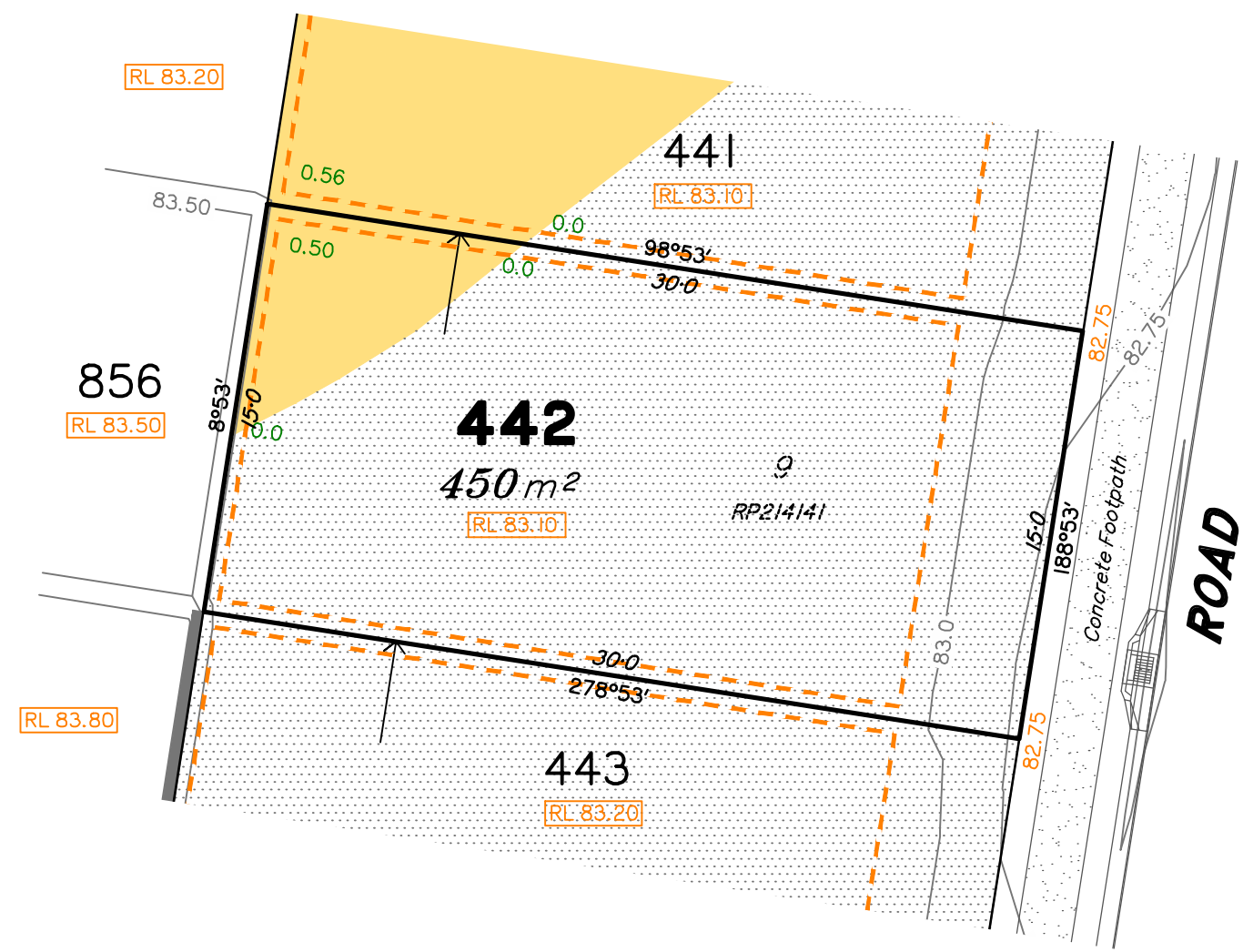
Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.



No.	by	Date	Description
A	CTW	04/11/16	Original Issue
B	TBG	15/02/17	Contours amended.



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level
- 1.2 Depth of Fill

NOTES

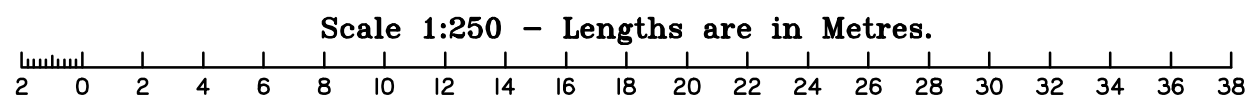
This plan has been prepared from preliminary survey plan (SP292394) and engineering plans provided on the 12/10/2016 & 01/11/2016 by ETS Engineering.

Lot 442 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.



No.	by	Date	Description
A	CTW	04/11/16	Original Issue
B	TBG	15/02/17	Contours amended.

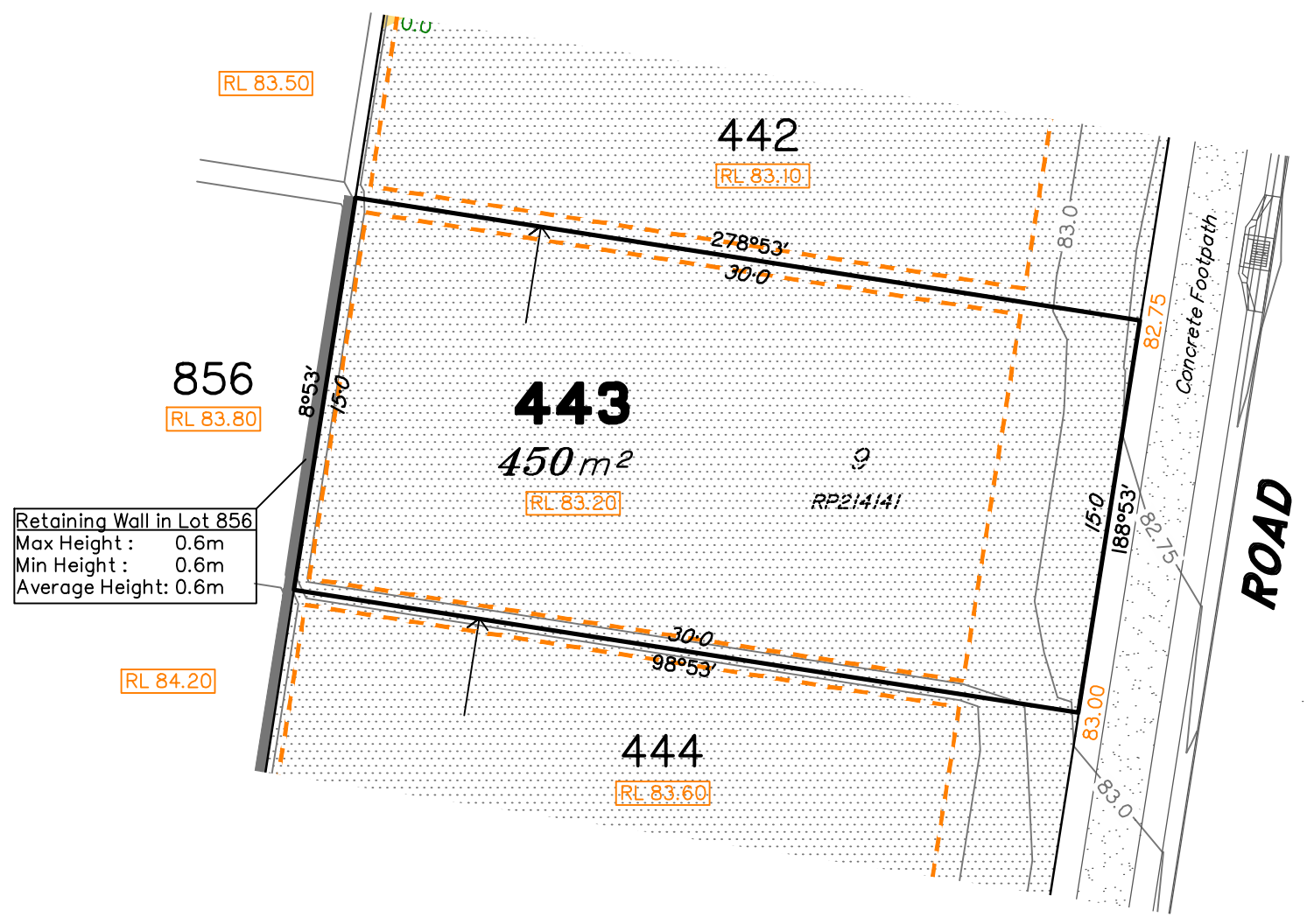
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Disclosure Plan for Proposed Lot 442 (Restricted) on SP292394
 Described as part of Lot 855 (Restricted) on SP279417
 Existing Title Reference: 51016185

Level Datum: AHD der.
 Origin of Levels: PM161439
 RL of Origin: 78.888
 Contour Interval: 0.25m
 Scale @A3 1: 250
 Dwg No. 8353 S 25 DP B_442

Locality of Redbank Plains



Retaining Wall in Lot 856
 Max Height : 0.6m
 Min Height : 0.6m
 Average Height: 0.6m

LEGEND	
	Area of Cut
	Design Contours
	Zero Lot Boundary
	Proposed Retaining Wall
	Proposed Building Pad
38.78	Finished Surface Design Level
RL 38.78	Finished Pad Design Level

NOTES

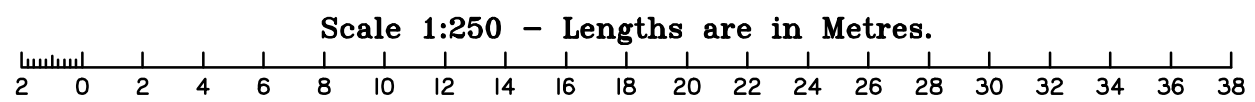
This plan has been prepared from preliminary survey plan (SP292394) and engineering plans provided on the 12/10/2016 & 01/11/2016 by ETS Engineering.

Lot 443 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

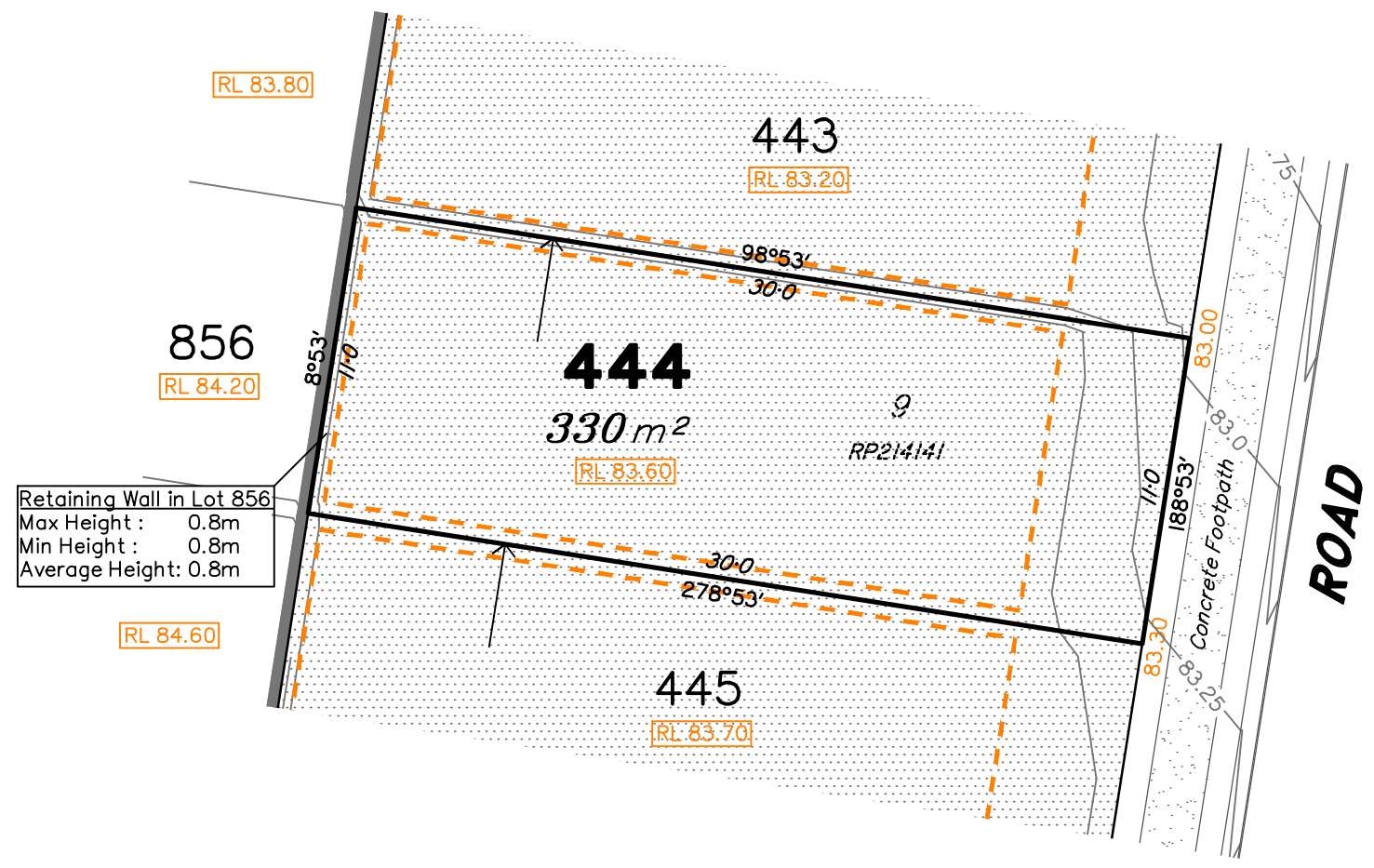
Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.



No.	by	Date	Description
A	CTW	04/11/16	Original Issue
B	TBG	15/02/17	Contours amended.



Retaining Wall in Lot 856
 Max Height : 0.8m
 Min Height : 0.8m
 Average Height: 0.8m

LEGEND	
	Area of Cut
	Design Contours
	Zero Lot Boundary
	Proposed Retaining Wall
	Proposed Building Pad
38.78	Finished Surface Design Level
RL 38.78	Finished Pad Design Level

NOTES

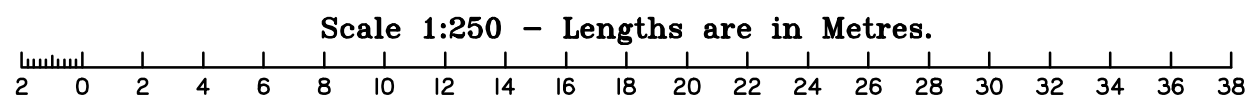
This plan has been prepared from preliminary survey plan (SP292394) and engineering plans provided on the 12/10/2016 & 01/11/2016 by ETS Engineering.

Lot 444 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

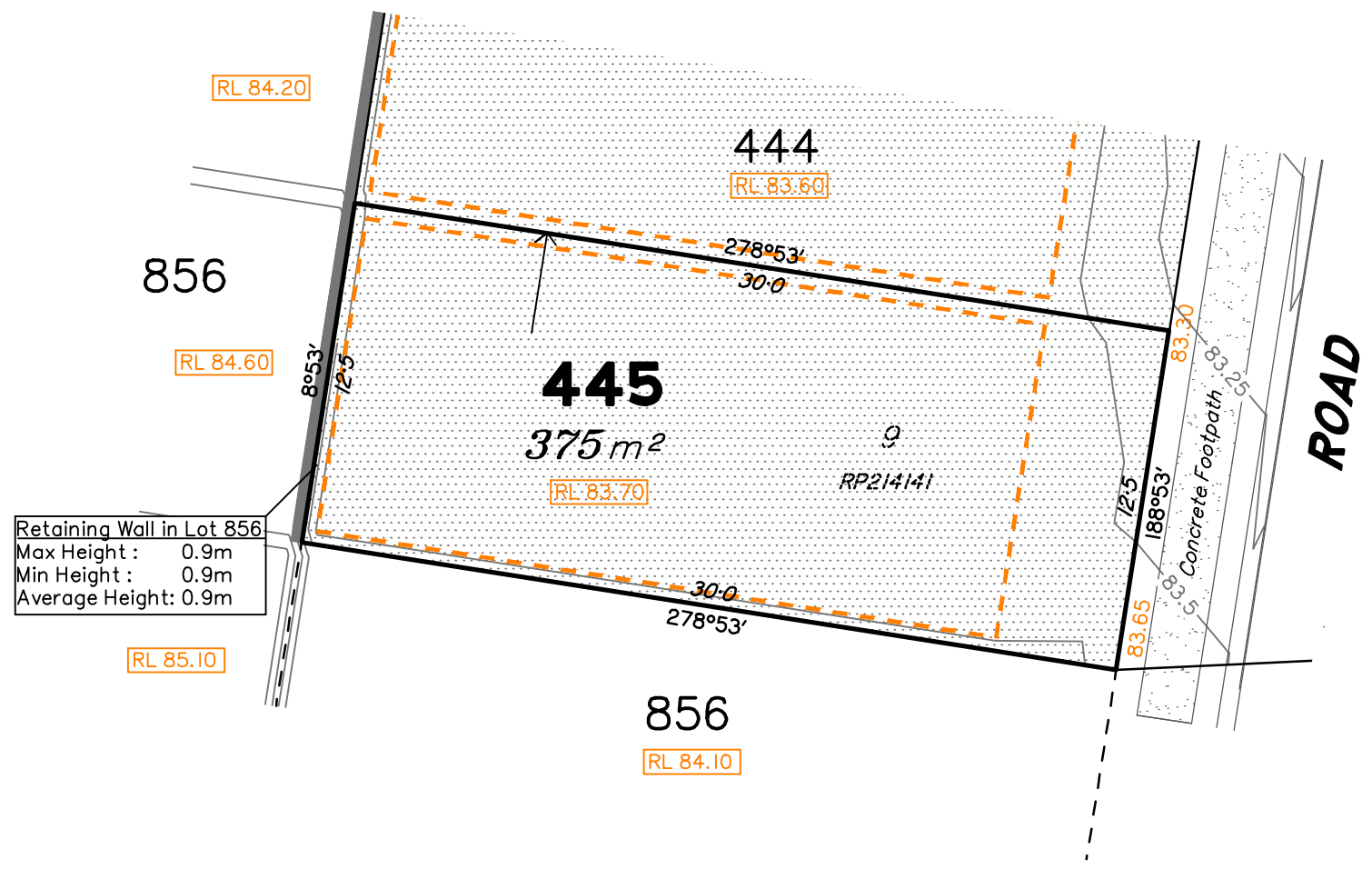
Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.



No.	by	Date	Description
A	CTW	04/11/16	Original Issue
B	TBG	15/02/17	Contours amended.



LEGEND	
	Area of Cut
	Design Contours
	Zero Lot Boundary
	Proposed Retaining Wall
	Proposed Building Pad
38.78	Finished Surface Design Level
RL 38.78	Finished Pad Design Level

NOTES

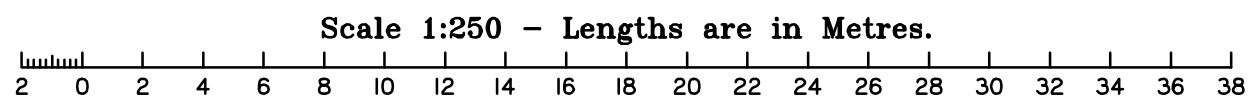
This plan has been prepared from preliminary survey plan (SP292394) and engineering plans provided on the 12/10/2016 & 01/11/2016 by ETS Engineering.

Lot 445 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

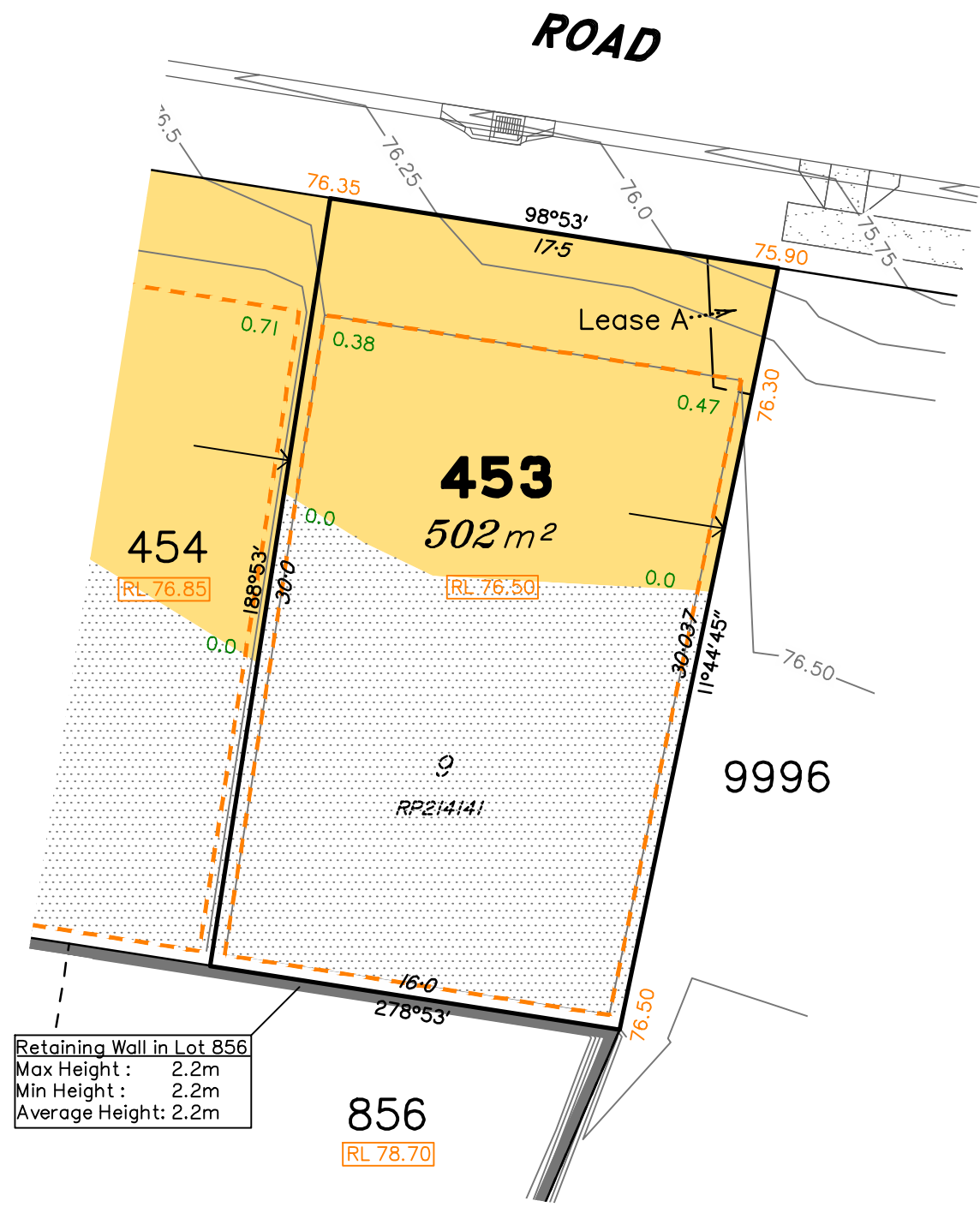
Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

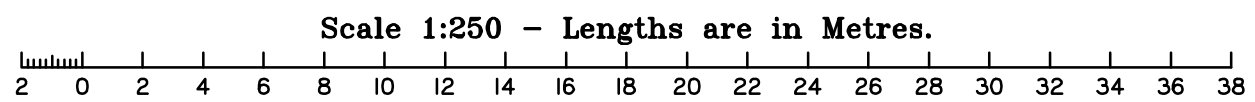
All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.



No.	by	Date	Description
A	CTW	04/11/16	Original Issue
B	TBG	15/02/17	Contours amended.



Retaining Wall in Lot 856
 Max Height : 2.2m
 Min Height : 2.2m
 Average Height: 2.2m



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level
- 1.2 Depth of Fill

NOTES

This plan has been prepared from preliminary survey plan (SP292394) and engineering plans provided on the 12/10/2016 & 01/11/2016 by ETS Engineering.

Lot 453 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

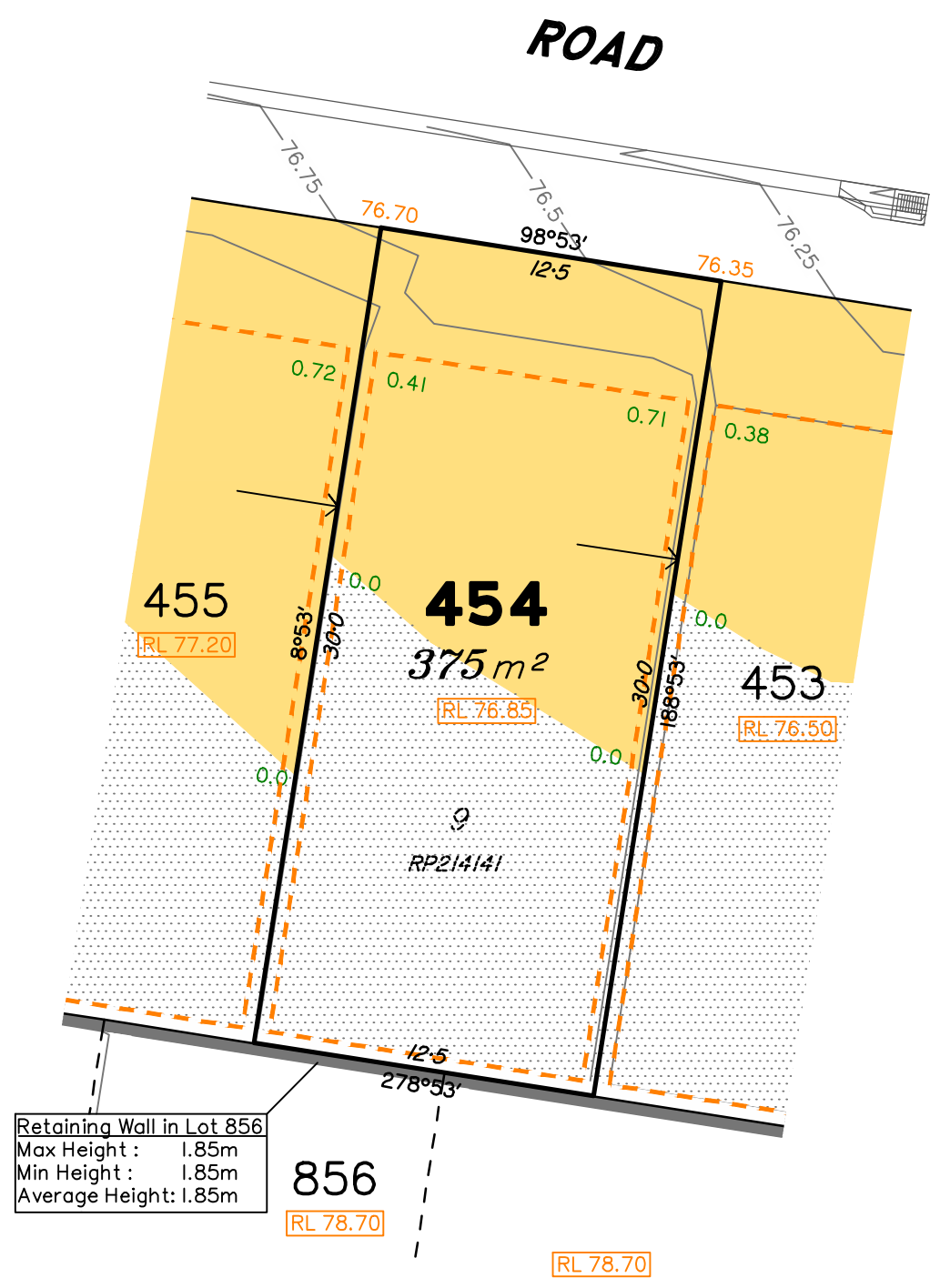
Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

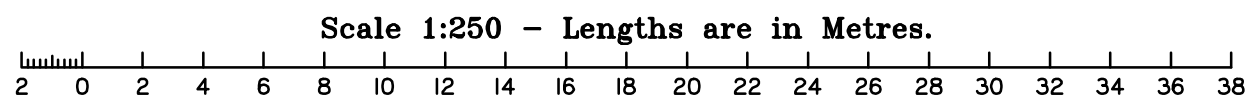
All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.

Lot 453 is subject to Lease A on SP292408 for signage purposes.

No.	by	Date	Description
A	CTW	04/11/16	Original Issue
B	TBG	22/02/17	Contours amended. Path removed.



Retaining Wall in Lot 856
 Max Height : 1.85m
 Min Height : 1.85m
 Average Height: 1.85m



LEGEND	
	Area of Fill
	Area of Cut
	Design Contours
	Zero Lot Boundary
	Proposed Retaining Wall
	Proposed Building Pad
38.78	Finished Surface Design Level
RL 38.78	Finished Pad Design Level
1.2	Depth of Fill

NOTES

This plan has been prepared from preliminary survey plan (SP292394) and engineering plans provided on the 12/10/2016 & 01/11/2016 by ETS Engineering.

Lot 454 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.

No.	by	Date	Description
A	CTW	04/11/16	Original Issue
B	TBG	22/02/17	Contours amended. Path removed.

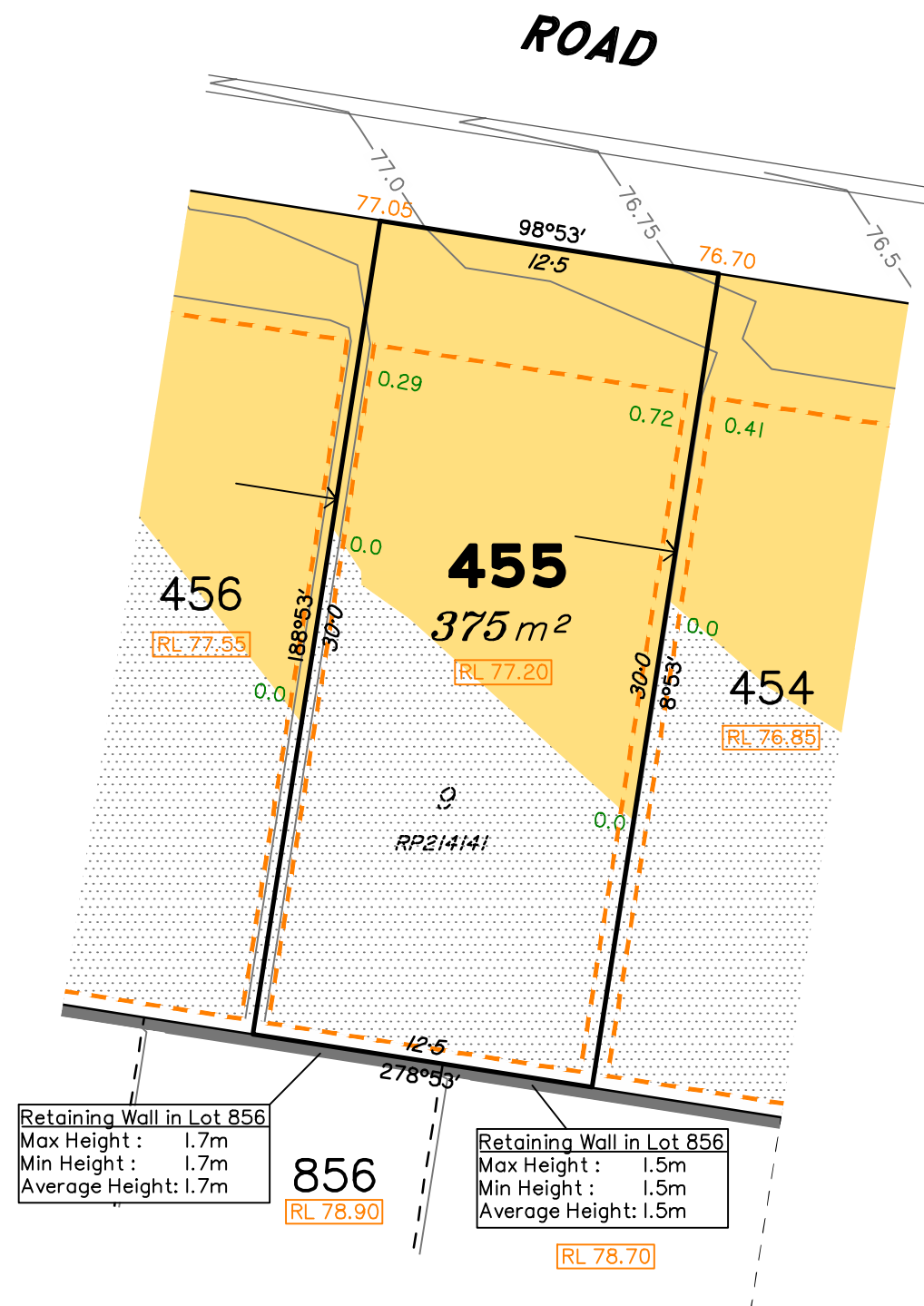
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Disclosure Plan for Proposed Lot 454 (Restricted) on SP292394
 Described as part of Lot 855 (Restricted) on SP279417
 Existing Title Reference: 51016185

Level Datum: AHD der.
 Origin of Levels: PM161439
 RL of Origin: 78.888
 Contour Interval: 0.25m
 Scale @A3 1: 250
 Dwg No. 8353 S 25 DP B_454

Locality of Redbank Plains

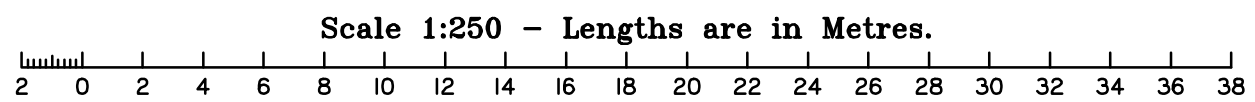


Retaining Wall in Lot 856
 Max Height : 1.7m
 Min Height : 1.7m
 Average Height: 1.7m

856
 RL 78.90

Retaining Wall in Lot 856
 Max Height : 1.5m
 Min Height : 1.5m
 Average Height: 1.5m

856
 RL 78.70



LEGEND	
	Area of Fill
	Area of Cut
	Design Contours
	Zero Lot Boundary
	Proposed Retaining Wall
	Proposed Building Pad
38.78	Finished Surface Design Level
RL 38.78	Finished Pad Design Level
1.2	Depth of Fill

NOTES

This plan has been prepared from preliminary survey plan (SP292394) and engineering plans provided on the 12/10/2016 & 01/11/2016 by ETS Engineering.

Lot 455 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.

No.	by	Date	Description
A	CTW	04/11/16	Original Issue
B	TBG	22/02/17	Contours amended. Path removed.

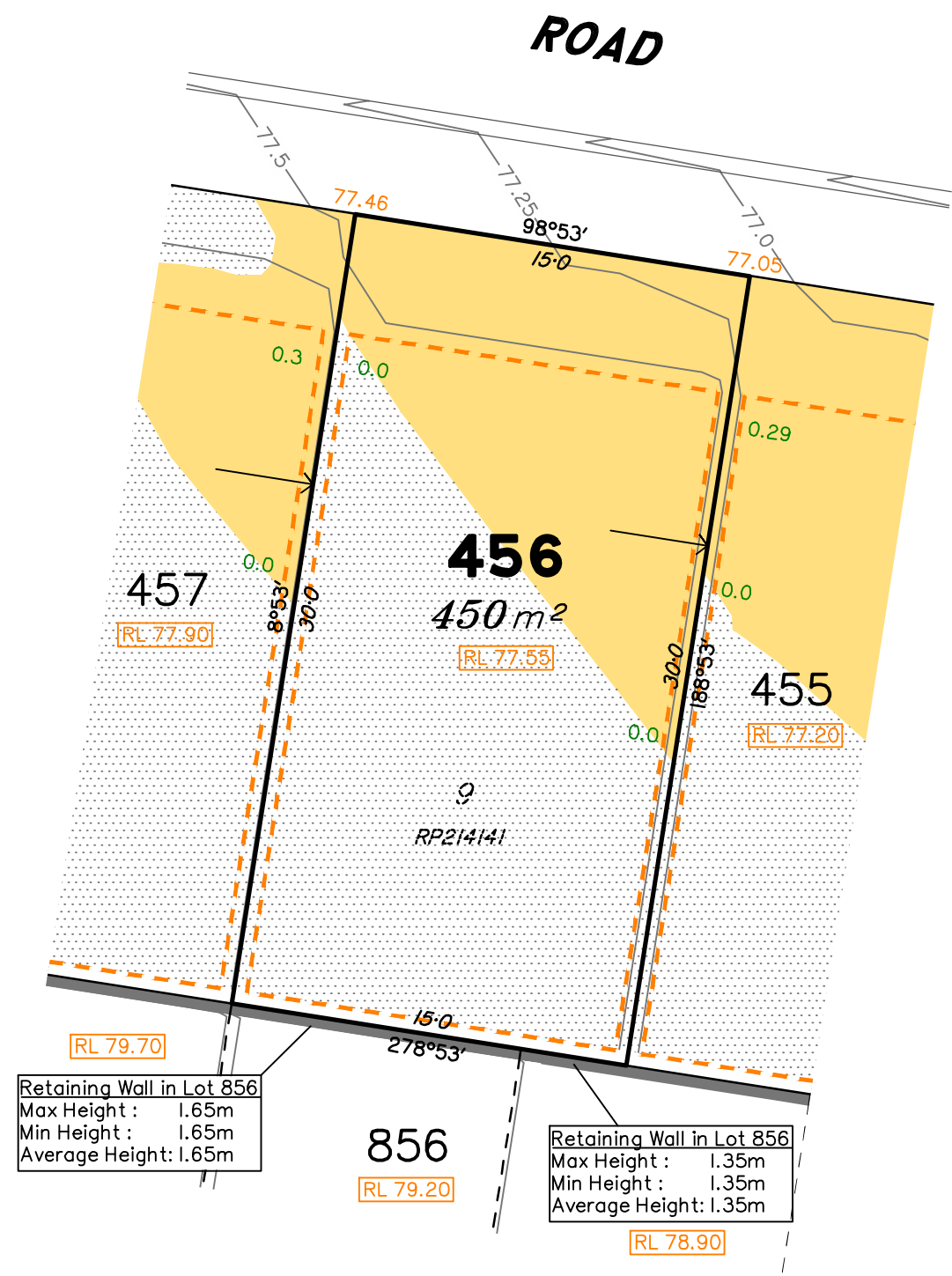
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Disclosure Plan for Proposed Lot 455 (Restricted) on SP292394
 Described as part of Lot 855 (Restricted) on SP279417
 Existing Title Reference: 51016185

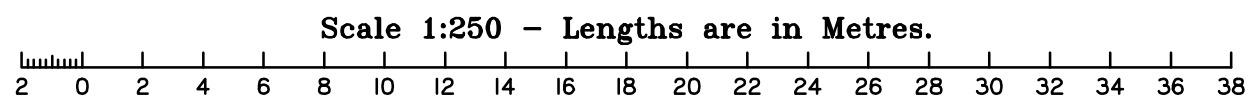
Level Datum: AHD der.
 Origin of Levels: PM161439
 RL of Origin: 78.888
 Contour Interval: 0.25m
 Scale @A3 1: 250
 Dwg No. 8353 S 25 DP B_455

Locality of Redbank Plains



Retaining Wall in Lot 856
 Max Height : 1.65m
 Min Height : 1.65m
 Average Height: 1.65m

Retaining Wall in Lot 856
 Max Height : 1.35m
 Min Height : 1.35m
 Average Height: 1.35m



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level
- 1.2 Depth of Fill

NOTES

This plan has been prepared from preliminary survey plan (SP292394) and engineering plans provided on the 12/10/2016 & 01/11/2016 by ETS Engineering.

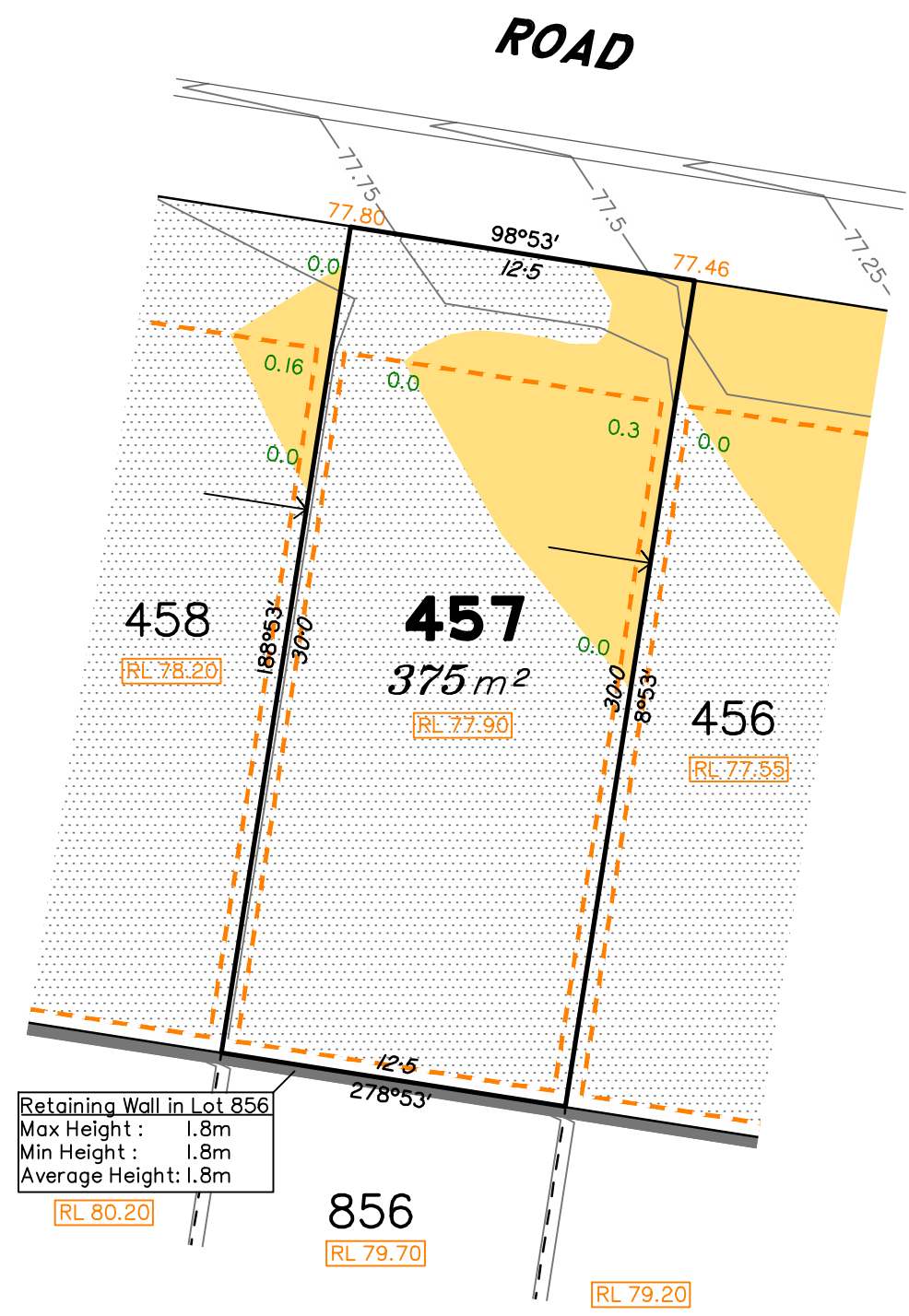
Lot 456 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

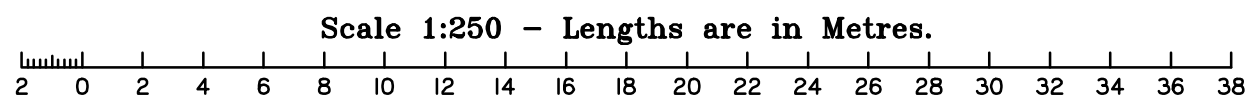
Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.

No.	by	Date	Description
A	CTW	04/11/16	Original Issue
B	TBG	22/02/17	Contours amended. Path removed.



Retaining Wall in Lot 856
 Max Height : 1.8m
 Min Height : 1.8m
 Average Height: 1.8m



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level
- 1.2 Depth of Fill

NOTES

This plan has been prepared from preliminary survey plan (SP292394) and engineering plans provided on the 12/10/2016 & 01/11/2016 by ETS Engineering.

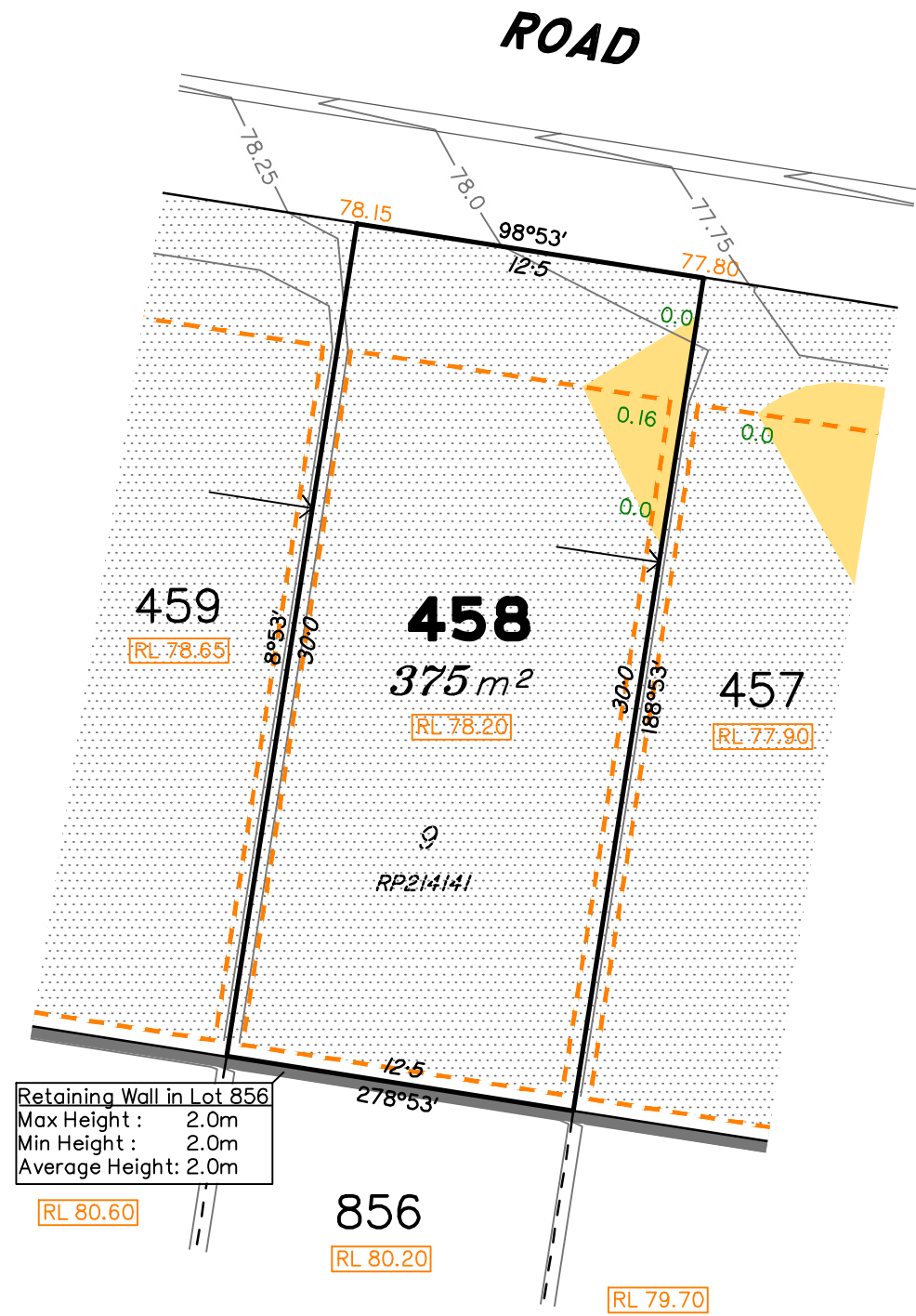
Lot 457 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

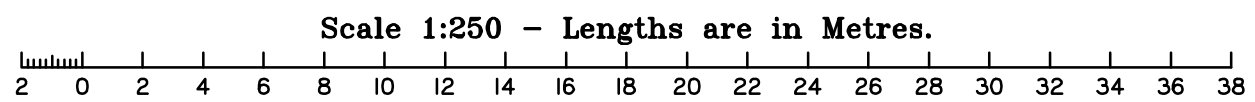
Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.

No.	by	Date	Description
A	CTW	04/11/16	Original Issue
B	TBG	22/02/17	Contours amended. Path removed.



Retaining Wall in Lot 856
 Max Height : 2.0m
 Min Height : 2.0m
 Average Height: 2.0m



LEGEND

- Area of Fill
- Area of Cut
- Design Contours
- Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level
- 1.2 Depth of Fill

NOTES

This plan has been prepared from preliminary survey plan (SP292394) and engineering plans provided on the 12/10/2016 & 01/11/2016 by ETS Engineering.

Lot 458 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.

No.	by	Date	Description
A	CTW	04/11/16	Original Issue
B	TBG	22/02/17	Contours amended. Path removed.

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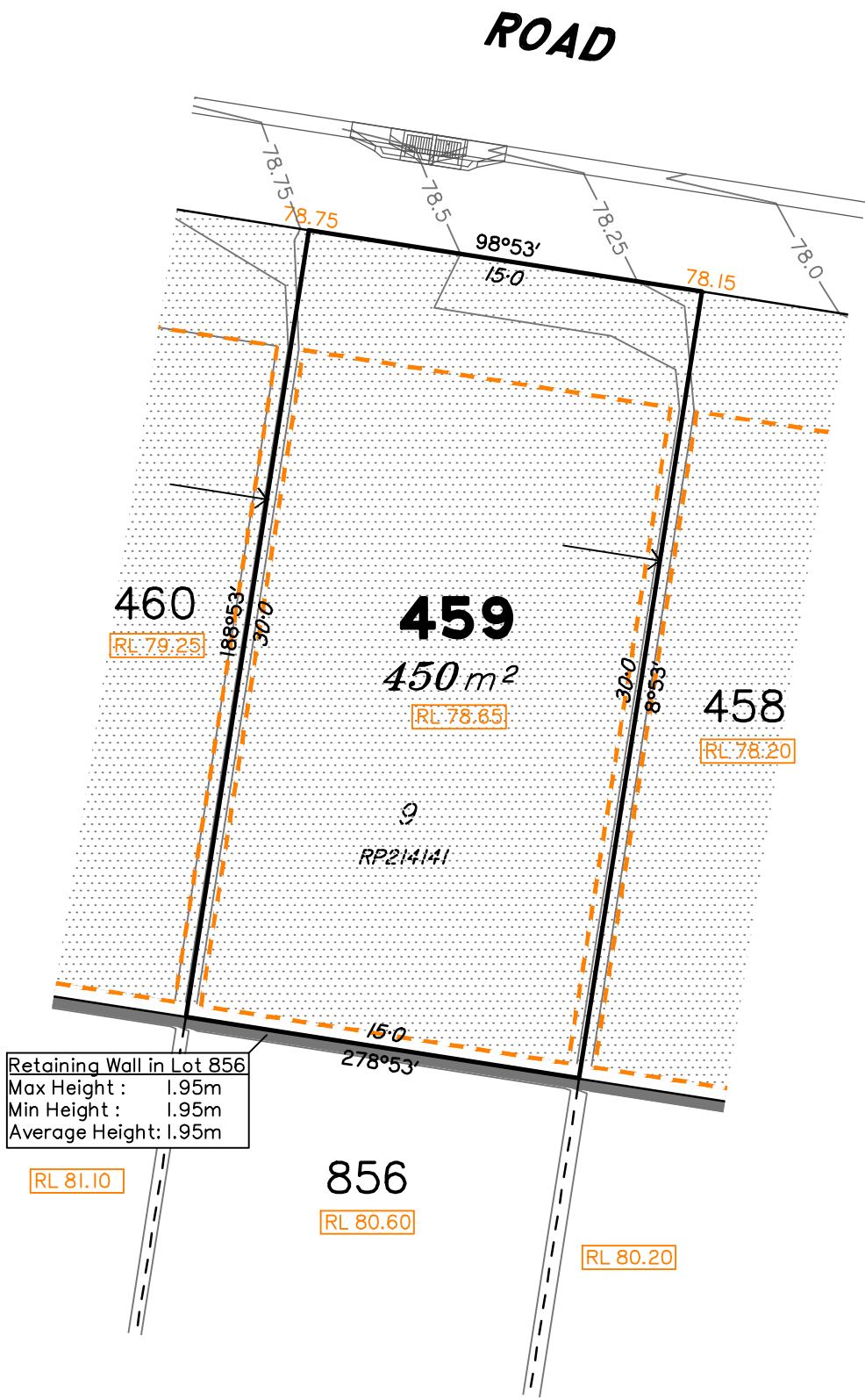
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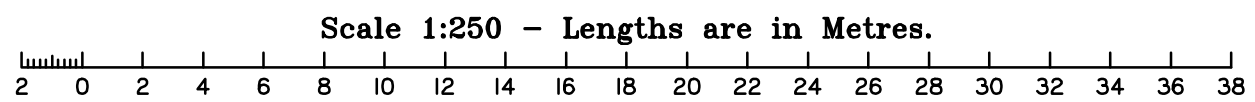
Disclosure Plan for Proposed Lot 458 (Restricted) on SP292394
 Described as part of Lot 855 (Restricted) on SP279417
 Existing Title Reference: 51016185

Level Datum: AHD der.
 Origin of Levels: PM161439
 RL of Origin: 78.888
 Contour Interval: 0.25m
 Scale @A3 1: 250
 Dwg No. 8353 S 25 DP B_458

Locality of Redbank Plains



Retaining Wall in Lot 856
 Max Height : 1.95m
 Min Height : 1.95m
 Average Height: 1.95m



LEGEND

- Area of Cut
- Design Contours
- Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level

NOTES

This plan has been prepared from preliminary survey plan (SP292394) and engineering plans provided on the 12/10/2016 & 01/11/2016 by ETS Engineering.

Lot 459 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.

No.	by	Date	Description
A	CTW	04/11/16	Original Issue
B	TBG	22/02/17	Contours amended. Path removed.

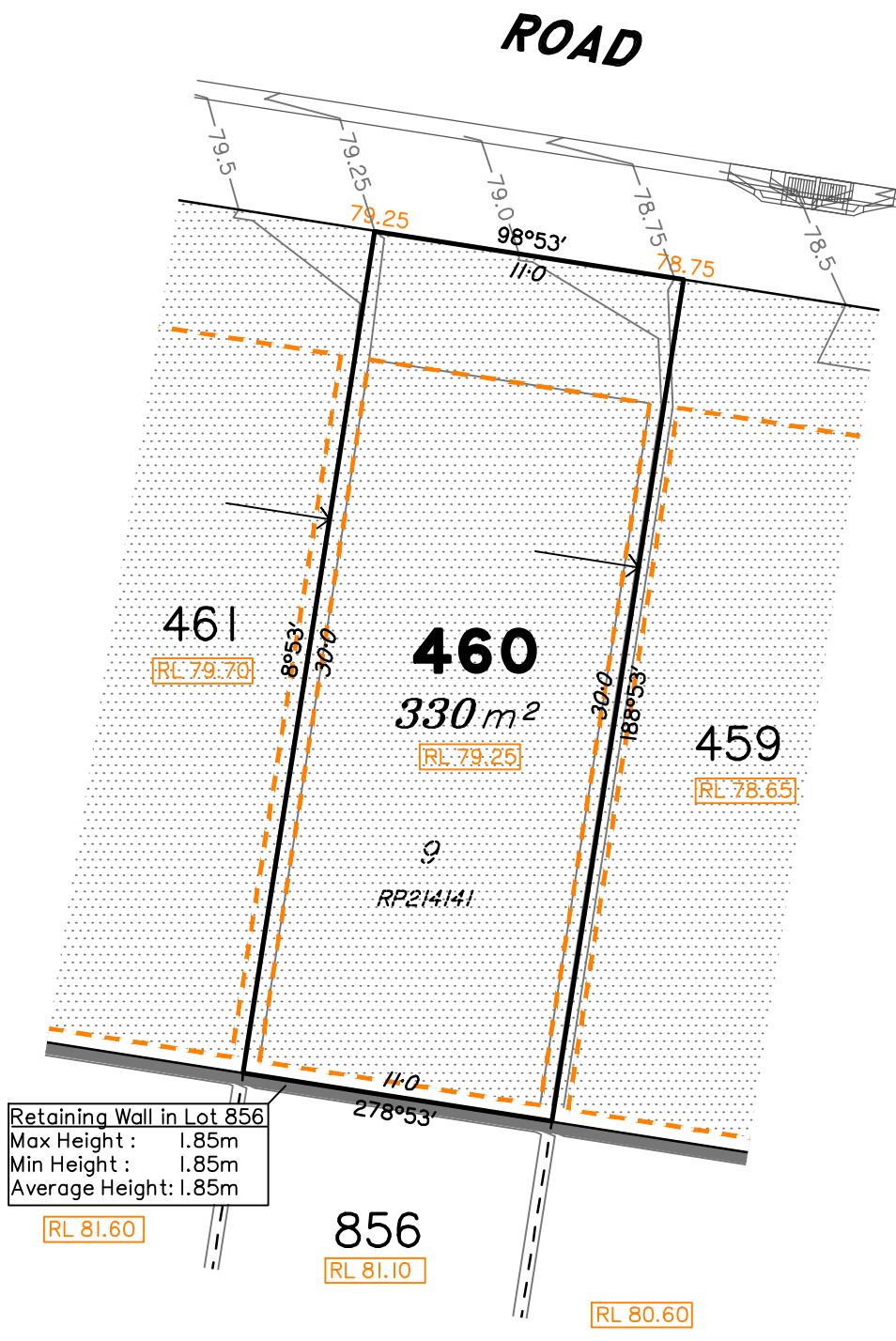
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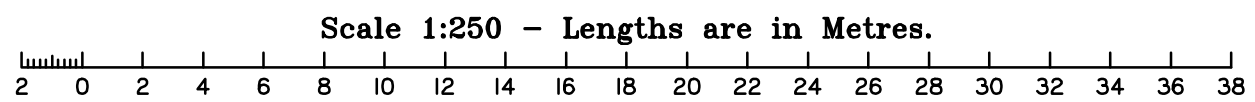
Disclosure Plan for Proposed Lot 459 (Restricted) on SP292394
 Described as part of Lot 855 (Restricted) on SP279417
 Existing Title Reference: 51016185

Level Datum: AHD der.
 Origin of Levels: PM161439
 RL of Origin: 78.888
 Contour Interval: 0.25m
 Scale @A3 1: 250
 Dwg No. 8353 S 25 DP B_459

Locality of Redbank Plains



Retaining Wall in Lot 856
 Max Height : 1.85m
 Min Height : 1.85m
 Average Height: 1.85m



LEGEND	
	Area of Cut
	Design Contours
	Zero Lot Boundary
	Proposed Retaining Wall
	Proposed Building Pad
38.78	Finished Surface Design Level
RL 38.78	Finished Pad Design Level

NOTES

This plan has been prepared from preliminary survey plan (SP292394) and engineering plans provided on the 12/10/2016 & 01/11/2016 by ETS Engineering.

Lot 460 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.

No.	by	Date	Description
A	CTW	04/11/16	Original Issue
B	TBG	22/02/17	Contours amended. Path removed.

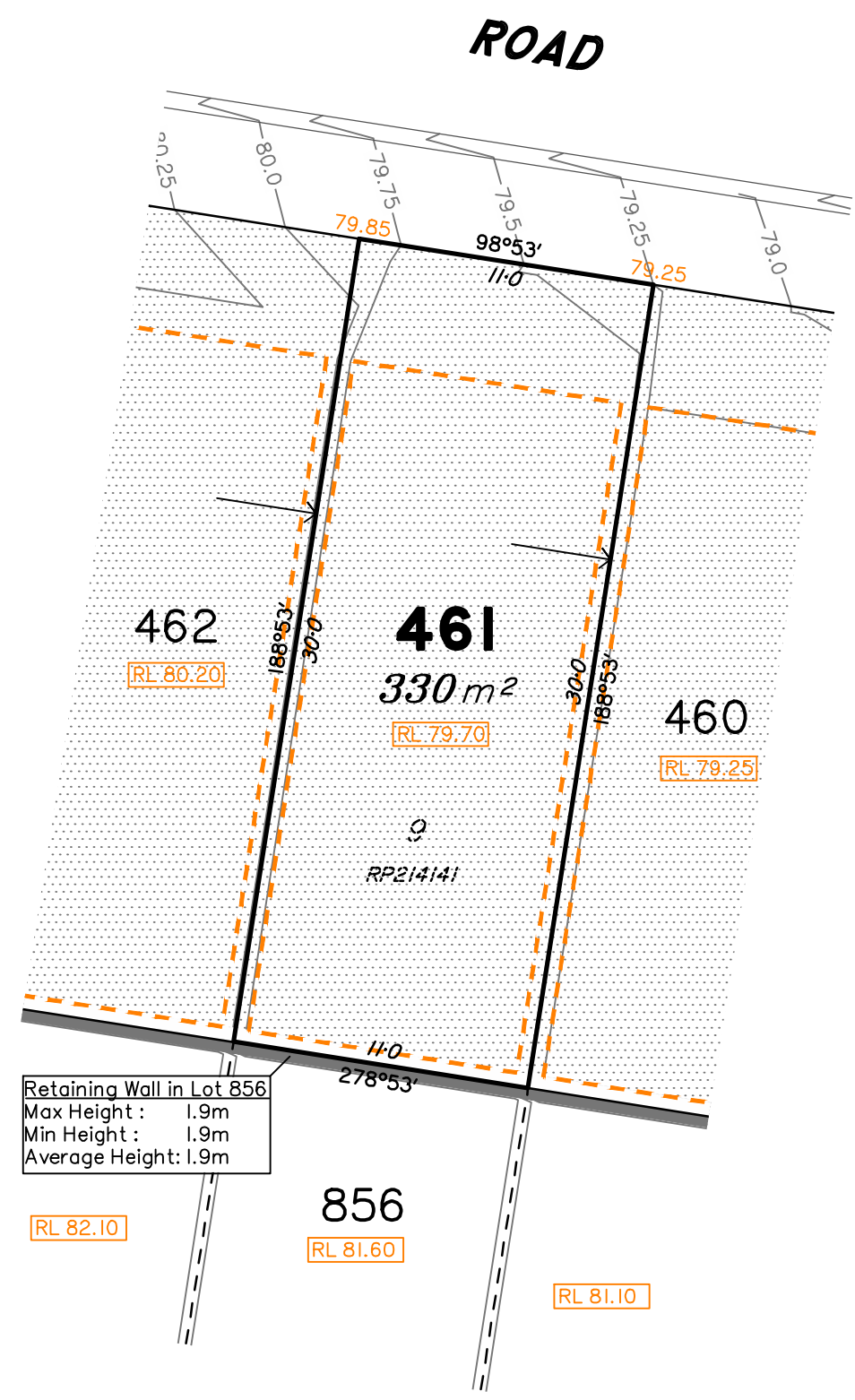
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 head office 9 Thompson St Bowen Hills Q 4006
 phone 1300 123 SHG web www.saundershavill.com
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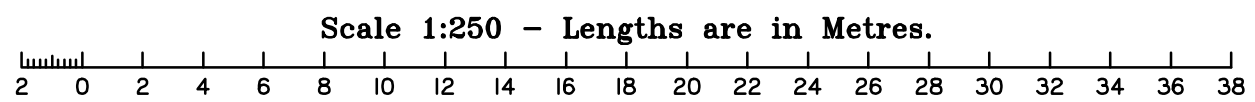
Disclosure Plan for Proposed Lot 460 (Restricted) on SP292394
 Described as part of Lot 855 (Restricted) on SP279417
 Existing Title Reference: 51016185

Level Datum: AHD der.
 Origin of Levels: PM161439
 RL of Origin: 78.888
 Contour Interval: 0.25m
 Scale @A3 1: 250
 Dwg No. 8353 S 25 DP B_460

Locality of Redbank Plains



Retaining Wall in Lot 856
 Max Height : 1.9m
 Min Height : 1.9m
 Average Height: 1.9m



LEGEND

- Area of Cut
- Design Contours
- Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level

NOTES

This plan has been prepared from preliminary survey plan (SP292394) and engineering plans provided on the 12/10/2016 & 01/11/2016 by ETS Engineering.

Lot 461 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.

No.	by	Date	Description
A	CTW	04/11/16	Original Issue
B	TBG	22/02/17	Contours amended. Path removed.

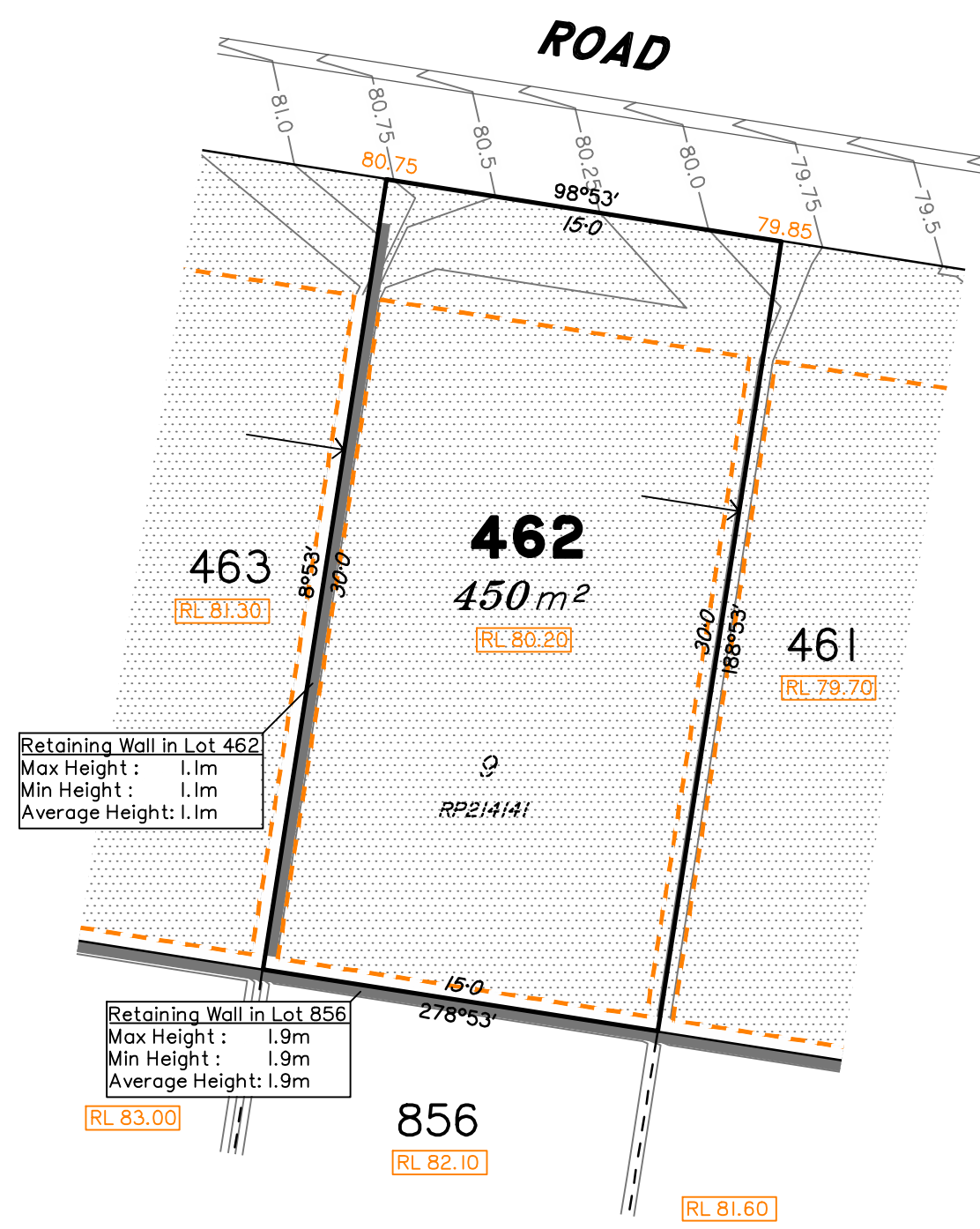
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Disclosure Plan for Proposed Lot 461 (Restricted) on SP292394
 Described as part of Lot 855 (Restricted) on SP279417
 Existing Title Reference: 51016185

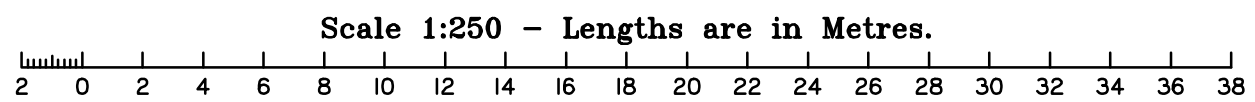
Level Datum: AHD der.
 Origin of Levels: PM161439
 RL of Origin: 78.888
 Contour Interval: 0.25m
 Scale @A3 1: 250
 Dwg No. 8353 S 25 DP B_461

Locality of Redbank Plains



Retaining Wall in Lot 462
 Max Height : 1.1m
 Min Height : 1.1m
 Average Height: 1.1m

Retaining Wall in Lot 856
 Max Height : 1.9m
 Min Height : 1.9m
 Average Height: 1.9m



LEGEND	
	Area of Cut
	Design Contours
	Zero Lot Boundary
	Proposed Retaining Wall
	Proposed Building Pad
38.78	Finished Surface Design Level
RL 38.78	Finished Pad Design Level

NOTES

This plan has been prepared from preliminary survey plan (SP292394) and engineering plans provided on the 12/10/2016 & 01/11/2016 by ETS Engineering.

Lot 462 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.

No.	by	Date	Description
A	CTW	04/11/16	Original Issue
B	TBG	22/02/17	Contours amended. Path removed.

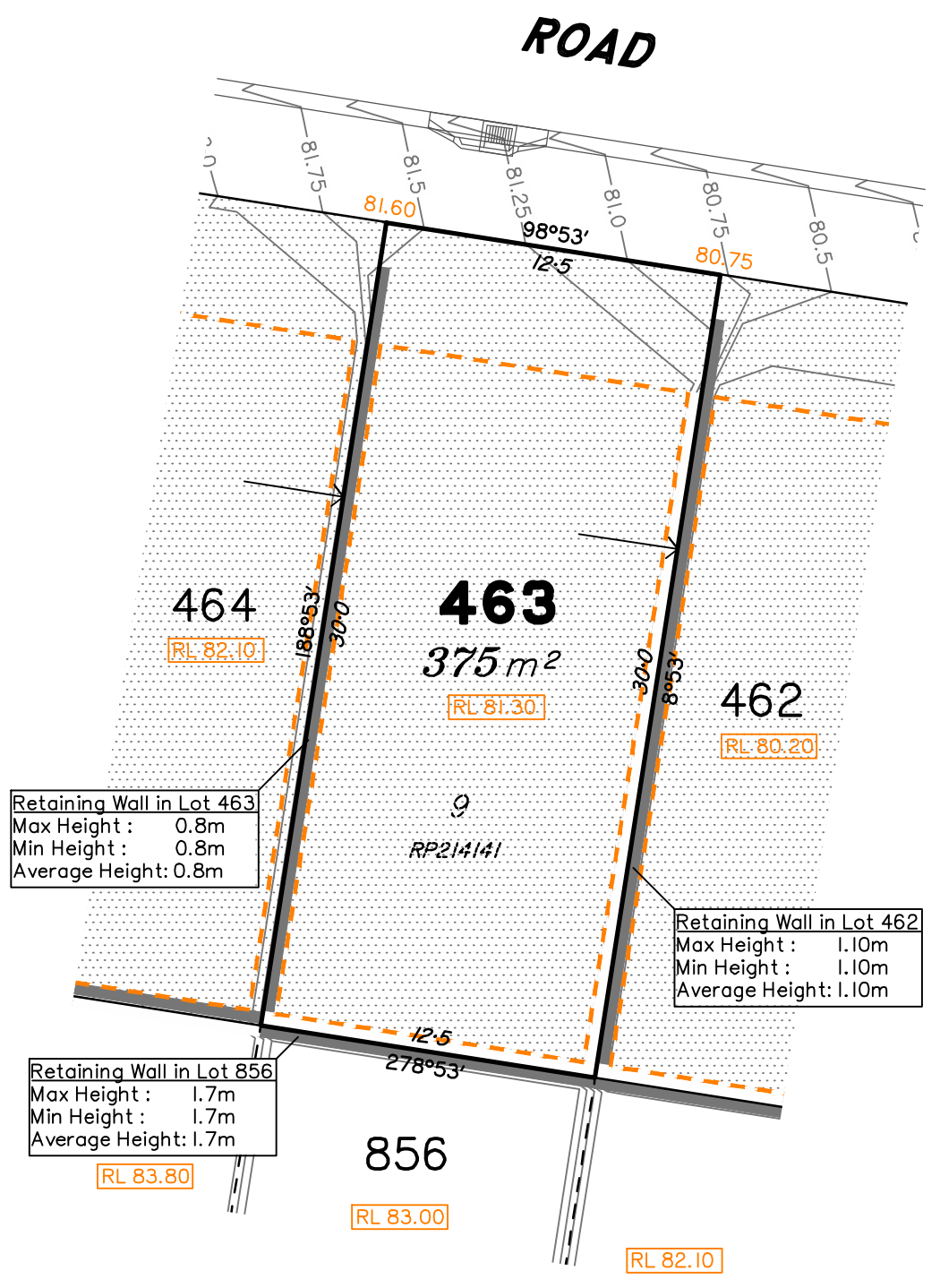
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Disclosure Plan for Proposed Lot 462 (Restricted) on SP292394
 Described as part of Lot 855 (Restricted) on SP279417
 Existing Title Reference: 51016185

Level Datum: AHD der.
 Origin of Levels: PM161439
 RL of Origin: 78.888
 Contour Interval: 0.25m
 Scale @A3 1: 250
 Dwg No. 8353 S 25 DP B_462

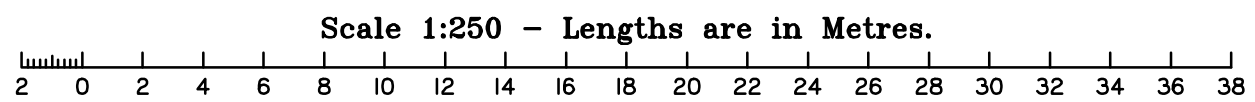
Locality of Redbank Plains



Retaining Wall in Lot 463
 Max Height : 0.8m
 Min Height : 0.8m
 Average Height: 0.8m

Retaining Wall in Lot 462
 Max Height : 1.10m
 Min Height : 1.10m
 Average Height: 1.10m

Retaining Wall in Lot 856
 Max Height : 1.7m
 Min Height : 1.7m
 Average Height: 1.7m



LEGEND

- Area of Cut
- Design Contours
- Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level

NOTES

This plan has been prepared from preliminary survey plan (SP292394) and engineering plans provided on the 12/10/2016 & 01/11/2016 by ETS Engineering.

Lot 463 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.

No.	by	Date	Description
A	CTW	04/11/16	Original Issue
B	TBG	22/02/17	Contours amended. Path removed.

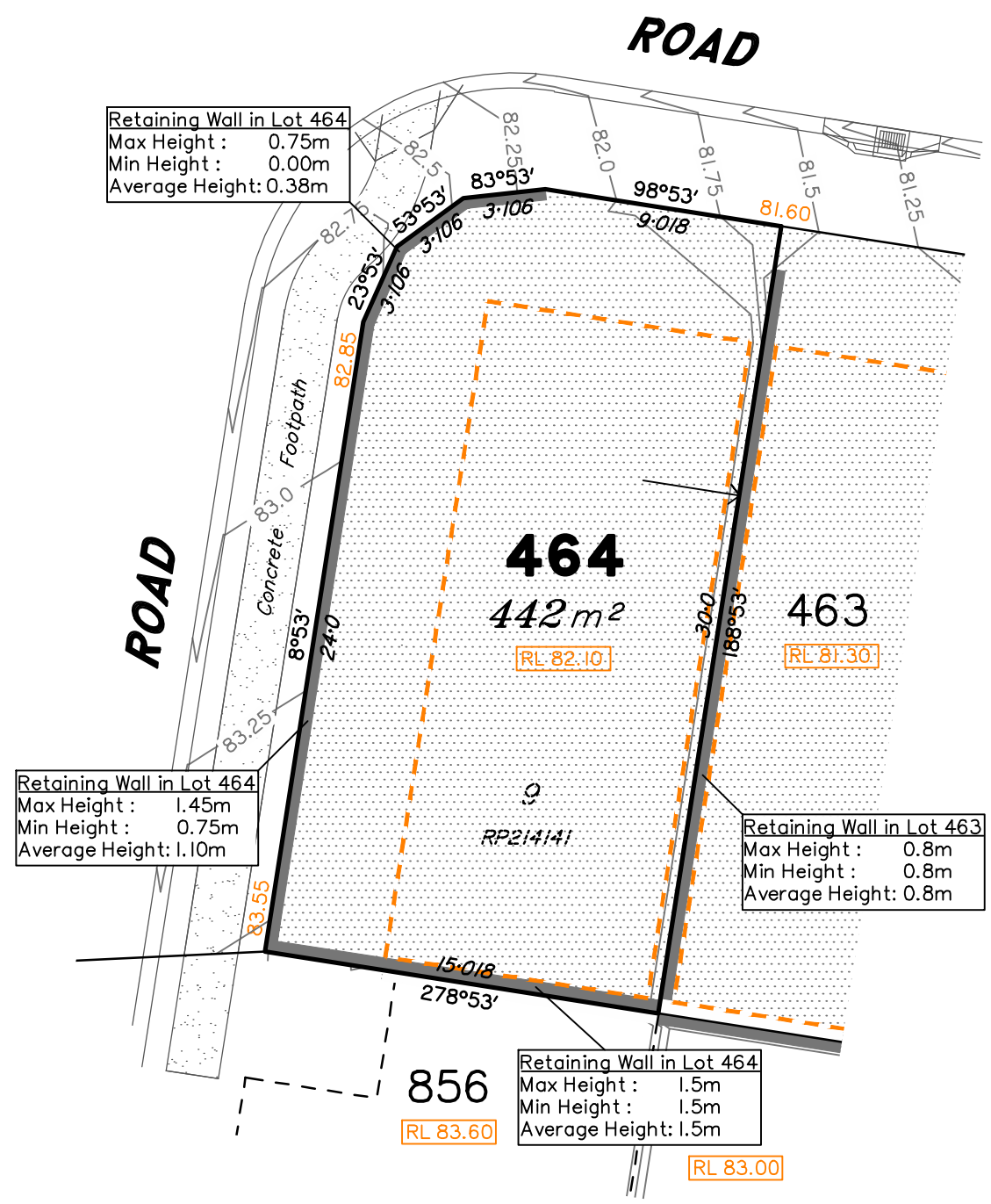
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Disclosure Plan for Proposed Lot 463 (Restricted) on SP292394
 Described as part of Lot 855 (Restricted) on SP279417
 Existing Title Reference: 51016185

Level Datum: AHD der.
 Origin of Levels: PM161439
 RL of Origin: 78.888
 Contour Interval: 0.25m
 Scale @A3 1: 250
 Dwg No. 8353 S 25 DP B_463

Locality of Redbank Plains



LEGEND

- Area of Cut
- Design Contours
- Zero Lot Boundary
- Proposed Retaining Wall
- Proposed Building Pad
- 38.78 Finished Surface Design Level
- RL 38.78 Finished Pad Design Level

NOTES

This plan has been prepared from preliminary survey plan (SP292394) and engineering plans provided on the 12/10/2016, 01/11/2016 & 15/02/2017 & 02/03/2017 by ETS Engineering; and by Robin Russell and Associates P/L on the 09/02/2017.

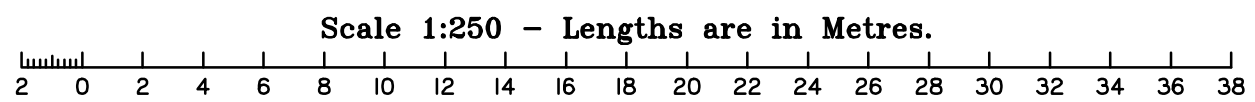
Lot 464 is restricted to the depth of 15.24 metres below the surface, as defined on the plan M3172.

Development Approval has been granted for Reconfiguration of a Lot for the proposed lot (Application 733/2016/CA)

Development Approval has not been granted for Operational Works for the proposed lot.

All fill shall be placed and compacted in a controlled manner so that Level 1 level of responsibility may be achieved and certified as per AS3798-2007.

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No.	by	Date	Description
B	TBG	22/02/17	Ret Wall on South bdy moved inside lot 464
C	TBG	24/02/17	Lot dimensions & area adjusted.
D	TBG	02/03/17	Ret Wall at rear of lot reduced to 1.5m

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Disclosure Plan for Proposed Lot 464 (Restricted) on SP292394
 Described as part of Lot 856 (Restricted) on SP279417
 Existing Title Reference: 51016185

Level Datum: AHD der.
 Origin of Levels: PM161439
 RL of Origin: 78.888
 Contour Interval: 0.25m
 Scale @A3 1: 250
 Dwg No. 8353 S 25 DP D_464

Locality of Redbank Plains