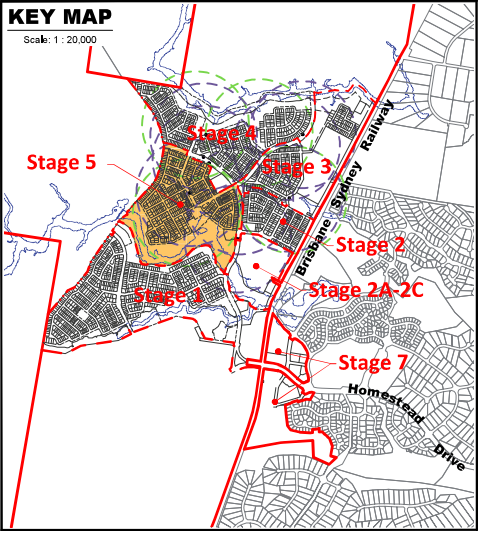


KEY MAP

Scale: 1 : 20 000



Legend

- Site Boundary
- Proposed Stage Boundary
- - - Proposed Sub Stage Boundary
- Existing Q100
- Residential Allotment (Max. no. of dwellings)
- Entry Statements - Lease
- ⊙ Indicative Indented Bus Stop Location
- ⊙ Indicative In-Line Bus Stop Location
- Bus Stop Catchment (400m)
- Neighbourhood Park Catchment (400m)

Note:
 All dimensions and areas are approximate only, and are subject to survey and Council approval.
 Dimensions have been rounded to the nearest 0,1 metres.
 Areas have been rounded down to the nearest 5m².
 The boundaries shown on this plan should not be used for final detailed engineers design.
 Road linemarkings and turn spots are indicative only and subject to detailed design.

Source Information:
 Site boundaries: Registered Survey Plans / Veris.
 Adjoining information: DCDB, Contours: Meinhardt.

Land Budget Stage 5

Land Use	Overall	
	Area	Area
Area of Subject Site	52,172 ha	100,0%
Saleable Area		
Residential Allotments	19,984 ha	38,3%
Medium Density Allotment	0,666 ha	1,3%
Balance Super Allotments	—	0,0%
Total Area of Allotments	20,650 ha	39,6%
Road		
Collector Road	3,529 ha	6,8%
Local Road	8,671 ha	16,6%
Linear Connections	0,429 ha	0,8%
Entry Statements	—	0,0%
Total Area of New Road	12,629 ha	24,2%
Open Space		
Corridor Park	17,812 ha	34,1%
Collector (Within Corridor Park)	—	—
District Recreation Park	—	0,0%
Neighbourhood Recreation Park	0,627 ha	1,2%
Local Recreation Park	0,088 ha	0,2%
Local Linear Recreation Park	0,366 ha	0,7%
Stormwater Detention	—	0,0%
Total Open Space	18,893 ha	36,2%

Yield Breakdown Stage 5

Residential Allotments	Typical Size		Typical Area	Overall
	Typical Size	Typical Area		
Urban & Nano Allotments Product				
Urban Loft	4,7 x 12,5m	50m ²	—	0,0%
Urban Allotments	7,5 x 19m	120m ²	—	0,0%
Urban Terrace	7,5 x 27,5m	205m ²	16	3,2%
Subtotal			16	3,2%
16m Deep Product				
Squat Allotment	14 x 18m	220m ²	10	2,0%
Subtotal			10	2,0%
25m Deep Product				
Mode Allotment	8,5 x 25m	213m ²	4	0,8%
Villa Allotment	10 x 25m	250m ²	20	4,0%
Courtyard Allotment	14 x 25m	350m ²	26	5,2%
Premium Courtyard Allotment	16 x 25m	400m ²	11	2,2%
Premium Traditional Allotment	20 x 25m	500m ²	1	0,2%
Possible Multiple Residential Allotment	—	—	2	0,4%
Subtotal			64	12,8%
28m - 30m Deep Product				
Terrace 4,5m Allotment	4,5 x 28m	126m ²	—	0,0%
Terrace 6,6m Allotment	6,6 x 28m	185m ²	—	0,0%
Terrace 7,5m Allotment	7,5 x 28m	210m ²	33	6,6%
Terrace 9,5m Allotment	9,5 x 28m	265m ²	12	2,4%
Subtotal			45	9,0%
30m Deep Product				
Villa Allotment	10 x 30m	300m ²	72	14,4%
Premium Villa Allotment	12,5 x 30m	375m ²	123	24,6%
Courtyard Allotment	14 x 30m	420m ²	124	24,8%
Traditional Allotment	20 x 30m	600m ²	43	8,6%
Premium Traditional Allotment	25 x 30m	720m ²	2	0,4%
Possible Multiple Residential Allotment	—	—	—	0,0%
Subtotal			364	72,8%
Total Residential Allotments			499	100%
Residential Net Density				16,6 dwha
Super Lots				Lots
Medium Density Allotment			1	—
Balance Super Allotments			—	—
Sub Total			1	—
Total Allotments			500	—
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			501	—
Maximum Potential Net Residential Density				16,6 dwha

PLANS AND DOCUMENTS
 referred to in this PDA
DEVELOPMENT APPROVAL
 Approval No: DEV2012/20399
 Date: 17 January 2024



TO BE READ IN CONJUNCTION WITH 110056 - 404

REVISION
 Y: 12/05/2022 Stage 5 Layout Change
 Z: 08/09/2022 Entry Statement Lease Areas
 AA: 16/06/2022 Temporary STF Notation
 AB: 20/09/2022 Stage 3 & 5 Layout Changes
 AC: 14/11/2022 Stage 5 Boundary Changes
 AD: 10/01/2023 Stage 3 & 4 Layout Changes
 AE: 24/02/2023 Stage 3 & 5 Layout Changes
 AF: 29/03/2023 Stage 3 & 5 Layout Changes
 AG: 13/04/2023 Stage 3 & 5 Layout Changes
 AH: 25/07/2023 Stage 4 Layout Changes
 AI: 08/09/2023 Stage 5 Basis Change

PROJECT		Flagstone Precinct 1	
Job Ref.	110056	Date.	08 August 2023
Comp By.	NF	DWG Name.	Precinct 1 Stage 5
Chkd By.	MD	Locality.	Flagstone
Local Authority.	Economic Development Queensland		

CLIENT



Plan of Subdivision
 Stage 5 Overall
 Allotment Layout

Scale	Sheet	Plan Ref	Rev
1 : 2000	A1	110056 - 403	AI

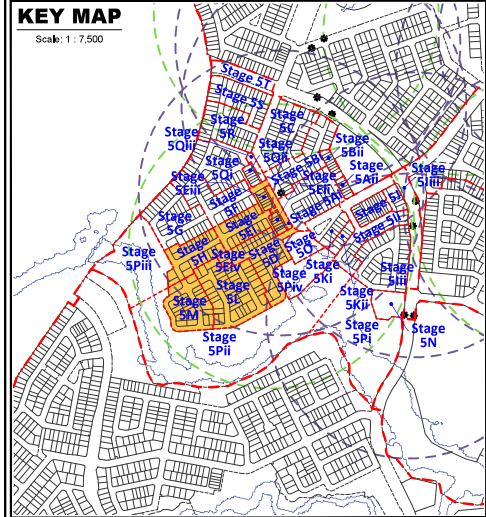


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 Level 4 HQ South
 520 Wickham Street
 PO Box 1559
 Fortitude Valley QLD 4006
 T +61 7 3239 9500
 W rpsgroup.com

KEY MAP

Scale: 1 : 7,500



PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL Approval no. DEV201704297 Date: 12 January 2024

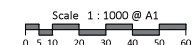


Yield Breakdown table with columns for Residential Allotments, Typical Size, Typical Area, and various stages (5D to 5M) and Overall. Includes subtotals for different product types like 16m Deep Product, 28m-30m Deep Product, etc.

Legend

- Site Boundary
Proposed Stage Boundary
Proposed Sub Stage Boundary
Existing Q100
Residential Allotment (Max. no. of dwellings)
Entry Statements - Lease
Indicative Indented Bus Stop Location
Indicative In-Line Bus Stop Location
Bus Stop Catchment (400m)
Neighbourhood Park Catchment (400m)

Note: All dimensions and areas are approximate only, and are subject to survey and Council approval. Dimensions have been rounded to the nearest 0.1 metres. Areas have been rounded down to the nearest 5m². The boundaries shown on this plan should not be used for final detailed engineers design.



Land Budget table with columns for Land Use, Area, and Overall. Rows include Residential Allotments, Road, Collector Road, Linear Connections, Entry Statements, Total Area of New Road, Open Space, and various park types.

REVISION table with columns for Revision number, Description, and Date.

PROJECT and CLIENT information table including Job Ref, Date, Comp By, and Local Authority.

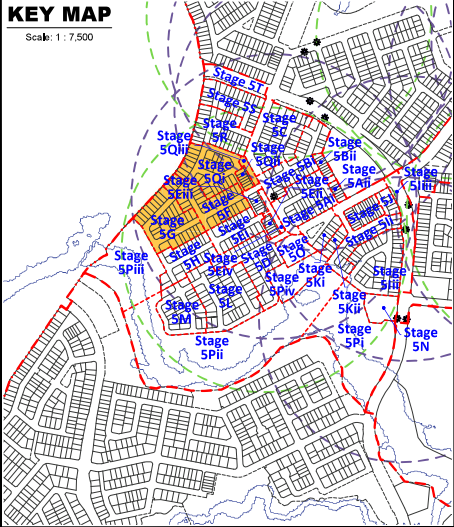
PEET logo and project title: Plan of Subdivision Stage 5D, Ei, Eii, Eiii, Eiv, H, L & M Allotment Layout

rps logo and URBAN DESIGN contact information, including address and phone number.

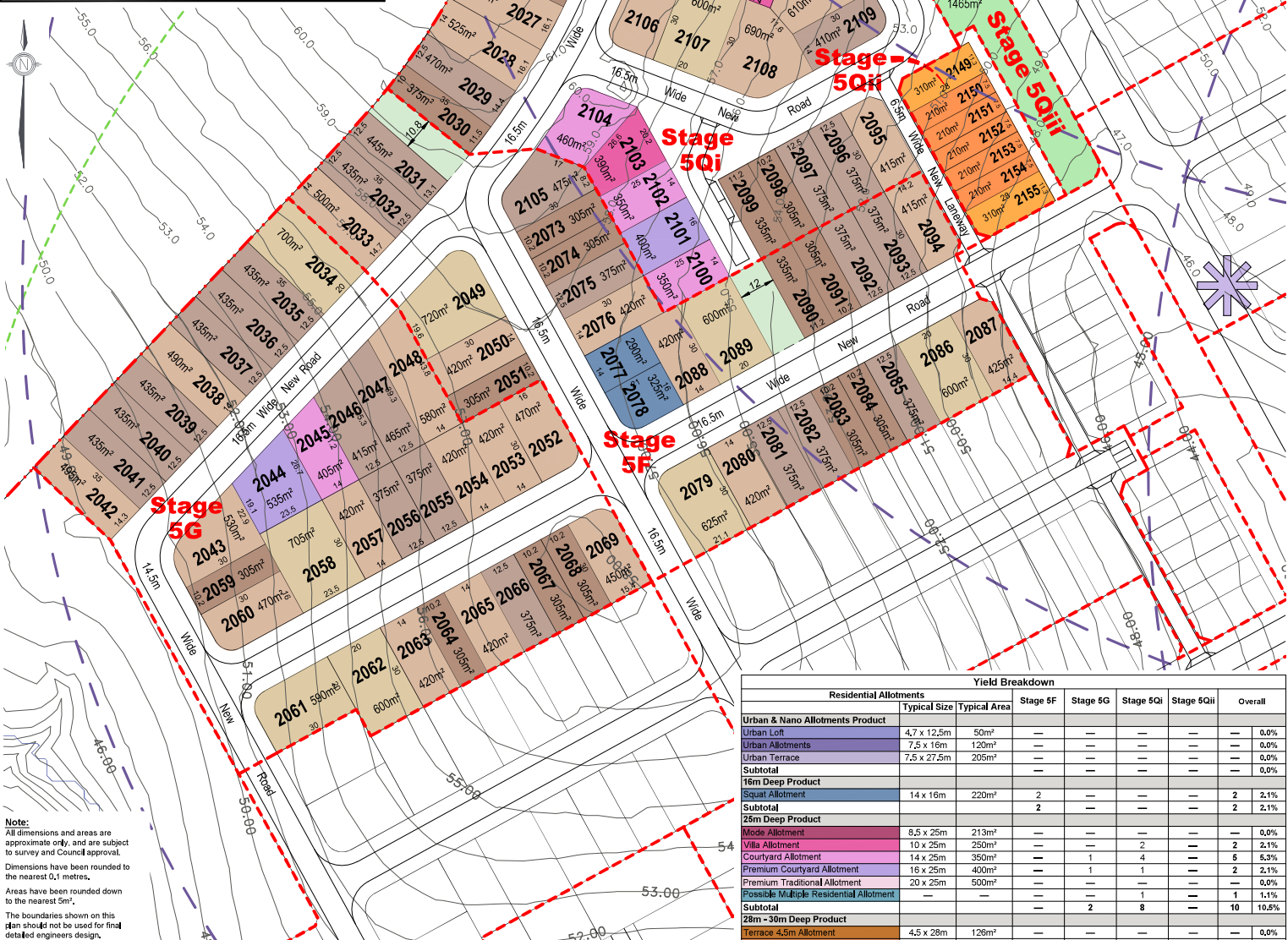
Scale, Sheet, Plan Ref, and Rev information table.

KEY MAP

Scale: 1 : 7,500



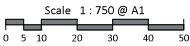
PLANS AND DOCUMENTS referred to in the PCDA DEVELOPMENT APPROVAL
 Approval No: DEV00240097
 Date: 12 January 2023



Note:
 All dimensions and areas are approximate only, and are subject to survey and Council approval.
 Dimensions have been rounded to the nearest 0,1 metres.
 Areas have been rounded down to the nearest 5m².
 The boundaries shown on this plan should not be used for final detailed engineers design.

Source Information:
 Site boundaries: Registered Survey Plans / Veris, Adjutting Information: DCDB, Contours: Meinhardt.

- Legend**
- Site Boundary
 - - - Proposed Sub Boundary
 - - - Proposed Sub Stage Boundary
 - - - Existing O100
 - Residential Allotment (Max. no. of dwellings)
 - ⊙ Indicative Indented Bus Stop Location
 - ⊙ Indicative In-Line Bus Stop Location
 - ⊙ Bus Stop Catchment (400m)
 - ⊙ Neighbourhood Park Catchment (400m)



Land Use	Land Budget					Overall
	Stage 5F	Stage 5G	Stage 5Qi	Stage 5Qii	Stage 5Qiii	
Area of Subject Site	1.800 ha	2.042 ha	1.863 ha	0.194 ha	0.146 ha	6.045 ha
Saleable Area	1.198 ha	1.500 ha	1.137 ha	0.167 ha	—	4.002 ha
Residential Allotments	1.198 ha	1.500 ha	1.137 ha	0.167 ha	—	4.002 ha
Medium Density Allotment	—	—	—	—	—	0.0%
Balance Super Allotments	—	—	—	—	—	0.0%
Total Area of Allotments	1.198 ha	1.500 ha	1.137 ha	0.167 ha	—	4.002 ha
Total Area of New Road	0.602 ha	0.542 ha	0.726 ha	0.027 ha	—	1.897 ha
Open Space	—	—	—	—	—	0.0%
Corridor Park	—	—	—	—	—	0.0%
Conservation (Within Corridor Park)	—	—	—	—	—	0.0%
District Recreation Park	—	—	—	—	—	0.0%
Neighbourhood Recreation Park	—	—	—	—	—	0.0%
Local Recreation Park	—	—	—	—	—	0.0%
Local Linear Recreation Park	—	—	—	0.146 ha	0.146 ha	2.4%
Stormwater Detention	—	—	—	—	—	0.0%
Total Open Space	—	—	—	0.146 ha	0.146 ha	2.4%

Residential Allotments	Yield Breakdown						
	Typical Size	Typical Area	Stage 5F	Stage 5G	Stage 5Qi	Stage 5Qii	Overall
Urban & Nano Allotments Product							
Urban Loft	4.7 x 12.5m	50m ²	—	—	—	—	0.0%
Urban Allotments	7.5 x 16m	120m ²	—	—	—	—	0.0%
Urban Terrace	7.5 x 27.5m	205m ²	—	—	—	—	0.0%
Subtotal							0.0%
16m Deep Product							
Squat Allotment	14 x 16m	220m ²	2	—	—	—	2
Subtotal			2				2
25m Deep Product							
Mode Allotment	8.5 x 25m	213m ²	—	—	—	—	0.0%
Villa Allotment	10 x 25m	250m ²	—	2	—	—	2
Courtyard Allotment	14 x 25m	350m ²	—	1	4	—	5
Premium Courtyard Allotment	16 x 25m	400m ²	—	1	1	—	2
Premium Traditional Allotment	20 x 25m	500m ²	—	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	—	1	—	1
Subtotal				2	8		10
28m - 30m Deep Product							
Terrace 4.5m Allotment	4.5 x 28m	126m ²	—	—	—	—	0.0%
Terrace 6.5m Allotment	6.5 x 28m	185m ²	—	—	—	—	0.0%
Terrace 7.5m Allotment	7.5 x 28m	210m ²	—	—	—	—	5
Terrace 9.5m Allotment	9.5 x 28m	265m ²	—	—	—	—	2
Subtotal							7
30m Deep Product							
Villa Allotment	10 x 30m	300m ²	7	4	5	—	16
Premium Villa Allotment	12.5 x 30m	375m ²	9	11	5	—	25
Courtyard Allotment	14 x 30m	420m ²	7	12	7	—	26
Traditional Allotment	20 x 30m	600m ²	4	4	1	—	9
Premium Traditional Allotment	25 x 30m	720m ²	—	—	—	—	0.0%
Possible Multiple Residential Allotment	—	—	—	—	—	—	0.0%
Subtotal			27	31	18		76
Total Residential Allotments			29	33	26	7	95
Residential Net Density			16.1 dw/ha	16.2 dw/ha	14.0 dw/ha	36.1 dw/ha	100.0%
Super Lots			—	—	—	—	—
Medium Density Allotment			—	—	—	—	—
Balance Super Allotments			—	—	—	—	—
Sub Total			—	—	—	—	—
Total Allotments			29	33	26	7	95
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)			29	33	27	7	96
Maximum Potential Net Residential Density			16.1 dw/ha	16.2 dw/ha	14.5 dw/ha	36.1 dw/ha	

REVISION
 Y: 12/05/2022 Stage 5 Layout Change
 Z: 08/05/2022 Entry Statement Lease Areas
 AA: 16/06/2022 Temporary STF Notation
 AB: 20/09/2022 Stage 3 & 5 Layout Changes
 AC: 14/11/2022 Stage 5 Boundary Changes
 AD: 10/01/2023 Stage 3 & 4 Layout Changes
 AE: 24/02/2023 Stage 3 & 5 Layout Changes
 AF: 20/03/2023 Stage 3 & 5 Layout Changes
 AG: 13/04/2023 Stage 3 & 5 Layout Changes
 AH: 25/07/2023 Stage 4 Layout Changes
 AI: 08/09/2023 Stage 5 Basin Change

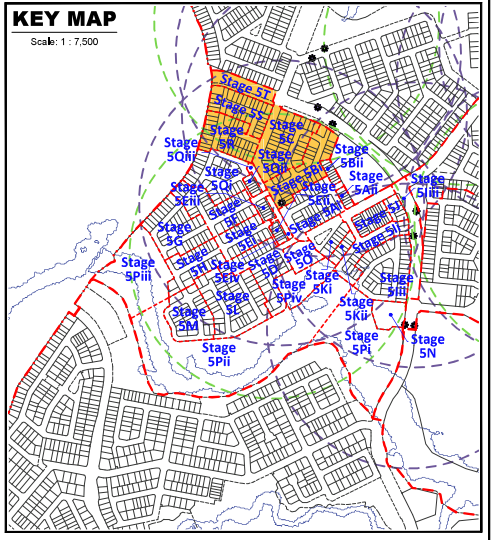
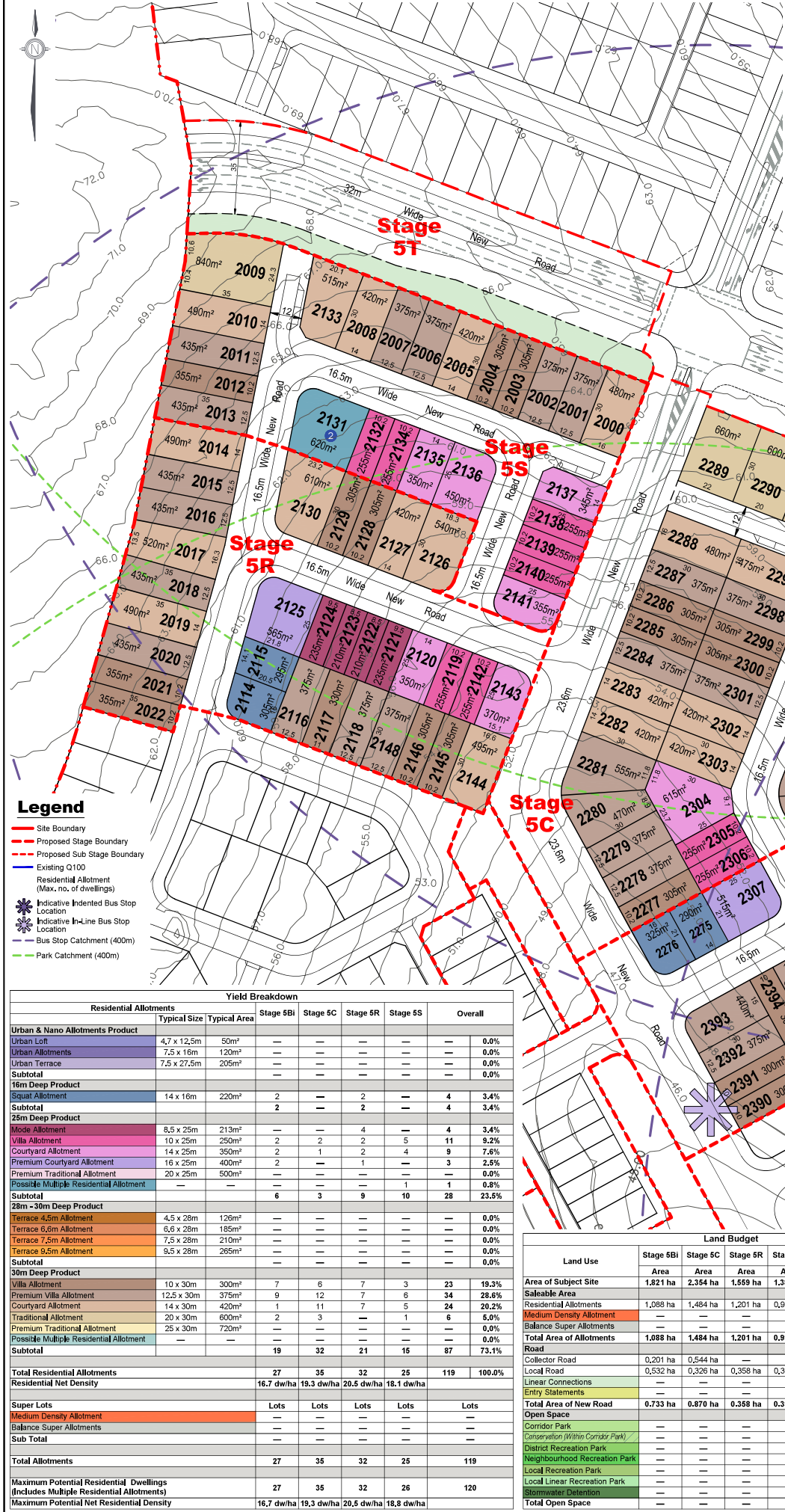
PROJECT
Flagstone Precinct 1
 Job Ref. 110056 Date, 08 August 2023
 Comp By, NF DWG Name, Precinct 1 Stage 5
 Chk'd By, MD Locality, Flagstone
 Local Authority, Economic Development Queensland

CLIENT
PEET
 Plan of Subdivision
 Stage 5F, G, Qi, Qii & Qiii
 Allotment Layout

Scale 1 : 750 **Sheet** A1 **Plan Ref** 110056 - 406 **Rev** AI

URBAN DESIGN
 Level 4 HG South
 200 Box 1559
 Fortitude Valley QLD 4006
 T +61 7 3339 9500
 W urbandesign.com.au

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Legend

- Site Boundary
- - - Proposed Stage Boundary
- - - Proposed Sub Stage Boundary
- Existing Q100
- Residential Allotment (Max. no. of dwellings)
- ★ Indicative Indented Bus Stop Location
- ★ Indicative In-Line Bus Stop Location
- Bus Stop Catchment (400m)
- Park Catchment (400m)

Yield Breakdown									
Residential Allotments		Typical Size	Typical Area	Stage 5Bi	Stage 5C	Stage 5R	Stage 5S	Overall	
Urban & Nano Allotments Product									
Urban Loft	4.7 x 12.5m	50m ²	—	—	—	—	—	0.0%	
Urban Allotments	7.5 x 18m	120m ²	—	—	—	—	—	0.0%	
Urban Terrace	7.5 x 27.5m	205m ²	—	—	—	—	—	0.0%	
Subtotal									
16m Deep Product									
Squat Allotment	14 x 16m	220m ²	2	—	2	—	4	3.4%	
Subtotal									
25m Deep Product									
Mode Allotment	8.5 x 25m	213m ²	—	—	4	—	4	3.4%	
Villa Allotment	10 x 25m	250m ²	2	2	2	5	11	9.2%	
Courtyard Allotment	14 x 25m	350m ²	2	1	2	4	9	7.6%	
Premium Courtyard Allotment	16 x 25m	400m ²	2	—	1	—	3	2.5%	
Premium Traditional Allotment	20 x 25m	500m ²	—	—	—	—	—	0.0%	
Possible Multiple Residential Allotment	—	—	—	—	—	—	1	0.8%	
Subtotal									
28m - 30m Deep Product									
Terrace 4.5m Allotment	4.5 x 28m	126m ²	—	—	—	—	—	0.0%	
Terrace 6.6m Allotment	6.6 x 28m	185m ²	—	—	—	—	—	0.0%	
Terrace 7.5m Allotment	7.5 x 28m	210m ²	—	—	—	—	—	0.0%	
Terrace 9.5m Allotment	9.5 x 28m	265m ²	—	—	—	—	—	0.0%	
Subtotal									
30m Deep Product									
Villa Allotment	10 x 30m	300m ²	7	6	7	3	23	19.3%	
Premium Villa Allotment	12.5 x 30m	375m ²	9	12	7	6	34	28.6%	
Courtyard Allotment	14 x 30m	420m ²	1	11	7	5	24	20.2%	
Traditional Allotment	20 x 30m	600m ²	2	3	—	1	6	5.0%	
Premium Traditional Allotment	25 x 30m	720m ²	—	—	—	—	—	0.0%	
Possible Multiple Residential Allotment	—	—	—	—	—	—	—	0.0%	
Subtotal									
Total Residential Allotments				27	35	32	25	119	100.0%
Residential Net Density				16.7 dw/ha	19.3 dw/ha	20.5 dw/ha	18.1 dw/ha	18.8 dw/ha	
Super Lots									
Medium Density Allotment				—	—	—	—	—	
Balance Super Allotments				—	—	—	—	—	
Sub Total									
Total Allotments				27	35	32	25	119	
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)				27	35	32	26	120	
Maximum Potential Net Residential Density				16.7 dw/ha	19.3 dw/ha	20.5 dw/ha	18.8 dw/ha		

Note:
 All dimensions and areas are approximate only, and are subject to survey and Council approval.
 Dimensions have been rounded to the nearest 0.1 metres.
 Areas have been rounded down to the nearest 5m².
 The boundaries shown on this plan should not be used for final detailed engineers design.
 Road linemarkings and turn signs are indicative only and subject to detailed design.

Source Information:
 Site boundaries: Registered Survey Plans & Veris.
 Adjoining information: DCD8, Contours: Meinhardt.

Scale 1:750 @ A1

Land Use	Land Budget					Overall	
	Area	Area	Area	Area	Area	Area	%
Area of Subject Site	1,821 ha	2,354 ha	1,559 ha	1,385 ha	0,786 ha	7,905 ha	100.0%
Saleable Area	—	—	—	—	—	—	—
Residential Allotments	1,088 ha	1,484 ha	1,201 ha	0,991 ha	—	4,764 ha	60.3%
Medium Density Allotment	—	—	—	—	—	—	0.0%
Balance Super Allotments	—	—	—	—	—	—	0.0%
Total Area of Allotments	1,088 ha	1,484 ha	1,201 ha	0,991 ha	—	4,764 ha	60.3%
Road	—	—	—	—	—	—	—
Collector Road	0,201 ha	0,544 ha	—	—	0,622 ha	1,367 ha	17.3%
Local Road	0,532 ha	0,326 ha	0,358 ha	0,394 ha	—	1,610 ha	20.4%
Linear Connections	—	—	—	—	0,164 ha	0,164 ha	2.1%
Entry Statements	—	—	—	—	—	—	0.0%
Total Area of New Road	0,733 ha	0,870 ha	0,358 ha	0,394 ha	0,786 ha	3,141 ha	39.7%
Open Space	—	—	—	—	—	—	—
Corridor Park	—	—	—	—	—	—	0.0%
Conservation (Within Corridor Park)	—	—	—	—	—	—	0.0%
District Recreation Park	—	—	—	—	—	—	0.0%
Neighbourhood Recreation Park	—	—	—	—	—	—	0.0%
Local Recreation Park	—	—	—	—	—	—	0.0%
Local Linear Recreation Park	—	—	—	—	—	—	0.0%
Stormwater Detention	—	—	—	—	—	—	0.0%
Total Open Space	—	—	—	—	—	—	0.0%

REVISION	PROJECT	CLIENT
Y: 12/05/2022 Stage 5 Layout Change Z: 08/09/2022 Entry Statement Lease Areas AA: 16/06/2022 Temporary STF Notation AB: 20/09/2022 Stage 3 & 5 Layout Changes AC: 14/11/2022 Stage 5 Boundary Changes AD: 10/01/2023 Stage 3 & 4 Layout Changes AE: 24/02/2023 Stage 3 & 5 Layout Changes AF: 20/03/2023 Stage 3 & 5 Layout Changes AG: 13/04/2023 Stage 3 & 5 Layout Changes AH: 25/07/2023 Stage 4 Layout Changes AI: 08/09/2023 Stage 5 Basin Change	Flagstone Precinct 1	PEET

Job Ref.	Date.	Comp By.	Chkd By.	Local Authority.
110056	08 August 2023	NF	MD	Economic Development Queensland

PEET

Plan of Subdivision
 Stage 5Bi, C, R, S & T
 Allotment Layout

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URBAN DESIGN
 Level 4 HQ South
 500 Wickham Street
 PO Box 1559
 Fortitude Valley QLD 4006
 T +61 7 3539 9500
 W rps.com.au

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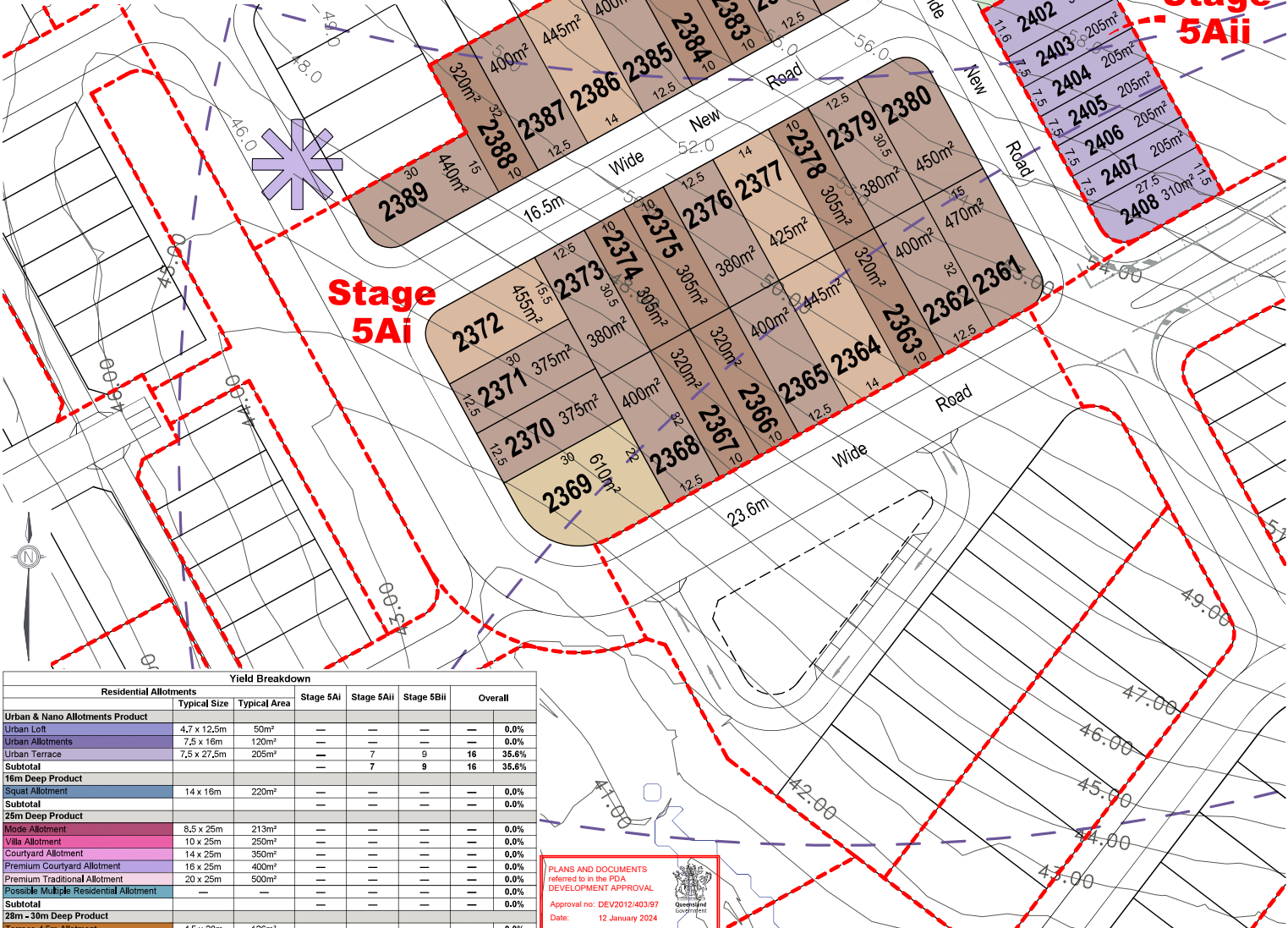
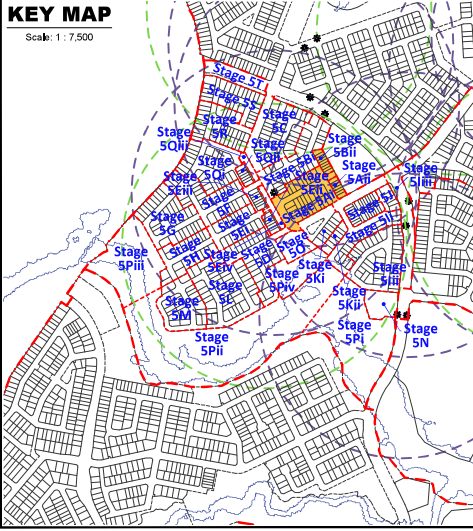
PLANS AND DOCUMENTS referred to in the POA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/97
 Date: 12 January 2024

Scale 1:750 Sheet A1 Plan Ref 110056 - 407 Rev AI

KEY MAP

Scale: 1 : 7,500



Yield Breakdown								
Residential Allotments		Typical Size	Typical Area	Stage 5Ai	Stage 5Aii	Stage 5Bii	Overall	
Urban & Nano Allotments Product								
Urban Loft	4.7 x 12.5m	50m ²	—	—	—	—	0.0%	
Urban Allotments	7.5 x 16m	120m ²	—	—	—	—	0.0%	
Urban Terrace	7.5 x 27.5m	205m ²	—	7	9	16	35.6%	
Subtotal							35.6%	
16m Deep Product								
Squat Allotment	14 x 16m	220m ²	—	—	—	—	0.0%	
Subtotal							0.0%	
25m Deep Product								
Mode Allotment	8.5 x 25m	213m ²	—	—	—	—	0.0%	
Villa Allotment	10 x 25m	250m ²	—	—	—	—	0.0%	
Courtyard Allotment	14 x 25m	350m ²	—	—	—	—	0.0%	
Premium Courtyard Allotment	16 x 25m	400m ²	—	—	—	—	0.0%	
Premium Traditional Allotment	20 x 25m	500m ²	—	—	—	—	0.0%	
Possible Multiple Residential Allotment	—	—	—	—	—	—	0.0%	
Subtotal							0.0%	
28m - 30m Deep Product								
Terrace 4.5m Allotment	4.5 x 28m	126m ²	—	—	—	—	0.0%	
Terrace 6.6m Allotment	6.6 x 28m	185m ²	—	—	—	—	0.0%	
Terrace 7.5m Allotment	7.5 x 28m	210m ²	—	—	—	—	0.0%	
Terrace 9.5m Allotment	9.5 x 28m	265m ²	—	—	—	—	0.0%	
Subtotal							0.0%	
30m Deep Product								
Villa Allotment	10 x 30m	300m ²	9	—	—	9	20.0%	
Premium Villa Allotment	12.5 x 30m	375m ²	15	—	—	15	33.3%	
Courtyard Allotment	14 x 30m	420m ²	4	—	—	4	9.3%	
Traditional Allotment	20 x 30m	600m ²	1	—	—	1	2.2%	
Premium Traditional Allotment	25 x 30m	720m ²	—	—	—	—	0.0%	
Possible Multiple Residential Allotment	—	—	—	—	—	—	0.0%	
Subtotal							64.4%	
Total Residential Allotments				29	7	9	45	100.0%
Residential Net Density				18.4 dw/ha	42.2 dw/ha	44.3 dw/ha		
Super Lots								
Medium Density Allotment	—	—	—	—	—	—	—	—
Balance Super Allotments	—	—	—	—	—	—	—	—
Sub Total								
Total Allotments				29	7	9	45	
Maximum Potential Residential Dwellings (Includes Multiple Residential Allotments)				29	7	9	45	
Maximum Potential Net Residential Density				18.4 dw/ha	42.2 dw/ha	44.3 dw/ha		

PLANS AND DOCUMENTS referred to in the FIDA DEVELOPMENT APPROVAL
 Approval no: DEV2012/403/97
 Date: 12 January 2024

Land Budget					
Land Use	Stage 5Ai	Stage 5Aii	Stage 5Bii	Overall	%
Area of Subject Site	1,853 ha	0,166 ha	0,203 ha	2,222 ha	100.0%
Saleable Area					
Residential Allotments	1,136 ha	0,166 ha	0,203 ha	1,505 ha	67.7%
Medium Density Allotment	—	—	—	—	0.0%
Balance Super Allotments	—	—	—	—	0.0%
Total Area of Allotments	1,136 ha	0,166 ha	0,203 ha	1,505 ha	67.7%
Road					
Collector Road	0,278 ha	—	—	0,278 ha	12.5%
Local Road	0,394 ha	—	—	0,394 ha	17.7%
Linear Connections	0,045 ha	—	—	0,045 ha	2.0%
Entry Statements	—	—	—	—	0.0%
Total Area of New Road	0,717 ha			0,717 ha	32.3%
Open Space					
Corridor Park	—	—	—	—	0.0%
Conservation (Within Corridor Park)	—	—	—	—	0.0%
District Recreation Park	—	—	—	—	0.0%
Neighbourhood Recreation Park	—	—	—	—	0.0%
Local Recreation Park	—	—	—	—	0.0%
Local Linear Recreation Park	—	—	—	—	0.0%
Stormwater Detention	—	—	—	—	0.0%
Total Open Space					0.0%

Legend

- Site Boundary
- Proposed Stage Boundary
- Proposed Sub Stage Boundary
- Existing Q100
- Residential Allotment (Max. no. of dwellings)
- Indicative Indented Bus Stop Location
- Indicative In-Line Bus Stop Location
- Bus Stop Catchment (400m)
- Neighbourhood Park Catchment (400m)

Note:
 All dimensions and areas are approximate only, and are subject to survey and Council approval. Dimensions have been rounded to the nearest 0.1 metres. Areas have been rounded down to the nearest 5m². The boundaries shown on this plan should not be used for final detailed engineers design. Road [re]markings and turn spots are indicative only and subject to detailed design.
Source Information:
 Site boundaries: Registered Survey Plans / Veris. Adjoining information: DCDB. Contours: Meinhardt.

REVISION	PROJECT	CLIENT
Y: 12/05/2022 Stage 5 Layout Change Z: 08/09/2022 Entry Statement Lease Areas AA: 16/06/2022 Temporary STF Notation AB: 20/09/2022 Stage 3 & 5 Layout Changes AC: 14/11/2022 Stage 5 Boundary Changes AD: 10/01/2023 Stage 3 & 5 Layout Changes AE: 24/02/2023 Stage 3 & 5 Layout Changes AF: 29/03/2023 Stage 3 & 5 Layout Changes AG: 13/04/2023 Stage 3 & 5 Layout Changes AH: 25/07/2023 Stage 4 Layout Changes AI: 08/09/2023 Stage 5 Basin Change	Flagstone Precinct 1	PEET

Job Ref.	110056	Date.	08 August 2023
Comp By.	NF	DWG Name.	Precinct 1 Stage 5
Chk'd By.	MD	Locality.	Flagstone
Local Authority.	Economic Development Queensland		

PEET

Plan of Subdivision
 Stage 5Ai, Aii & Bii
 Allotment Layout

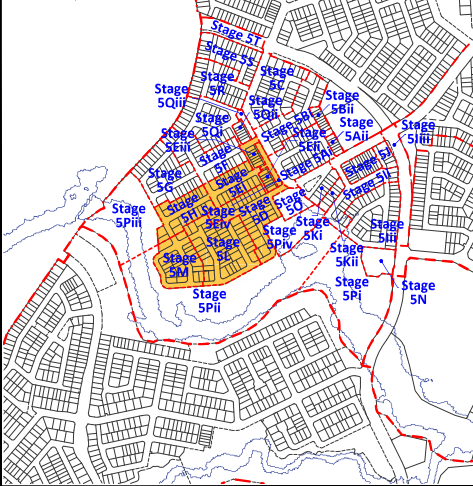
Scale	Sheet	Plan Ref	Rev
1 : 500	A1	110056 - 409	AI



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KEY MAP

Scale: 1 : 7,500

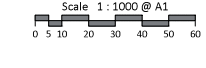


Plan of Development Table. Table with 12 columns for different residential allotment types: Urban Loft, Urban, Urban Terrace, Rear Loaded Terrace, Squat, Mode, Villa, Premium Villa, Courtyard, Premium Courtyard, Traditional, Premium Traditional, and Multiple Residential. Rows include Front/Primary Frontage, Garage, Rear, Side - General Lots, Built to Boundary, Maximum BTB Wall Length, Non Built to Boundary, Corner Lots - Secondary Frontage, Laneway Lots, Rear of Lot, and Site Cover.

PLANS AND DOCUMENTS referred to the POA DEVELOPMENT APPROVAL Application: DC19012/40387 Date: 12 January 2024

- Legend
General
Site Boundary
Proposed Precinct Boundary
Proposed Stage Boundary
Proposed Sub Stage Boundary
Possible Multiple Residential Allotment
Entry Statements - Lease
Open Space
Local Linear Recreation Park
Linear Connections
Allotment Details
Preferred Private Open Space Location
Maximum Building Location Envelope
Mandatory Built to Boundary Wall
Nominal Built to Boundary Wall
No Vehicle Access
Primary Frontage
2m High Solid Timber Fence
Preferred Double Garage Location
Preferred Single Garage Location
Letterbox Location for Primary Dwelling
Lot Impacted by Potential Acoustic Requirements

Note: All dimensions and areas are approximate only, and are subject to survey and Council approval. Dimensions have been rounded to the nearest 0.1 metres. Areas have been rounded down to the nearest 5m². The boundaries shown on this plan should not be used for final detailed engineers design. Road line markings and turn slots are indicative only and subject to detail design. Source Information: Site boundaries: Registered Survey Plans / Veris. Adjoining Information: DCDB. Contours: Meinhard.



- Notes: General
1. All development is to be undertaken in accordance with the Development Approval, and Queensland Development Code (QDC), except as varied below.
2. The maximum height of buildings shall not exceed two (2) storeys except for Urban Loft allotments where three (3) storeys are acceptable.
3. Maximum building location envelopes are subject to future proposed easements and/or other underground services.
4. All lots subject to an acoustic assessment to determine level of acoustic treatments.
5. Buildings shall be constructed in accordance with Bushfire AS3959.
6. Secondary driveways are not permitted on lots less than 400m².
7. Provisions in this POD do not relate to the Medium Density Allotment (lot 50021), the Commercial Allotment (lot 50019), the Child Care Allotment (lot 905), the Manufactured Home Estate Allotment (lot 50028) or the Community Facility Allotment (lot 50025). A separate MCU application will need to be submitted for development on these lots.
8. Approved uses are House, Multiple Residential, Home Based Business, Display Home and Sales Office.
9. Advertising Devices, where associated with a display home/village and temporary in nature, are Exempt Development.
Setbacks:
10. Setbacks are as per the Plan of Development Table unless otherwise dimensioned. If a lot is not developed for a Multiple Residential (MR) site, then the equivalent size detached lot setbacks will apply.
11. The location of the built to boundary walls are indicated on the Plan of Development, Where built to boundary walls are not adopted site setbacks shall be in accordance with the Plan of Development Table.
12. Boundary setbacks are measured to the top of the structure.
13. Front verandah and covered areas to the front door are permitted to extend into the front setback on the condition that the roofed area is not enclosed. For front setbacks, this roofed area can extend to 1.0m from the front property line.
14. Eaves cannot encroach (other than where buildings are built to boundary) closer than 450mm to the lot boundary.
15. If a retaining wall which exceeds 2.0m in height is present along the rear boundary of an allotment (single face wall construction), a 2.5m rear setback must be adopted.
16. If a terraced retaining wall is adopted at the rear boundary of a property, the lower face is to be a maximum of 1.0m from the property boundary, and a 2.5m rear setback must be adopted.
17. Lots 2501 - 2505 require a 2.5m rear setback.
18. For lots 814 - 833, Class 10 buildings or structures may be located within the 6m rear setback.
19. A corner lot, for the purposes of determining setbacks, is a lot that adjoins the intersection of two streets. This excludes those lots that are shared access driveways, laneway or a pedestrian link landscape buffer and otherwise in these cases a secondary frontage setback does not apply.
20. In the case of corner allotments an additional setback from the street corner is applicable. The setback applies to any building or structure greater than 2m high as follows:
- In the case of Urban Lots, Urban, Urban Terrace, Terrace, Squat, Mode and Villa Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 6m back from the point of intersection of these two boundaries.
- In the case of Premium Villa, Courtyard, Premium Courtyard, Traditional Premium Traditional and Multiple Residential Corner Lots, the setback is measured as the line that joins the points on the front and side street boundaries of the lot that are located 5m back from the point of intersection of these two boundaries.



On-site car parking and driveways

- 24. On-site car parking is to be provided in accordance with the following minimum requirements:
- For lots up to 12.4 metres wide - 1 covered space per dwelling.
- For lots 12.5 metres wide or greater - 2 covered spaces per dwelling.
- For Multiple Residential sites, at least 1 covered space per dwelling, plus 0.5 spaces per dwelling (can be uncovered).
25. Garages for all single storey dwelling on a Lot between 10.0m and 12.49m in width must adhere to the following design criteria:
a. The front facing building wall, which comprises the garage door, must not exceed an external width of 5.7m
b. The garage door:
i. Width must not exceed 4.8m
ii. Must have a minimum 450mm eave above it
iii. Must be setback a minimum of 240mm behind the pillar of the garage door, and
iv. Must have a sectional roller door.
c. The front facade of the dwelling must be forward of the alignment of the garage wall, and must include the following:
i. A front entrance door with glass inserts and / or windows or with a sightlight where the front door is solid. If the front facade includes a habitable room with window, a sightlight is not required.
ii. A front verandah, portico or porch located over the front entrance, which extends a minimum of 1600mm forward of the entrance door.
iii. The verandah, portico or porch is to include front piers with distinct materials and/or colours.
d. Driveways cannot exceed 3.0m across the verge on Lots between 10.0m and 12.49m wide.
26. Double car garages are permitted on any double storey dwelling built on a Lot between 10.0m and 12.49m or laneway dwelling.
27. Driveways are to accord with Logan City Council's (LCC) standards. Prior to construction, approval from LCC for Vehicular Access to Residential Premises is required.
28. The maximum width of a driveway at the lot boundary shall be 4.8 metres for a lot with a double car width garage and 3.0 metres for a lot with a single car width garage.
29. Garages and carports accessed from a Laneway must be built setback 0.9 metres from the boundary unless otherwise dimensioned on the Plan of Development. Ingress/egress must be achieved for a 899 Vehicle.
30. Maximum of one driveway per dwelling unless it is a MR lot.
31. Minimum distance of a driveway from an intersection of one street with another street is 6.0 metres. The Driveway must be laid at the grade of the adjacent verge area. No grade changes to the verge for the driveway will be allowed.
32. Where there is a footpath within the verge, the footpath should be cut at the nearest point and the footpath retained for the primary dwelling.
33. Driveways must be completed prior to occupation of the dwelling.
Fencing
34. Fencing erected by Peet must not be altered, modified or removed without prior written approval from Peet.
35. Fencing on all park or street frontages has a maximum height of 1.2metres where solid or have a maximum height of 1.8 metres where containing openings that make the fence more than 50% transparent.
36. Fencing on all park or street frontages is constructed with visible posts, which are at least 120mm x 120mm and 100mm higher than the infill panels or panels.
37. Fencing on lanes can be screen fencing at 1.8m high while along private open space, carparking and service areas.
38. Fencing on corner lots is to be designed as front fences addressing both streets (rather than a front and a side fence).
39. Notwithstanding the above, solid front fences and walls may be 1.8 metres in height if the dwelling has a frontage to a street with traffic volumes in excess of, or projected to exceed, 10,000 vehicles per day.

- Retaining Walls
40. For retaining walls not constructed by the developer:
a. Retaining walls must not exceed more than 1.0m where fronted to a public street or park. Retaining walls to side and rear boundaries (which are not adjoining a public street or park) can be up to 2.0m. Retaining in excess of this must use terraced retaining.
b. Where retaining walls are terraced, the lower face is to be a maximum of 1.0m from the property boundary.
41. No timber retaining walls over 1.0m or adjoining parks or public streets.
42. Walls over 1.0m require RPEC certification.
Building Articulation
43. All buildings with a width of more than 10 metres that are visible from a street or park are to include articulation to reduce the mass of the building by one or more of the following:
- Windows recessed into the facade or bay windows.
- Balconies, porches or verandahs.
- Articulation of roof lines.
- Window hoods; and/or
- Use of multiple cladding materials.
44. Where adjoining an area of open space, housing design must facilitate passive surveillance of the open space, which can be achieved through the incorporation of at least one (1) haCrACKle room orientated towards the open space.
45. Carports and garages are to be compatible with the main building design in terms of height, roof form, detailing, materials and colours.
46. All building materials must be suitably coloured, stained or painted, including retaining, fences, walls and roofs. Untreated materials, such as zinc coated steel, bare metal, concrete block or masonry panels are not permitted.
47. Air-conditions, gas boilers, hot water systems, clothes lines and other household services must be screened and/or located to minimise visual impact to public streets or parks.
48. Homes must include a clearly identifiable and addressed front door and undercover point of entry.
49. Screened drying and rubbish bins area must be behind the main face of the dwelling.
50. At least two openings to all habitable rooms to facilitate cross flow ventilation are required.
Slope and Building Footings
51. Buildings on sloping sites must be built to the boundary on the low side of the lot and the footing must be projected deep enough to be below the adjoining property building pad level.
52. If the minimum pad level is not provided, the pad level is to be assumed as the average of the four corners of the primary dwelling footprint, using the as constructed levels.
53. Building footings are to be designed in accordance with the appropriate Australian Standard. Building footings are to be designed to ensure that there are no adverse impacts (functional, financial or construction limitations) on adjoining allotments, particularly in relation to retaining walls.

- Additional Criteria for Multiple Residential Allotments (excluding Lot 50021)
54. Buildings must address all street frontages with driveways, pedestrian entries or both.
55. All dwellings must have a clearly identifiable front door, which is undercover.
56. Drying and rubbish bins areas must be located behind the main face of the dwelling or suitably screen from public streets and front porches.
57. Maximum number of dwellings on each multiple residential lot is annotated on the Plan of Development.
Additional Criteria for Secondary Dwellings
58. Floor area must be between a minimum of 30m² and 75m².
59. Materials, detailing, colours and roof form are consistent with those of the primary house.
60. Outdoor living space must measure a minimum of 6m² with a minimum dimension in any direction of 3 metres.
61. Outdoor living space must be directly accessible from the main living space and can be combined with the primary dwelling outdoor space.
62. Outdoor living space on a corner allotment must be suitably screened if located within the secondary street boundary setback.
63. A minimum of one (5m x 3m) car parking space must be provided for the secondary dwelling, in addition to parking for the primary dwelling.
64. The driveway must be shared with the primary house, however on corner allotments a separate driveway may be provided with a minimum width of 3 metres and a maximum width of 5 metres.
65. Corner allotments must provide dedicated pedestrian entry and a visible door from and addressing the secondary primary dwelling outdoor space.
66. Corner allotments must provide a minimum of one habitable room, with large windows or balconies, fronting the secondary street.

- Definitions
Laneway Allotment - Allotments serviced by a laneway.

REVISION table with columns for revision number, description, and date. Includes revisions for layout changes and approvals.

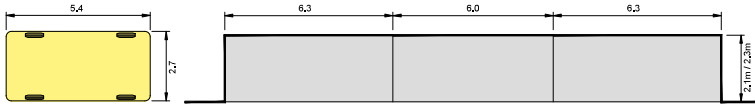
PROJECT table with columns for Job Ref., Date, Comp By., DWG Name, and Local Authority. Includes details for Flagstone Precinct 1.

CLIENT section featuring the PEET logo and project title: Plan of Development Stage 5D, Ei, Eii, Eiii, H, L & M Residential Allotments.

Scale, Sheet, Plan Ref, and Rev information. Scale: 1 : 1000, Sheet: A1, Plan Ref: 110056 - 411, Rev: AI.



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Parking Bay Diagram
Scale 1 : 100

Typical Indented Parking Bay Arrangement
(In accordance with AS2880)
Scale 1 : 100

- Legend**
- General**
- Site Boundary
 - Proposed Precinct Boundary
 - Proposed Stage Boundary
 - Proposed Sub Stage Boundary
- Open Space**
- District Recreation Park
 - Corridor Park
 - Conservation Within Corridor Park
 - Neighbourhood Recreation Park
 - Local Recreation Park
 - Local Linear Recreation Park
 - Stormwater Detention
 - Linear Connections
- On-Street Parking**
- Indicative Car Park Location
 - Indicative Driveway

Note:
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Road line markings and turn slots are indicative only and subject to detailed design.

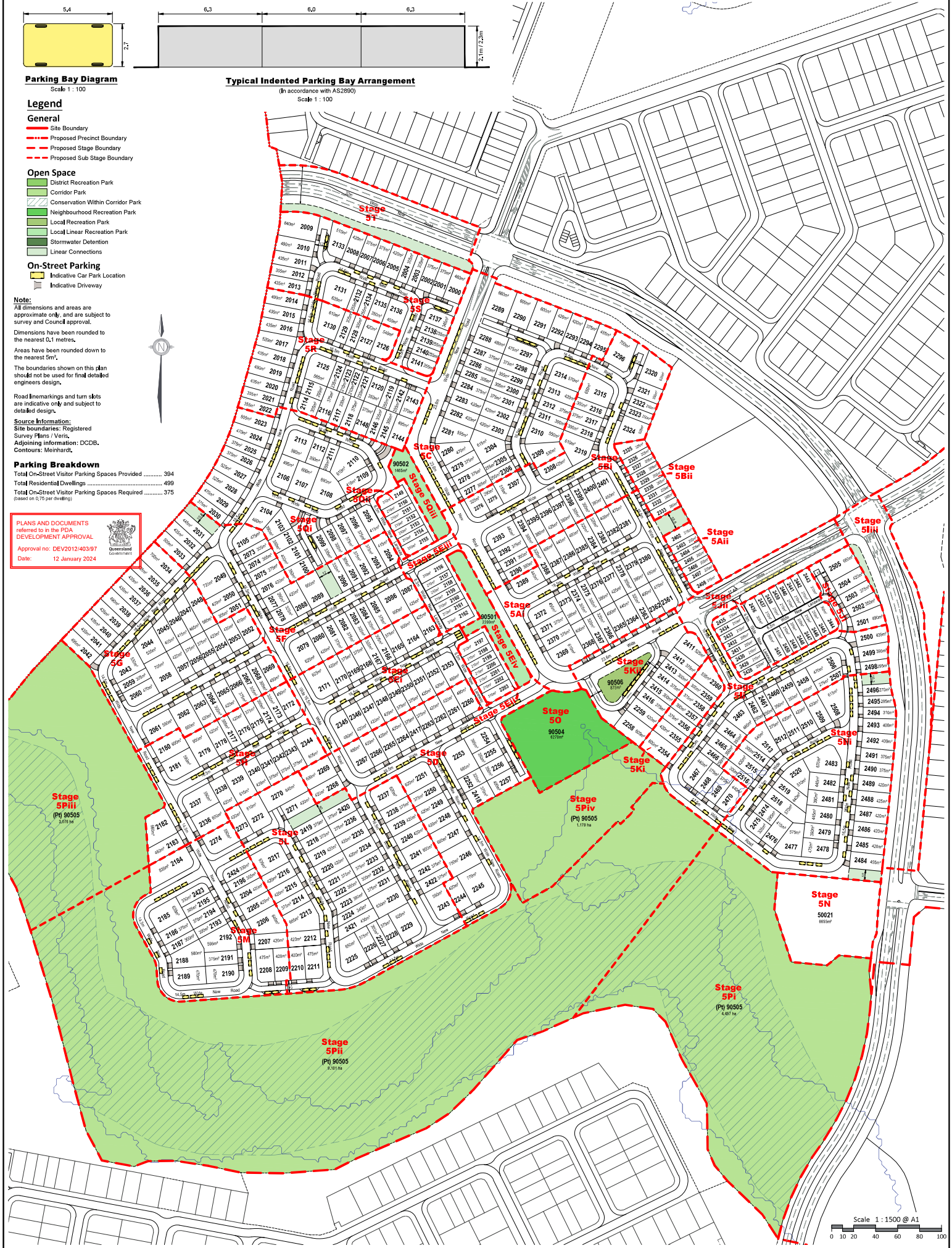
Source Information:
Site boundaries: Registered Survey Plans 1/Views.
Adjoining information: DCDB.
Contours: Meinhardt.

Parking Breakdown

Total On-Street Visitor Parking Spaces Provided 394
Total Residential Dwellings 499
Total On-Street Visitor Parking Spaces Required 375
(based on 0.75 per dwelling)

PLANS AND DOCUMENTS referred to in the PDA DEVELOPMENT APPROVAL

Approval no: DEV2012/403/97
Date: 12 January 2024



Scale 1 : 1500 @ A1
0 10 20 40 60 80 100

REVISION

Y: 12/05/2022 Stage 5 Layout Change
Z: 08/09/2022 Entry Statement Layout Areas
AA: 16/06/2022 Temporary STF Notation
AB: 20/09/2022 Stage 3 & 5 Layout Changes
AC: 14/11/2022 Stage 5 Boundary Changes
AD: 10/01/2023 Stage 3 & 4 Layout Changes
AE: 24/02/2023 Stage 3 & 5 Layout Changes
AF: 20/03/2023 Stage 3 & 5 Layout Changes
AG: 13/04/2023 Stage 3 & 5 Layout Changes
AH: 25/07/2023 Stage 4 Layout Changes
AI: 08/09/2023 Stage 5 Basin Change

PROJECT		Flagstone Precinct 1	
Job Ref.	110056	Date.	08 August 2023
Comp. By.	NF	DWG Name.	Precinct 1 Stage 5
Chkd By.	MD	Locality.	Flagstone
Local Authority.		Economic Development Queensland	

CLIENT

PEET

Plan of Development
Stage 5 Overall
Parking Management Plan

URS

URBAN DESIGN
Level 4 HQ South
200 Wickham Street
PO Box 1559
Fortitude Valley QLD 4006
T +61 7 3539 9500
W ursgroup.com

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Scale	Sheet	Plan Ref	Rev
1 : 1500	A1	110056 - 416	AI