

# DISCLOSURE PLAN

For Proposed Lot 851  
Riverbank - Stage 18B

Currently Described As  
RPD: Part of Lot 1012 on SP300993  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - 1.0 — Depth of Fill Contours (0.2m Interval)
  - Easement Boundary
  - Kerb Line
  - Edge of Pad
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - rv — rv — Roofwater/Roofwater Pit
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW  
ARW Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
  - ▾ Proposed Driveway
  - ← Zero Lot Line Boundary
  - 1.8m High Timber Acoustic Fence  
(Installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 26-02-2019.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK

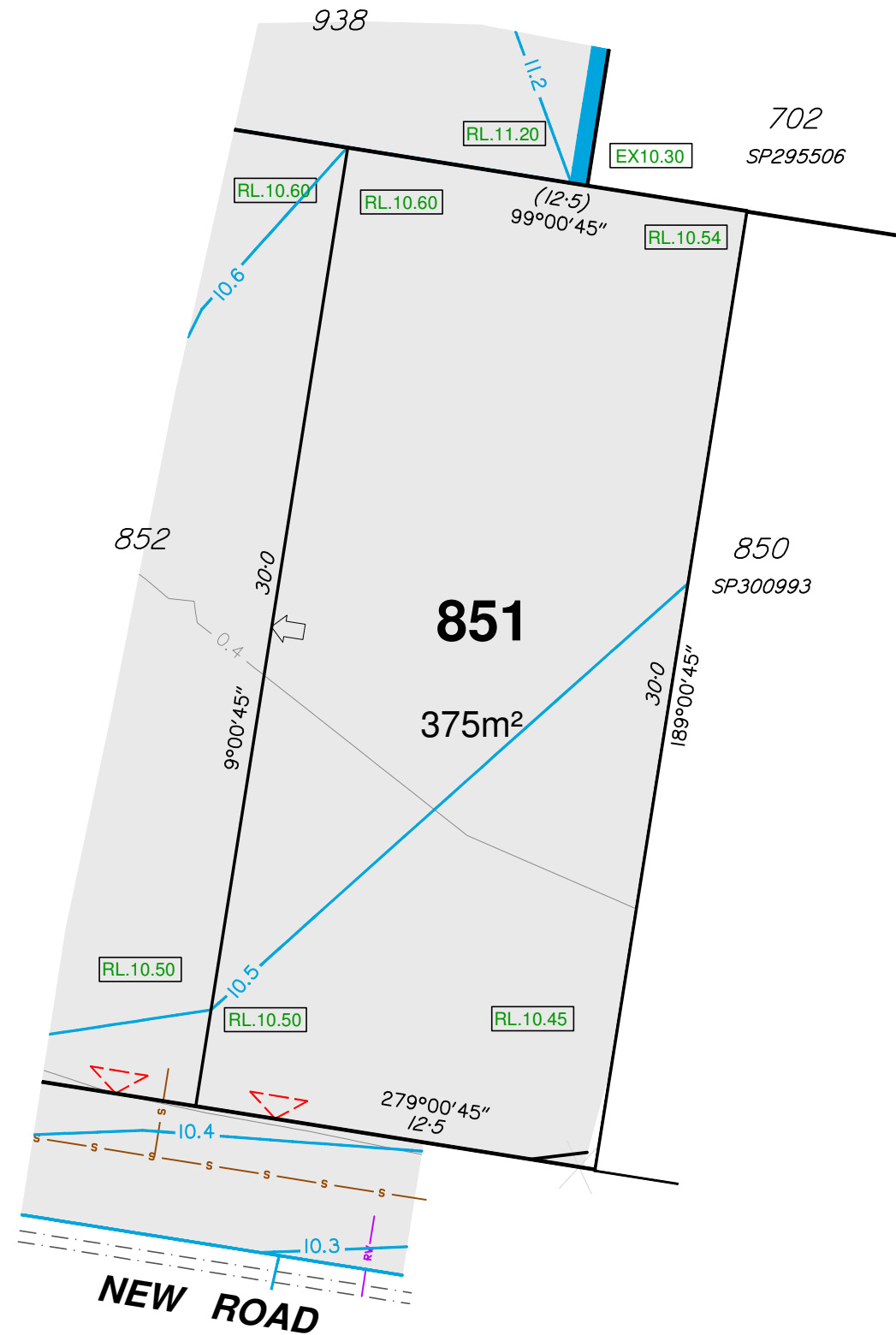


Planning
Urban Design
Landscape
Environment
Surveying

HORIZONTAL MERIDIAN  
MGA

LEVEL DATUM  
AHD.

DATE DRAWN 21-06-2019      DRAWING NO. SB3594-13-851      VERSION B



# DISCLOSURE PLAN

For Proposed Lot 852  
Riverbank - Stage 18B

Currently Described As  
RPD: Part of Lot 1012 on SP300993  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - 1.0 — Depth of Fill Contours (0.2m Interval)
  - Easement Boundary
  - Kerb Line
  - Edge of Pad
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - RV — RV — Roofwater/Roofwater Pit
  - Area to be Filled
  - RL.57.32 Design Pad Level
  - Retaining Wall
  - RW  
ARW Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
  - ▾ Proposed Driveway
  - ← Zero Lot Line Boundary
  - 1.8m High Timber Acoustic Fence  
(Installed by Developer)

- Notes:**
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  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



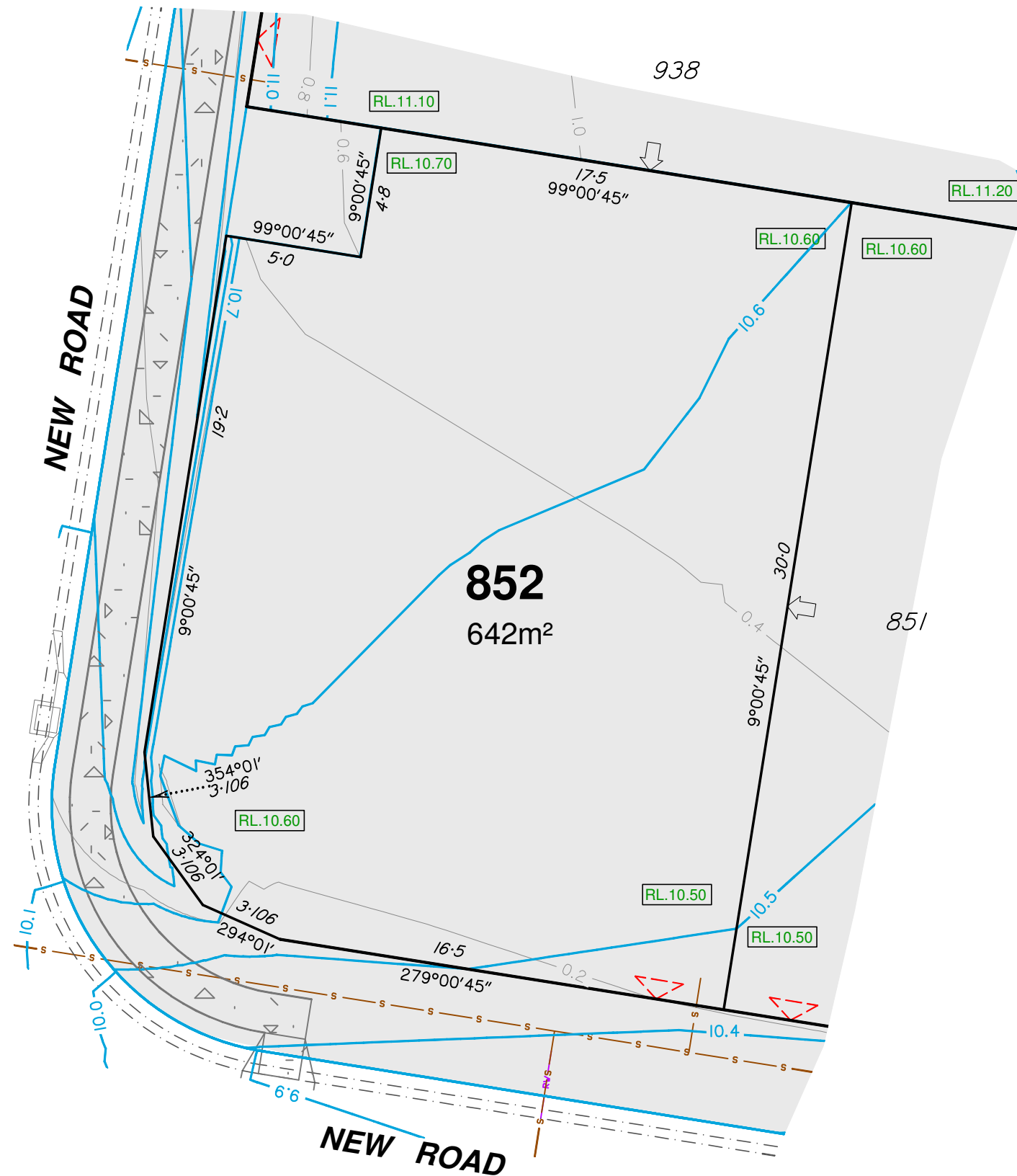
▣ Planning 
 ▣ Urban Design 
 ▣ Landscape 
 ▣ Environment 
 ▣ Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 08-07-2019 DRAWING NO. SB3594-13-852 VERSION C



# DISCLOSURE PLAN

For Proposed Lot 877  
Riverbank - Stage 18B

Currently Described As  
RPD: Part of Lot 1012 on SP300993  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
  - 1.0 Depth of Fill Contours (0.2m Interval)
  - Easement Boundary
  - Kerb Line
  - Edge of Pad
  - Sewer/Sewer Manhole
  - Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - Roofwater/Roofwater Pit
  - Area to be Filled
  - Design Pad Level
  - Retaining Wall
  - Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
  - Proposed Driveway
  - Zero Lot Line Boundary
  - 1.8m High Timber Acoustic Fence  
(Installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 26-02-2019.
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  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

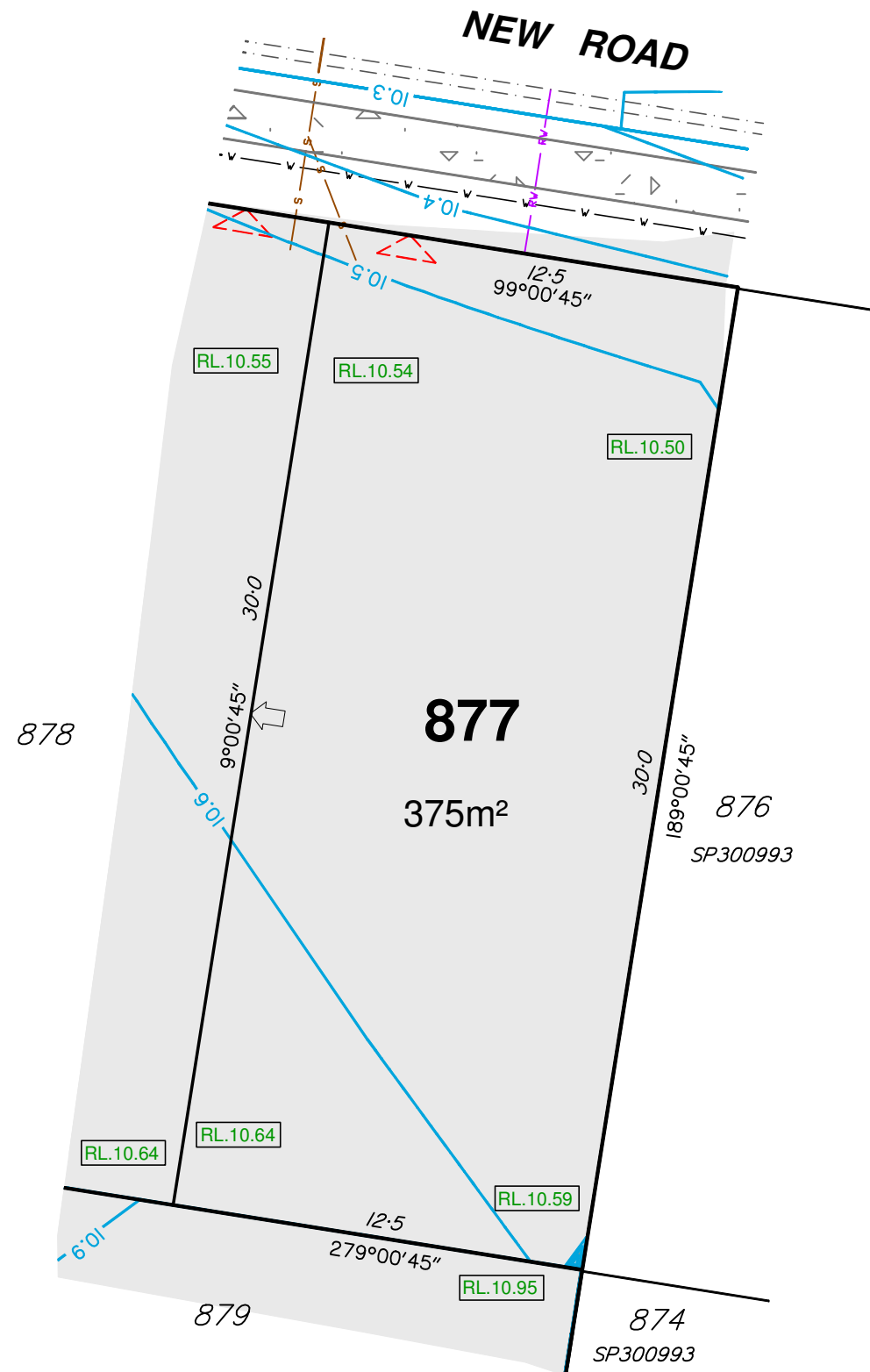
# RIVERBANK



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN  
MGA  
Scale 1:200 @A3  
LEVEL DATUM  
AHD.

DATE DRAWN 15-08-2019 DRAWING NO. SB3594-13-877 VERSION C



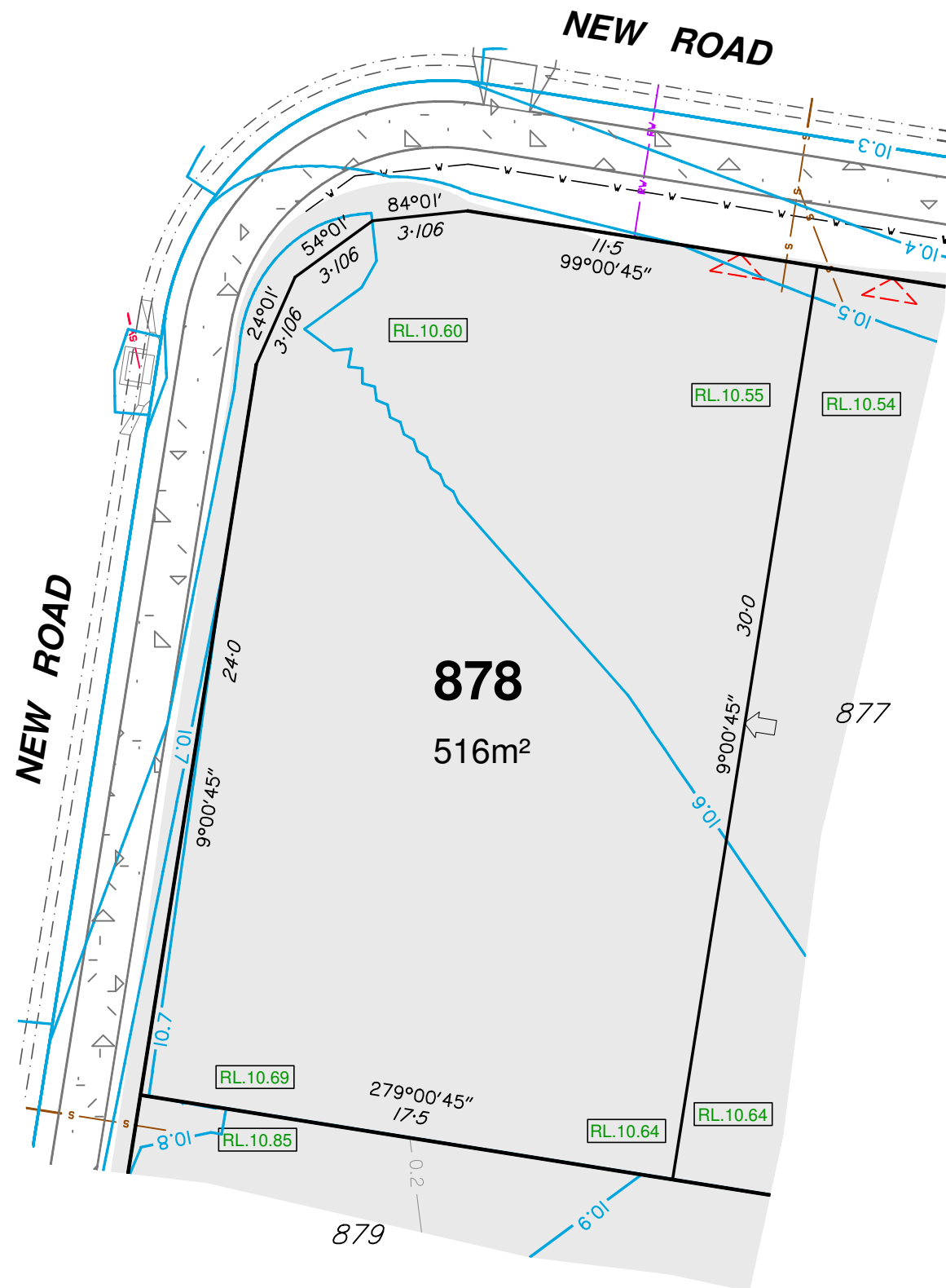
# DISCLOSURE PLAN

For Proposed Lot 878  
Riverbank - Stage 18B

Currently Described As  
RPD: Part of Lot 1012 on SP300993  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - 1.0 — Depth of Fill Contours (0.2m Interval)
  - Easement Boundary
  - Kerb Line
  - Edge of Pad
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - rv — rv — Roofwater/Roofwater Pit
  - Area to be Filled
  - RL.10.54 Design Pad Level
  - Retaining Wall
  - RW  
ARW Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
  - ▾ Proposed Driveway
  - ← Zero Lot Line Boundary
  - 1.8m High Timber Acoustic Fence  
(Installed by Developer)

- Notes:**
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## RIVERBANK



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 15-08-2019  
DRAWING NO. SB3594-13-878  
VERSION C



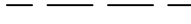












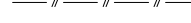


# DISCLOSURE PLAN

For Proposed Lot 880  
Riverbank - Stage 18B

Currently Described As  
RPD: Part of Lot 1012 on SP300993  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional Council

### Legend:

-  46.0 Finished Surface Contours (0.1m Interval)
-  1.0 Depth of Fill Contours (0.2m Interval)
-  Easement Boundary
-  Kerb Line
-  Edge of Pad
-  Sewer/Sewer Manhole
-  Stormwater/Stormwater Manhole
-  Stormwater Gully Trap
-  Roofwater/Roofwater Pit
-  Area to be Filled
-  Design Pad Level
-  Retaining Wall
-  RW  
ARW Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Timber Acoustic Fence  
(Installed by Developer)

### Notes:

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6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



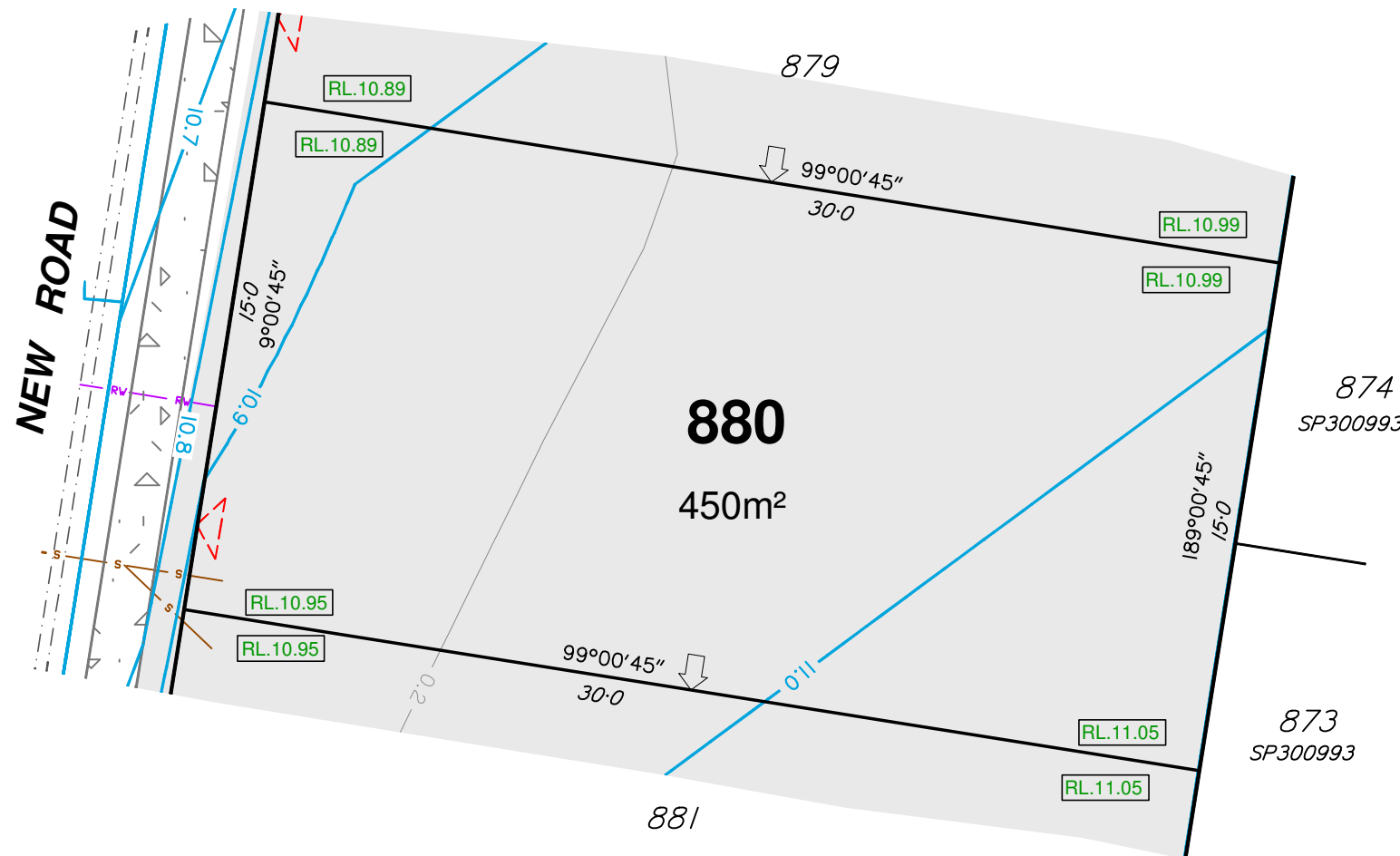
 Planning
  Urban Design
  Landscape
  Environment
  Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 21-06-2019 DRAWING NO. SB3594-13-880 VERSION B



# DISCLOSURE PLAN

For Proposed Lot 881  
Riverbank - Stage 18B

Currently Described As  
RPD: Part of Lot 1012 on SP300993  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional Council

### Legend:

- 46.0 — Finished Surface Contours (0.1m Interval)
- 1.0 — Depth of Fill Contours (0.2m Interval)
- Easement Boundary
- - - - - Kerb Line
- Edge of Pad
- s — s — Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole
- Stormwater Gully Trap
- RV — RV — Roofwater/Roofwater Pit
- Area to be Filled
- RL57.32 Design Pad Level
- Retaining Wall
- RW Retaining Wall Height
- ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
- Proposed Driveway
- Zero Lot Line Boundary
- // — // — // — // — 1.8m High Timber Acoustic Fence (Installed by Developer)

### Notes:

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2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 26-02-2019.
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6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 21-06-2019	DRAWING NO. SB3594-13-881	VERSION B
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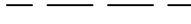












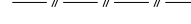


# DISCLOSURE PLAN

For Proposed Lot 883  
Riverbank - Stage 18B

Currently Described As Part of Lot 1012 on SP300993  
RPD: Caboolture South  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional Council

### Legend:

-  46.0 Finished Surface Contours (0.1m Interval)
-  1.0 Depth of Fill Contours (0.2m Interval)
-  Easement Boundary
-  Kerb Line
-  Edge of Pad
-  Sewer/Sewer Manhole
-  Stormwater/Stormwater Manhole
-  Stormwater Gully Trap
-  Roofwater/Roofwater Pit
-  Area to be Filled
-  Design Pad Level
-  Retaining Wall
-  Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
downside of the wall)
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Timber Acoustic Fence  
(Installed by Developer)

### Notes:

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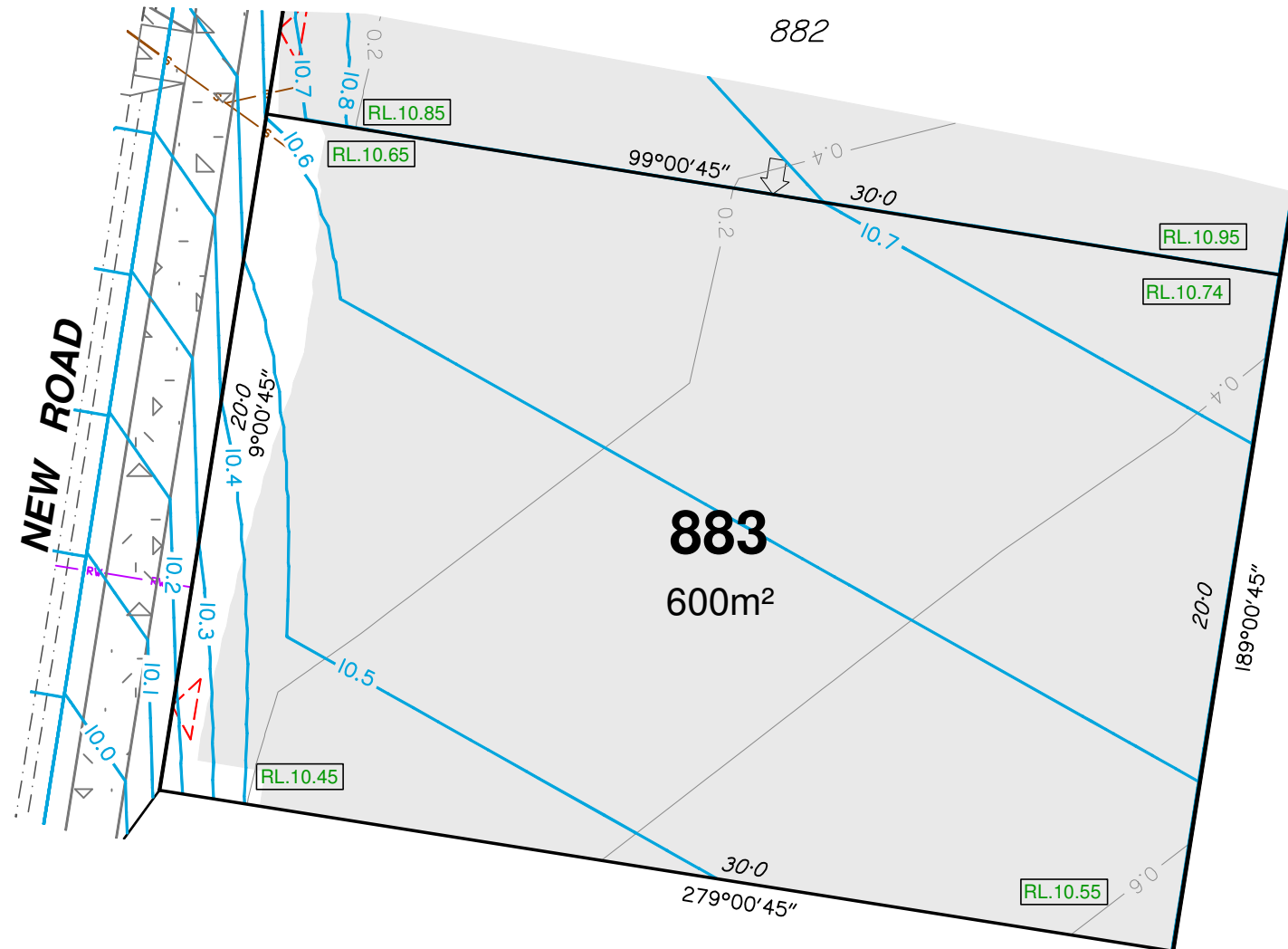
# RIVERBANK



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN  
MGA  
Scale 1:200 @A3  
LEVEL DATUM  
AHD.

DATE DRAWN 21-06-2019 DRAWING NO. SB3594-13-883 VERSION B



Future  
Stage



# DISCLOSURE PLAN

For Proposed Lot 884  
Riverbank - Stage 18B

Currently Described As  
RPD: Part of Lot 1012 on SP300993  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
  - 1.0 Depth of Fill Contours (0.2m Interval)
  - Easement Boundary
  - Kerb Line
  - Edge of Pad
  - Sewer/Sewer Manhole
  - Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - Roofwater/Roofwater Pit
  - Area to be Filled
  - Design Pad Level
  - Retaining Wall
  - Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
  - Proposed Driveway
  - Zero Lot Line Boundary
  - 1.8m High Timber Acoustic Fence  
(Installed by Developer)

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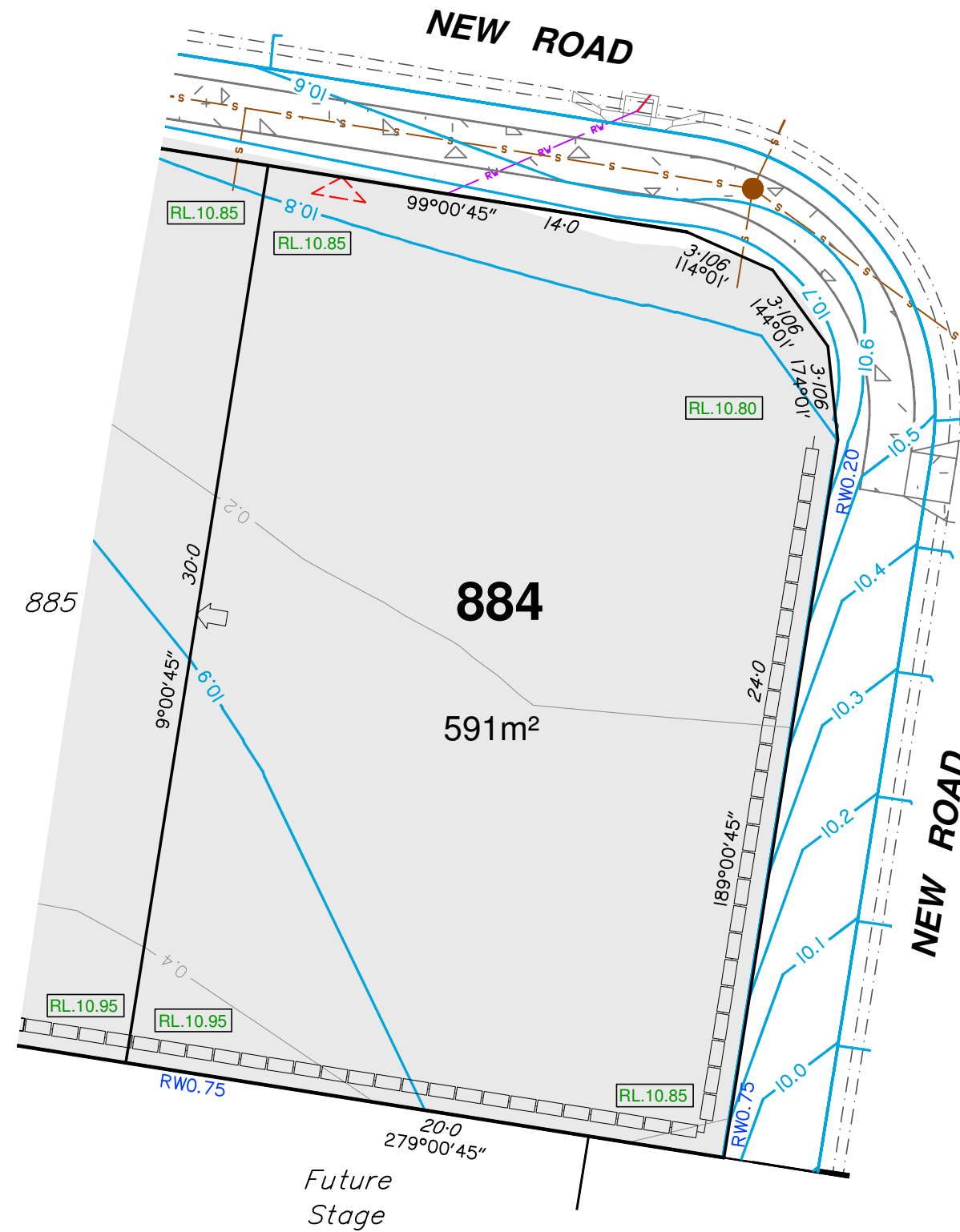
# RIVERBANK



Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN  
MGA  
Scale 1:200 @A3  
LEVEL DATUM  
AHD.

DATE DRAWN 21-06-2019 DRAWING NO. SB3594-13-884 VERSION B



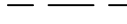












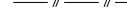


# DISCLOSURE PLAN

For Proposed Lot 885  
Riverbank - Stage 18B

Currently Described As  
RPD: Part of Lot 1012 on SP300993  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional Council

### Legend:

-  46.0 Finished Surface Contours (0.1m Interval)
-  1.0 Depth of Fill Contours (0.2m Interval)
-  Easement Boundary
-  Kerb Line
-  Edge of Pad
-  Sewer/Sewer Manhole
-  Stormwater/Stormwater Manhole
-  Stormwater Gully Trap
-  Roofwater/Roofwater Pit
-  Area to be Filled
-  Design Pad Level
-  Retaining Wall
-  Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowside of the wall)
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Timber Acoustic Fence  
(Installed by Developer)

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# RIVERBANK



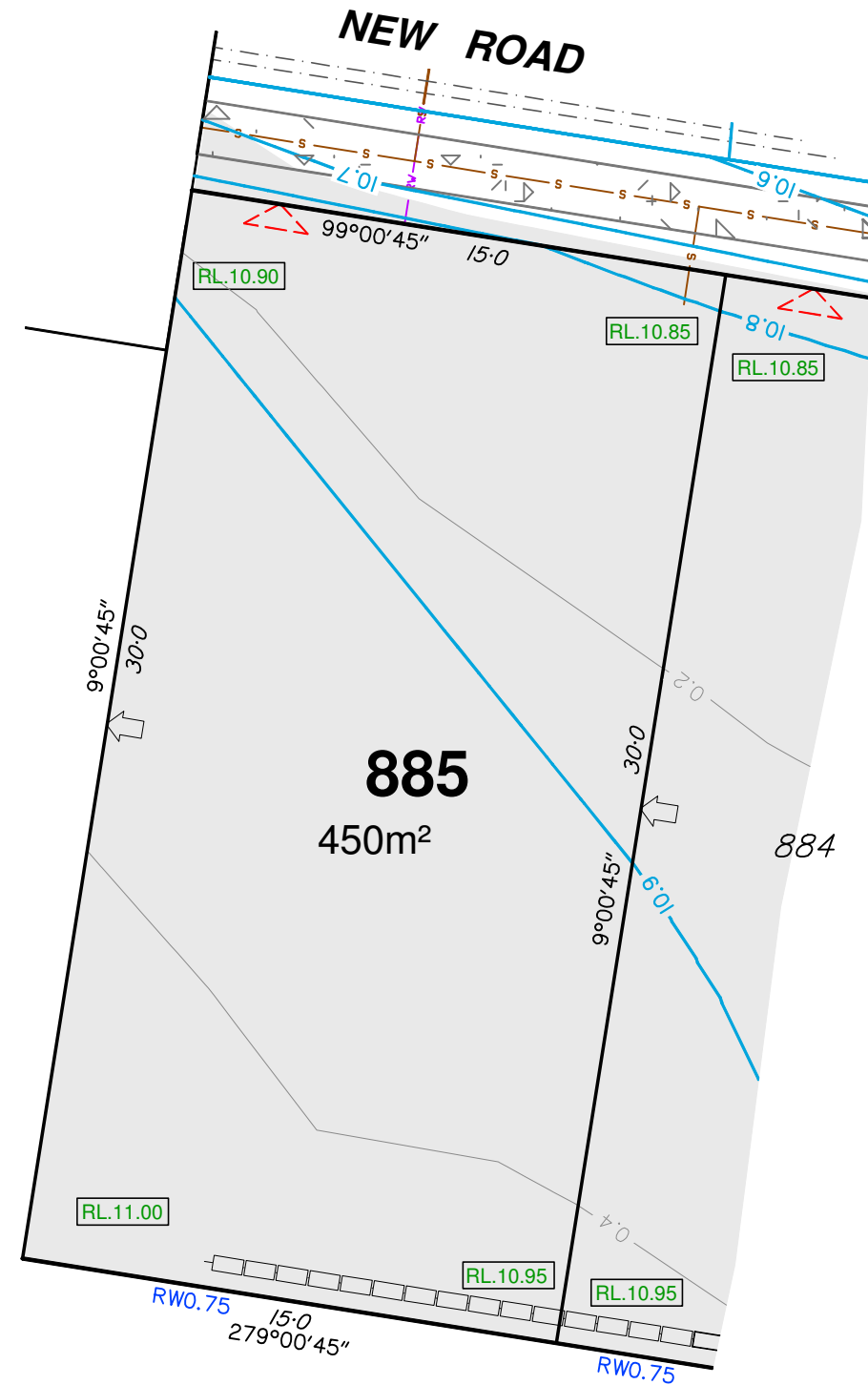
 Planning
  Urban Design
  Landscape
  Environment
  Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 21-06-2019 DRAWING NO. SB3594-13-885 VERSION B



Future Stage



# DISCLOSURE PLAN

For Proposed Lot 928  
Riverbank - Stage 18B

Currently Described As  
RPD: Part of Lot 1012 on SP300993  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional Council

### Legend:

- 46.0 — Finished Surface Contours (0.1m Interval)
- 1.0 — Depth of Fill Contours (0.2m Interval)
- Easement Boundary
- Kerb Line
- Edge of Pad
- s — s — Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole
- Stormwater Gully Trap
- RV — RV — Roofwater/Roofwater Pit
- Area to be Filled
- RL57.32 Design Pad Level
- Retaining Wall
- RW  
ARW Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
- ▾ Proposed Driveway
- ← Zero Lot Line Boundary
- 1.8m High Timber Acoustic Fence  
(Installed by Developer)

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# RIVERBANK



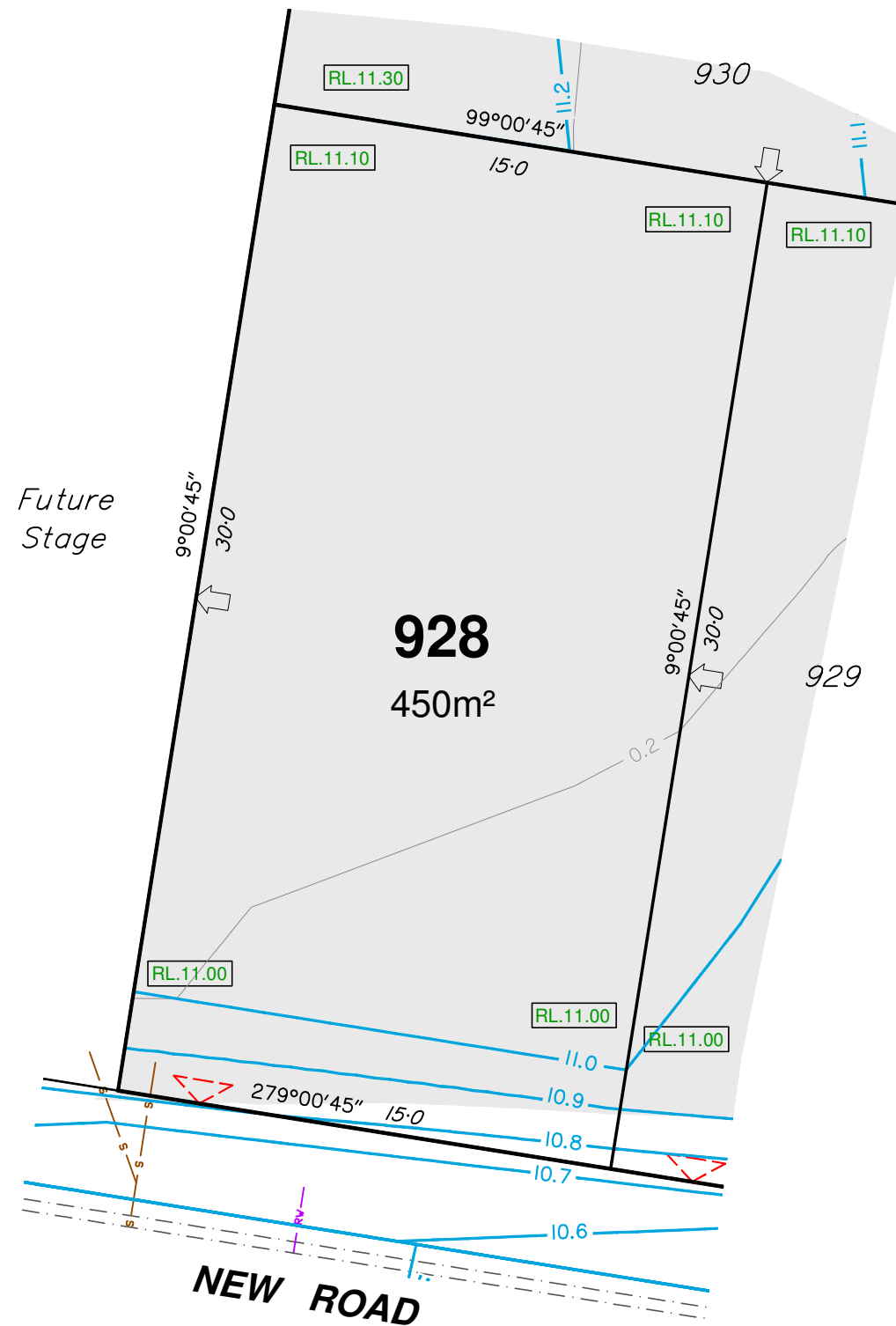
▣ Planning 
 ▣ Urban Design 
 ▣ Landscape 
 ▣ Environment 
 ▣ Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 21-06-2019	DRAWING NO. SB3594-13-928	VERSION B
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# DISCLOSURE PLAN

For Proposed Lot 929  
Riverbank - Stage 18B

Currently Described As  
RPD: Part of Lot 1012 on SP300993  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - 1.0 — Depth of Fill Contours (0.2m Interval)
  - - - - - Easement Boundary
  - - - - - Kerb Line
  - - - - - Edge of Pad
  - s - s - Sewer/Sewer Manhole
  - sv - sv - Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - RV - RV - Roofwater/Roofwater Pit
  - Area to be Filled
  - RL57.32 Design Pad Level
  - Retaining Wall
  - RW Retaining Wall Height
  - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
  - Proposed Driveway
  - Zero Lot Line Boundary
  - // - // - // - 1.8m High Timber Acoustic Fence (Installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 26-02-2019.
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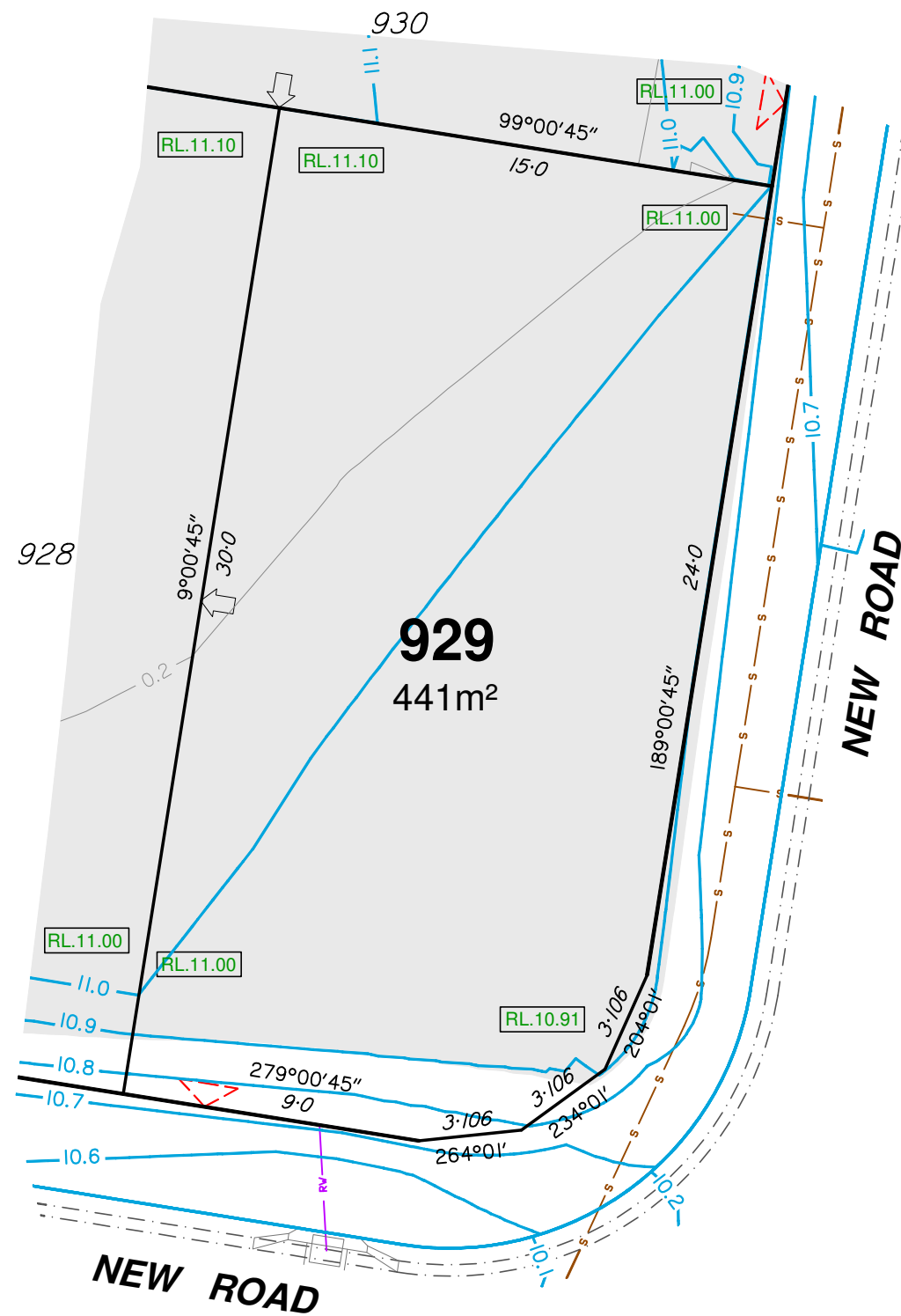


Planning
Urban Design
Landscape
Environment
Surveying

HORIZONTAL MERIDIAN  
MGA

LEVEL DATUM  
AHD.

DATE DRAWN 21-06-2019      DRAWING NO. SB3594-13-929      VERSION B



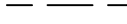












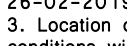


# DISCLOSURE PLAN

For Proposed Lot 930  
Riverbank - Stage 18B

Currently Described As  
RPD: Part of Lot 1012 on SP300993  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional Council

### Legend:

-  46.0 Finished Surface Contours (0.1m Interval)
-  1.0 Depth of Fill Contours (0.2m Interval)
-  Easement Boundary
-  Kerb Line
-  Edge of Pad
-  Sewer/Sewer Manhole
-  Stormwater/Stormwater Manhole
-  Stormwater Gully Trap
-  Roofwater/Roofwater Pit
-  Area to be Filled
-  Design Pad Level
-  Retaining Wall
-  Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
underside of the wall)
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Timber Acoustic Fence  
(Installed by Developer)

### Notes:

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 26-02-2019.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



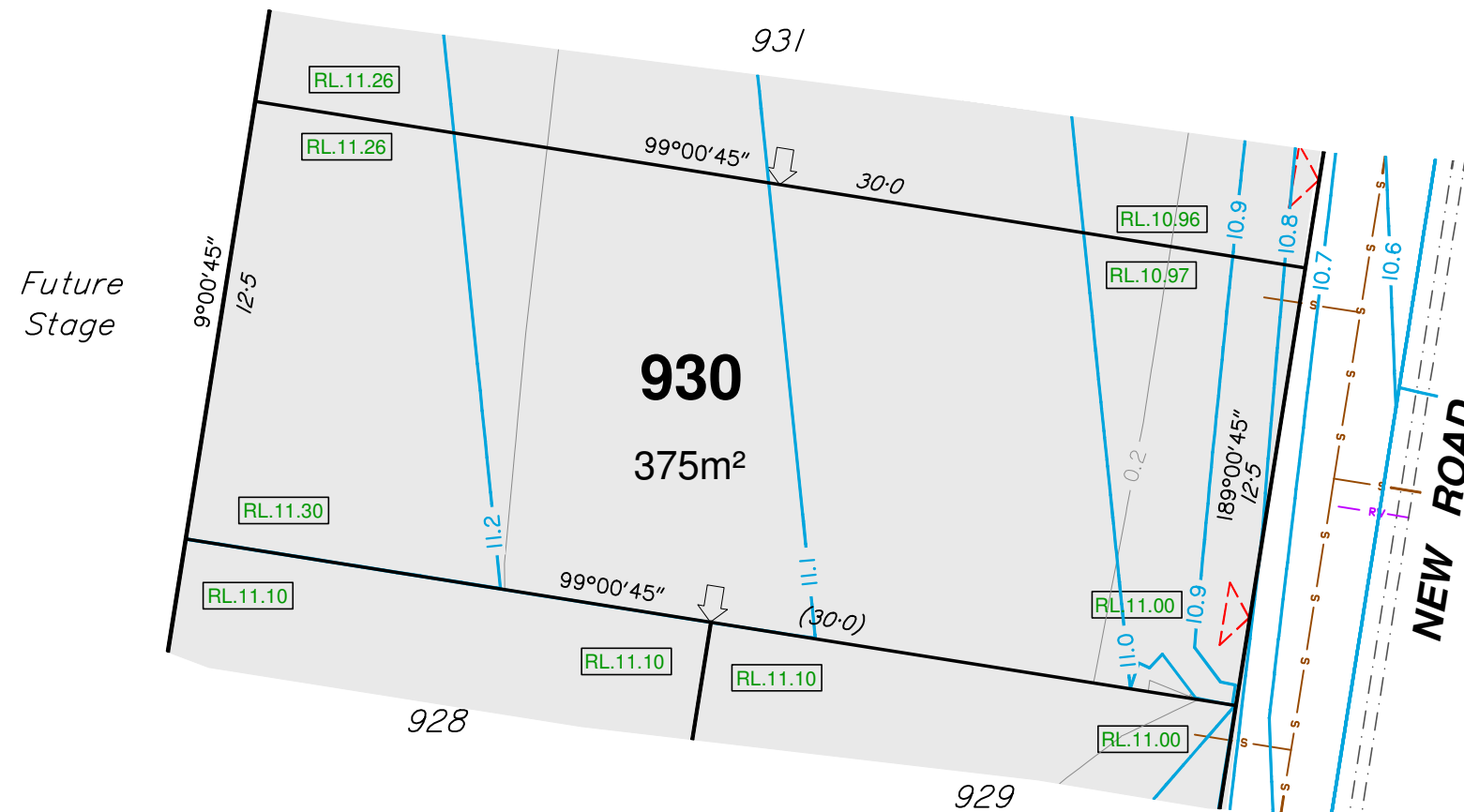
 Planning
  Urban Design
  Landscape
  Environment
  Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 21-06-2019 DRAWING NO. SB3594-13-930 VERSION B





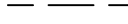





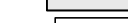







Future Stage

# DISCLOSURE PLAN

For Proposed Lot 931  
Riverbank - Stage 18B

Currently Described As  
RPD: Part of Lot 1012 on SP300993  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional Council

### Legend:

-  46.0 Finished Surface Contours (0.1m Interval)
-  1.0 Depth of Fill Contours (0.2m Interval)
-  Easement Boundary
-  Kerb Line
-  Edge of Pad
-  Sewer/Sewer Manhole
-  Stormwater/Stormwater Manhole
-  Stormwater Gully Trap
-  Roofwater/Roofwater Pit
-  Area to be Filled
-  Design Pad Level
-  Retaining Wall
-  Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowside of the wall)
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Timber Acoustic Fence  
(Installed by Developer)

### Notes:

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 26-02-2019.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



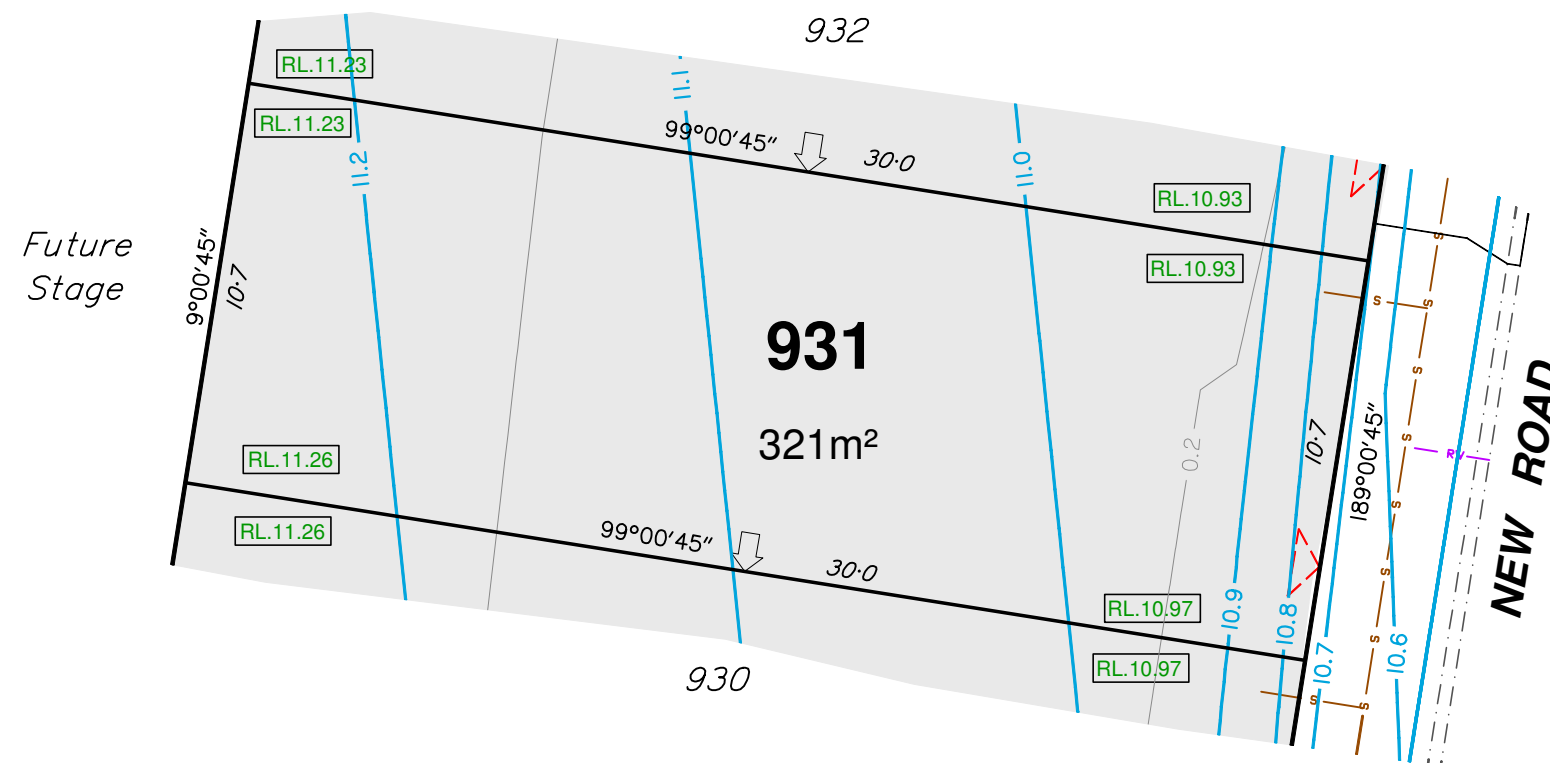
 Planning
  Urban Design
  Landscape
  Environment
  Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 15-08-2019	DRAWING NO. SB3594-13-931	VERSION C
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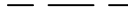





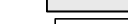
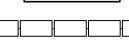





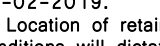


# DISCLOSURE PLAN

For Proposed Lot 932  
Riverbank - Stage 18B

Currently Described As  
RPD: Part of Lot 1012 on SP300993  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional Council

### Legend:

-  46.0 Finished Surface Contours (0.1m Interval)
-  1.0 Depth of Fill Contours (0.2m Interval)
-  Easement Boundary
-  Kerb Line
-  Edge of Pad
-  Sewer/Sewer Manhole
-  Stormwater/Stormwater Manhole
-  Stormwater Gully Trap
-  Roofwater/Roofwater Pit
-  Area to be Filled
-  Design Pad Level
-  Retaining Wall
-  Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowside of the wall)
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Timber Acoustic Fence  
(Installed by Developer)

### Notes:

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 26-02-2019.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



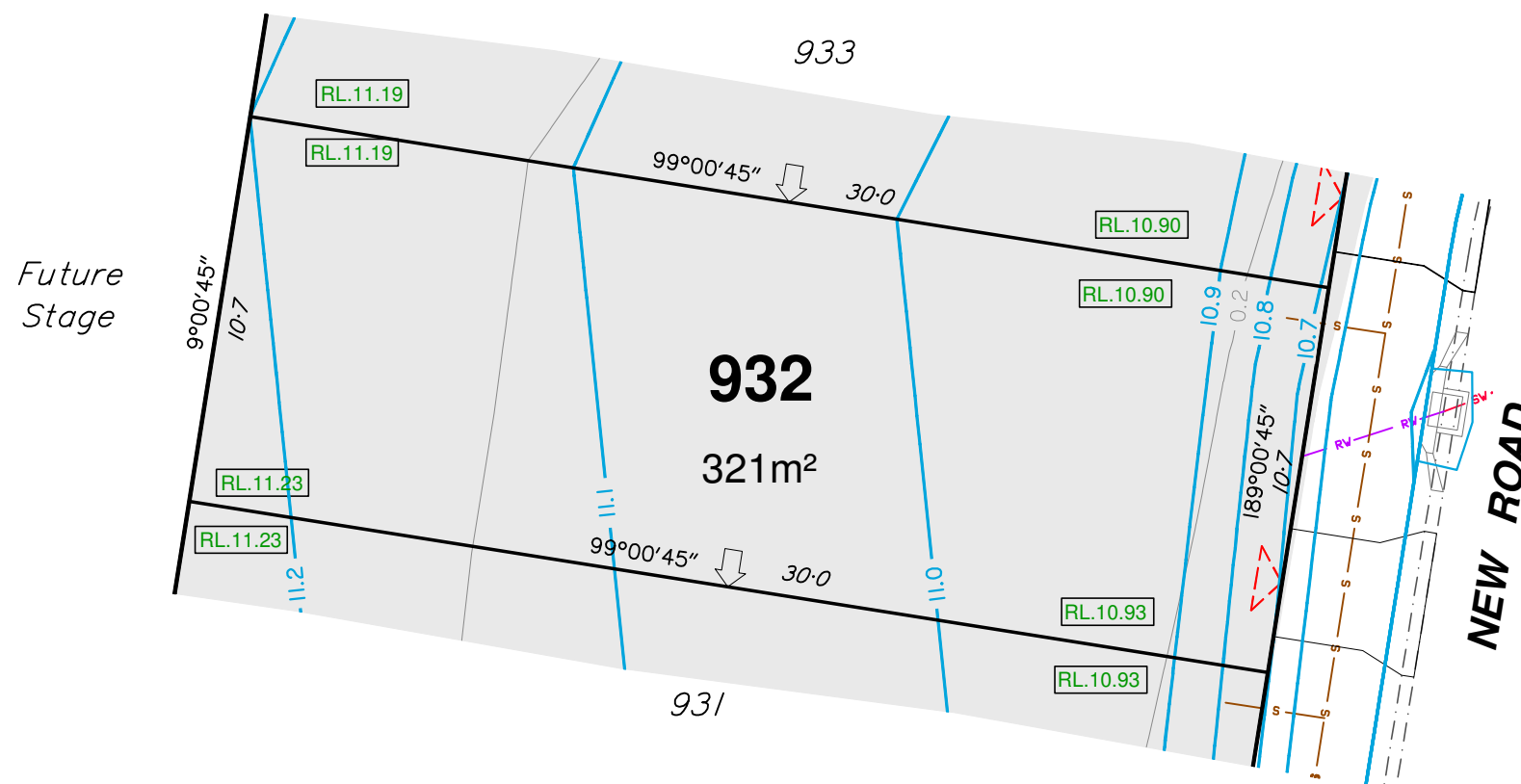
 Planning
  Urban Design
  Landscape
  Environment
  Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 21-06-2019	DRAWING NO. SB3594-13-932	VERSION B
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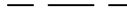












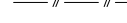


# DISCLOSURE PLAN

For Proposed Lot 933  
Riverbank - Stage 18B

Currently Described As  
RPD: Part of Lot 1012 on SP300993  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional Council

### Legend:

-  46.0 Finished Surface Contours (0.1m Interval)
-  1.0 Depth of Fill Contours (0.2m Interval)
-  Easement Boundary
-  Kerb Line
-  Edge of Pad
-  Sewer/Sewer Manhole
-  Stormwater/Stormwater Manhole
-  Stormwater Gully Trap
-  Roofwater/Roofwater Pit
-  Area to be Filled
-  Design Pad Level
-  Retaining Wall
-  Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Timber Acoustic Fence  
(Installed by Developer)

### Notes:

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 26-02-2019.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK

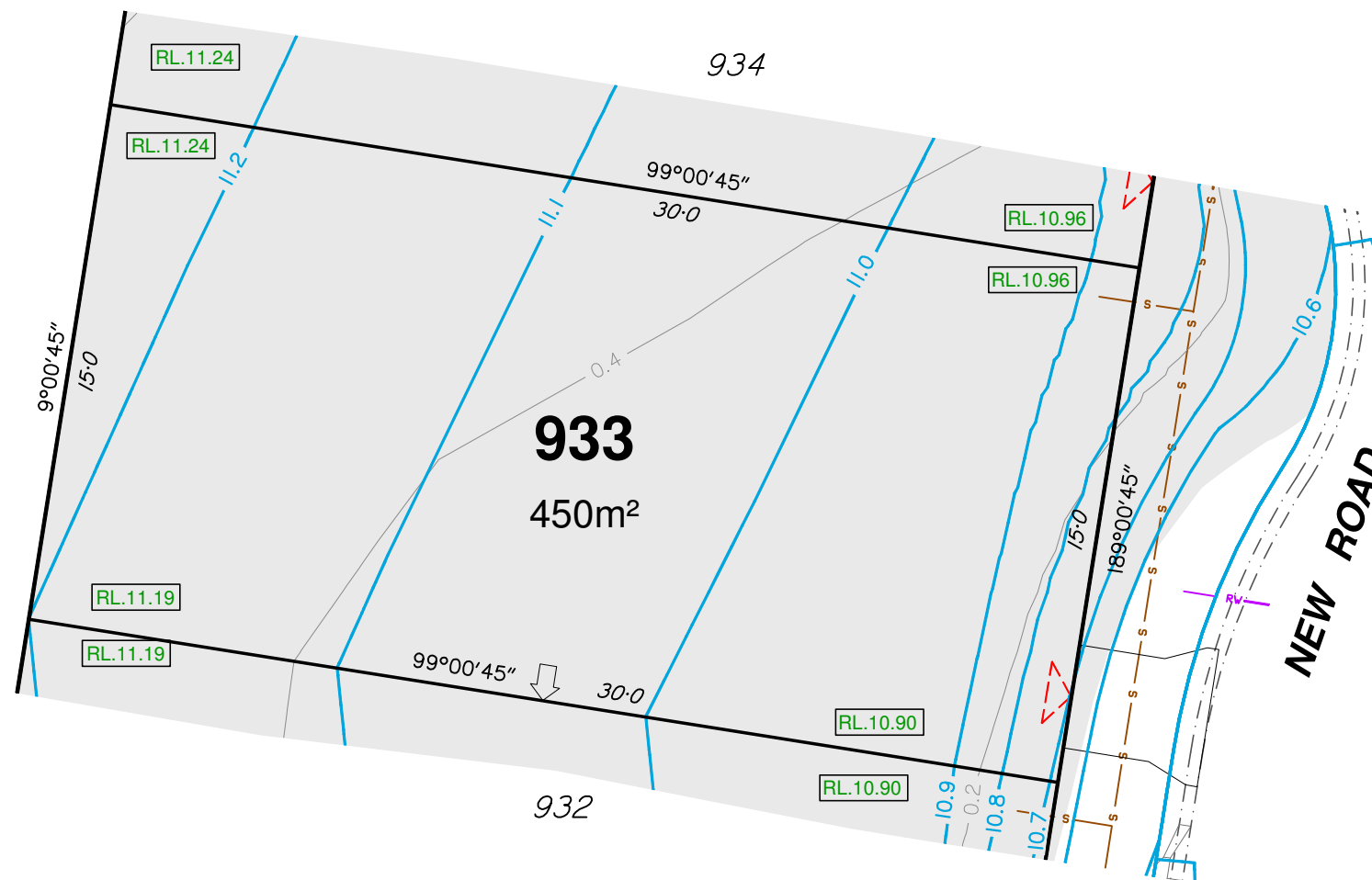


Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN  
MGA  
Scale 1:200 @A3  
LEVEL DATUM  
AHD.

DATE DRAWN 15-08-2019 DRAWING NO. SB3594-13-933 VERSION C

Future Stage



# DISCLOSURE PLAN

For Proposed Lot 934  
Riverbank - Stage 18B

Currently Described As  
RPD: Part of Lot 1012 on SP300993  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional Council

### Legend:

- 46.0 — Finished Surface Contours (0.1m Interval)
- 1.0 — Depth of Fill Contours (0.2m Interval)
- Easement Boundary
- Kerb Line
- Edge of Pad
- s — s — Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole
- Stormwater Gully Trap
- rv — rv — Roofwater/Roofwater Pit
- Area to be Filled
- RL57.32 Design Pad Level
- Retaining Wall
- RW  
ARW Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
- ▾ Proposed Driveway
- ← Zero Lot Line Boundary
- 1.8m High Timber Acoustic Fence  
(Installed by Developer)

### Notes:

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 26-02-2019.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



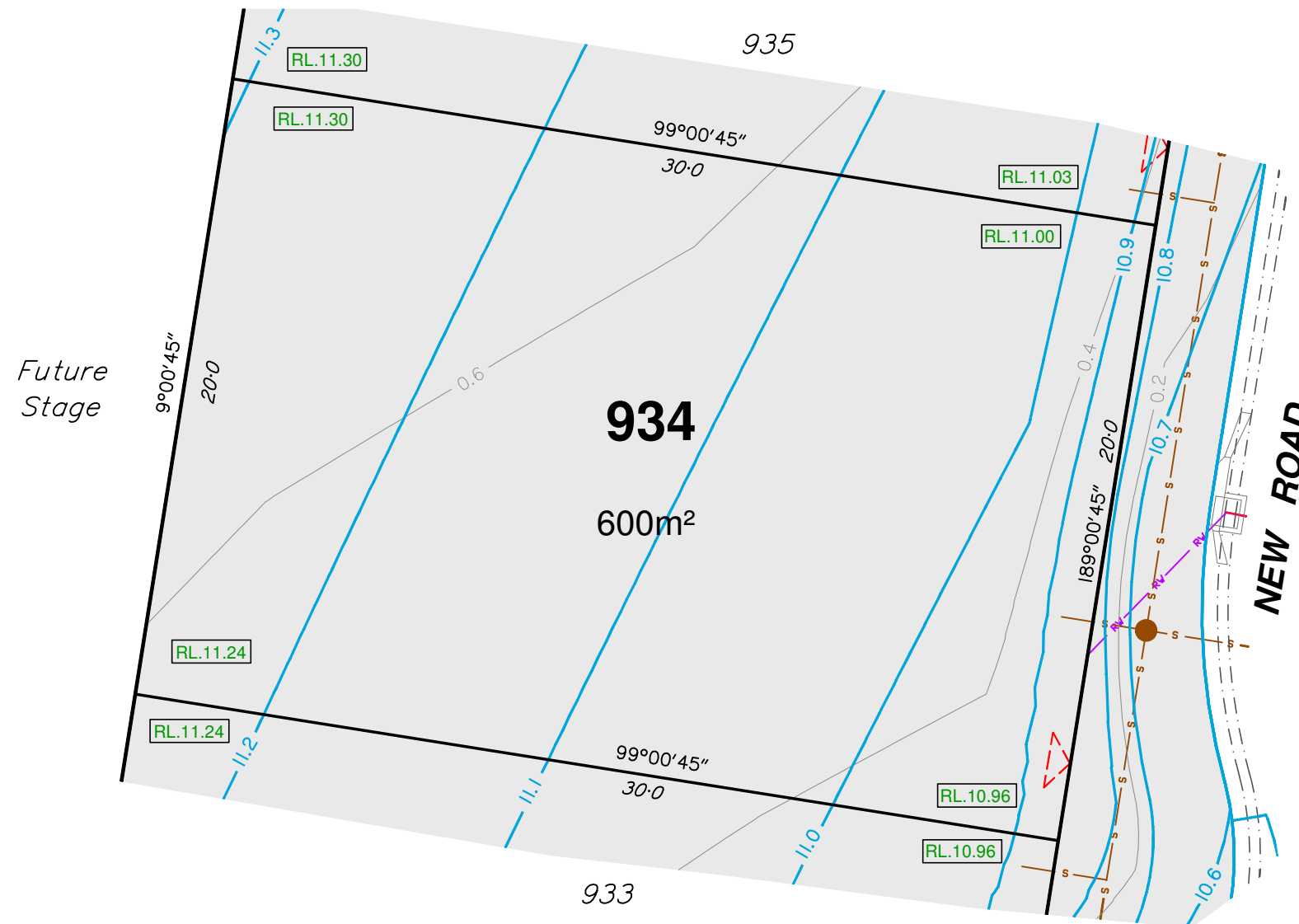
▣ Planning 
 ▣ Urban Design 
 ▣ Landscape 
 ▣ Environment 
 ▣ Surveying

HORIZONTAL MERIDIAN  
MGA

LEVEL DATUM  
AHD.

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 Scale 1:200 @A3

DATE DRAWN 15-08-2019	DRAWING NO. SB3594-13-934	VERSION C
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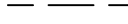












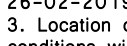


# DISCLOSURE PLAN

For Proposed Lot 935  
Riverbank - Stage 18B

Currently Described As  
RPD: Part of Lot 1012 on SP300993  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional Council

### Legend:

-  46.0 Finished Surface Contours (0.1m Interval)
-  1.0 Depth of Fill Contours (0.2m Interval)
-  Easement Boundary
-  Kerb Line
-  Edge of Pad
-  Sewer/Sewer Manhole
-  Stormwater/Stormwater Manhole
-  Stormwater Gully Trap
-  Roofwater/Roofwater Pit
-  Area to be Filled
-  Design Pad Level
-  Retaining Wall
-  Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowside of the wall)
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Timber Acoustic Fence  
(Installed by Developer)

### Notes:

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 26-02-2019.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



 Planning
  Urban Design
  Landscape
  Environment
  Surveying

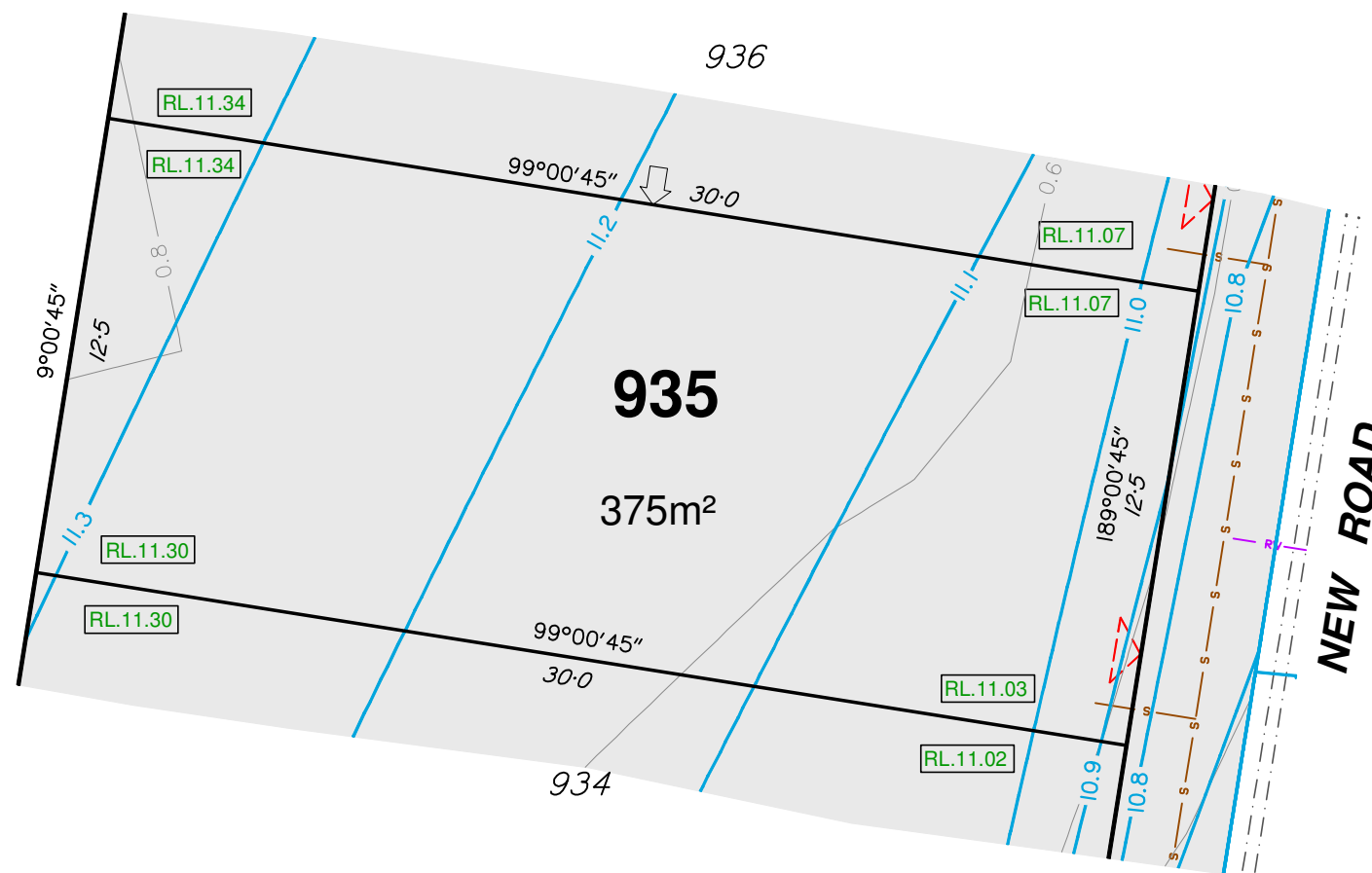
HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 21-06-2019 DRAWING NO. SB3594-13-935 VERSION B

Future Stage



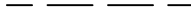












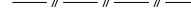


# DISCLOSURE PLAN

For Proposed Lot 936  
Riverbank - Stage 18B

Currently Described As  
RPD: Part of Lot 1012 on SP300993  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional Council

### Legend:

-  46.0 Finished Surface Contours (0.1m Interval)
-  1.0 Depth of Fill Contours (0.2m Interval)
-  Easement Boundary
-  Kerb Line
-  Edge of Pad
-  Sewer/Sewer Manhole
-  Stormwater/Stormwater Manhole
-  Stormwater Gully Trap
-  Roofwater/Roofwater Pit
-  Area to be Filled
-  Design Pad Level
-  Retaining Wall
-  Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowside of the wall)
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Timber Acoustic Fence  
(Installed by Developer)

### Notes:

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 26-02-2019.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
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6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



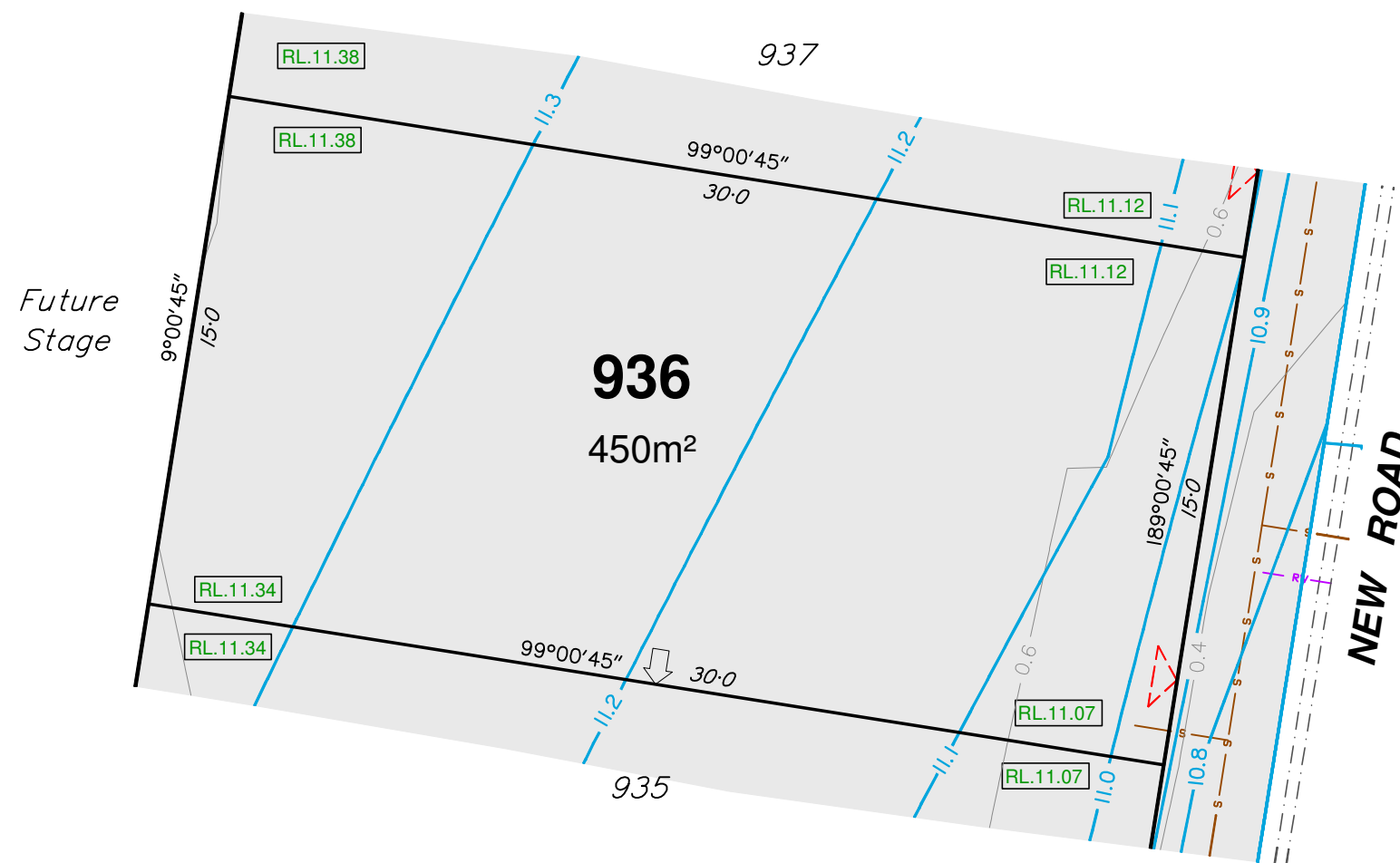
 Planning
  Urban Design
  Landscape
  Environment
  Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 21-06-2019 DRAWING NO. SB3594-13-936 VERSION B



# DISCLOSURE PLAN

For Proposed Lot 937  
Riverbank - Stage 18B

Currently Described As  
RPD: Part of Lot 1012 on SP300993  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
  - 1.0 — Depth of Fill Contours (0.2m Interval)
  - Easement Boundary
  - Kerb Line
  - Edge of Pad
  - s — s — Sewer/Sewer Manhole
  - sv — sv — Stormwater/Stormwater Manhole
  - Stormwater Gully Trap
  - rv — rv — Roofwater/Roofwater Pit
  - Area to be Filled
  - RL.57.32 Design Pad Level
  - Retaining Wall
  - RW  
ARW Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowside of the wall)
  - ▾ Proposed Driveway
  - ← Zero Lot Line Boundary
  - 1.8m High Timber Acoustic Fence  
(Installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
  2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 26-02-2019.
  3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
  4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
  5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
  6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



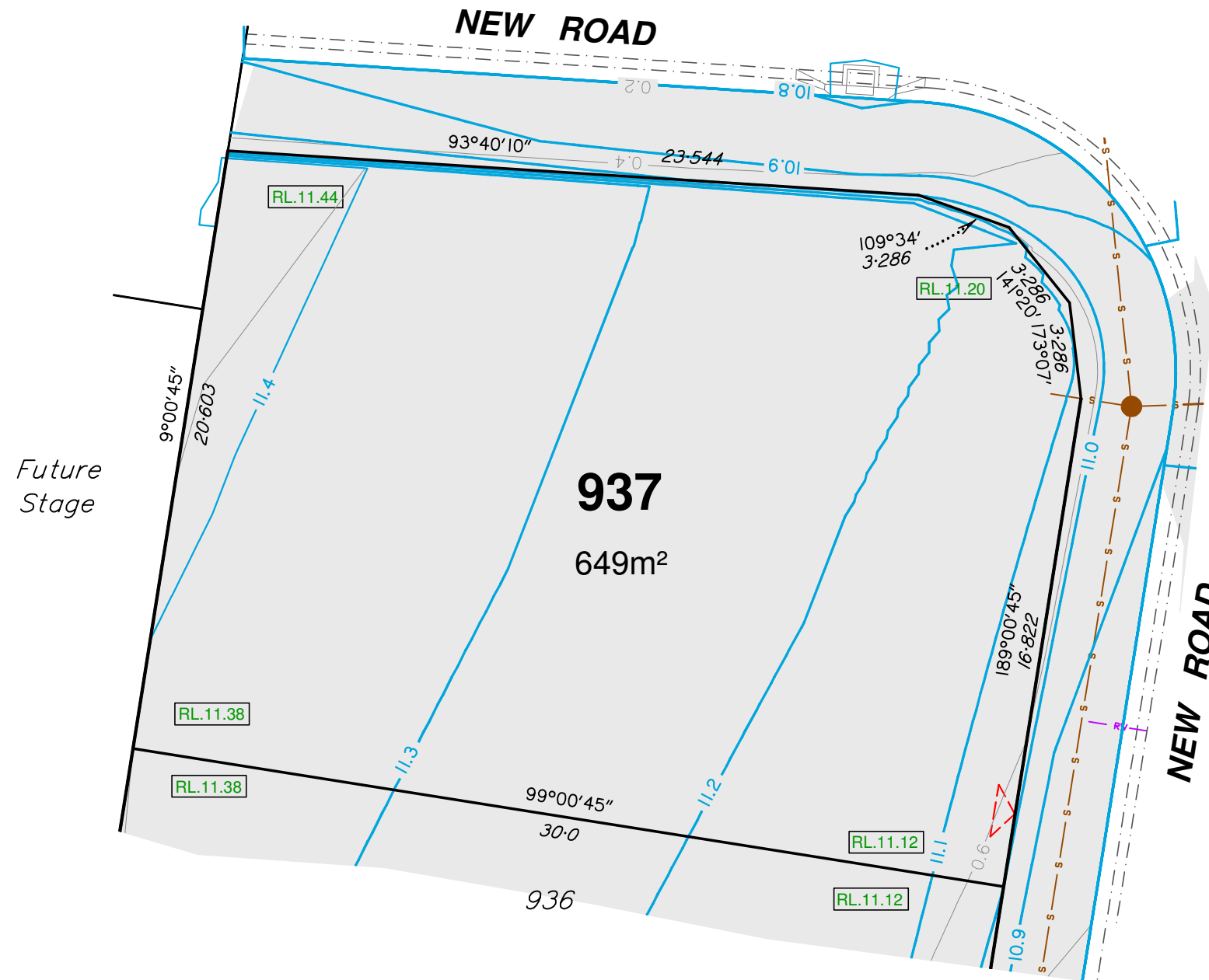
■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 21-06-2019      DRAWING NO. SB3594-13-937      VERSION B



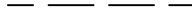












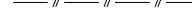


# DISCLOSURE PLAN

For Proposed Lot 938  
Riverbank - Stage 18B

Currently Described As  
RPD: Part of Lot 1012 on SP300993  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional Council

### Legend:

-  46.0 Finished Surface Contours (0.1m Interval)
-  1.0 Depth of Fill Contours (0.2m Interval)
-  Easement Boundary
-  Kerb Line
-  Edge of Pad
-  Sewer/Sewer Manhole
-  Stormwater/Stormwater Manhole
-  Stormwater Gully Trap
-  Roofwater/Roofwater Pit
-  Area to be Filled
-  Design Pad Level
-  Retaining Wall
-  Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
-  Proposed Driveway
-  Zero Lot Line Boundary
-  1.8m High Timber Acoustic Fence  
(Installed by Developer)

### Notes:

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 26-02-2019.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



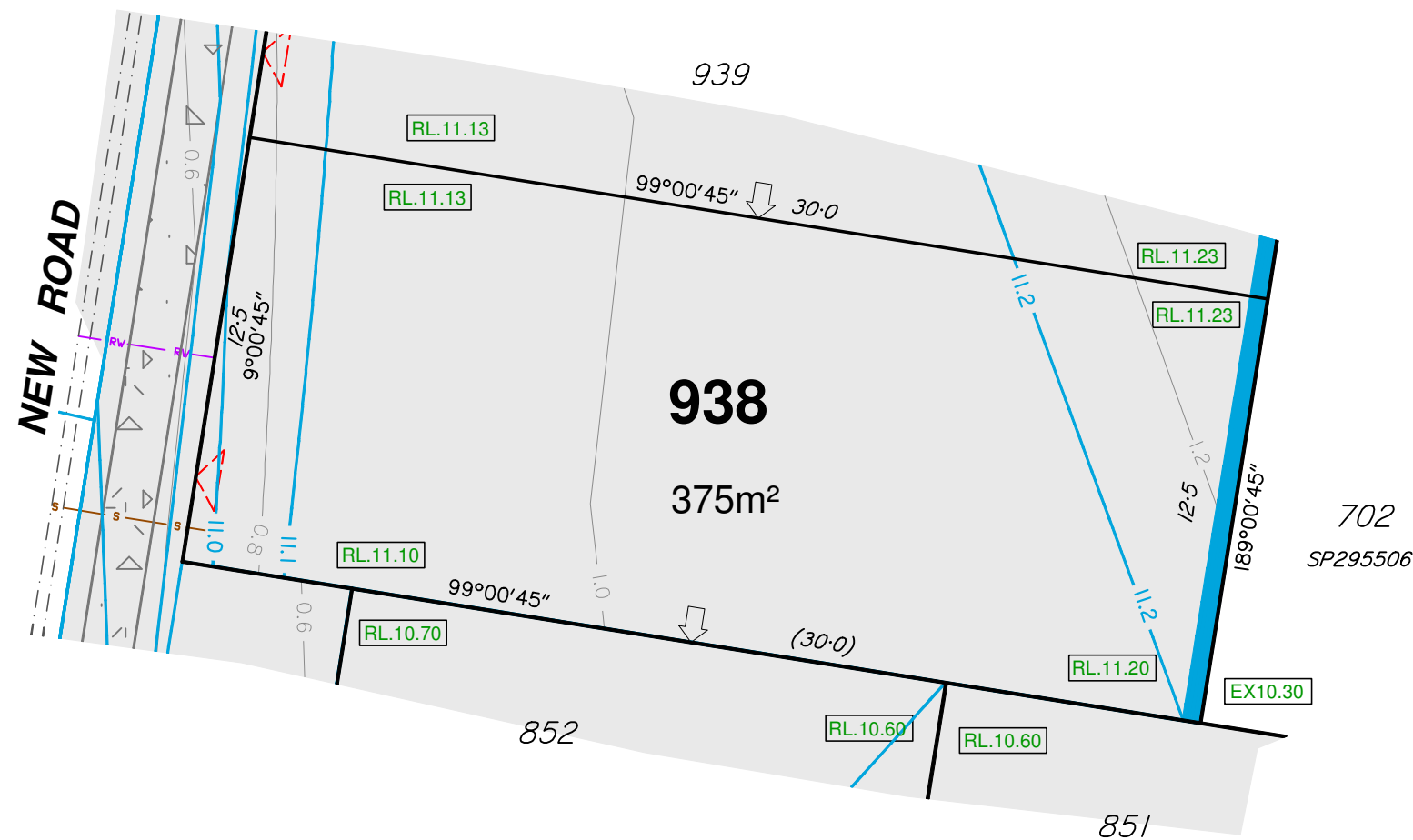
 Planning
  Urban Design
  Landscape
  Environment
  Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 21-06-2019 DRAWING NO. SB3594-13-938 VERSION B



# DISCLOSURE PLAN

For Proposed Lot 939  
Riverbank - Stage 18B

Currently Described As  
RPD: Part of Lot 1012 on SP300993  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional Council

### Legend:

- 46.0 Finished Surface Contours (0.1m Interval)
- 1.0 Depth of Fill Contours (0.2m Interval)
- Easement Boundary
- Kerb Line
- Edge of Pad
- Sewer/Sewer Manhole
- Stormwater/Stormwater Manhole
- Stormwater Gully Trap
- Roofwater/Roofwater Pit
- Area to be Filled
- Design Pad Level
- Retaining Wall
- Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowside of the wall)
- Proposed Driveway
- Zero Lot Line Boundary
- 1.8m High Timber Acoustic Fence  
(Installed by Developer)

### Notes:

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 26-02-2019.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



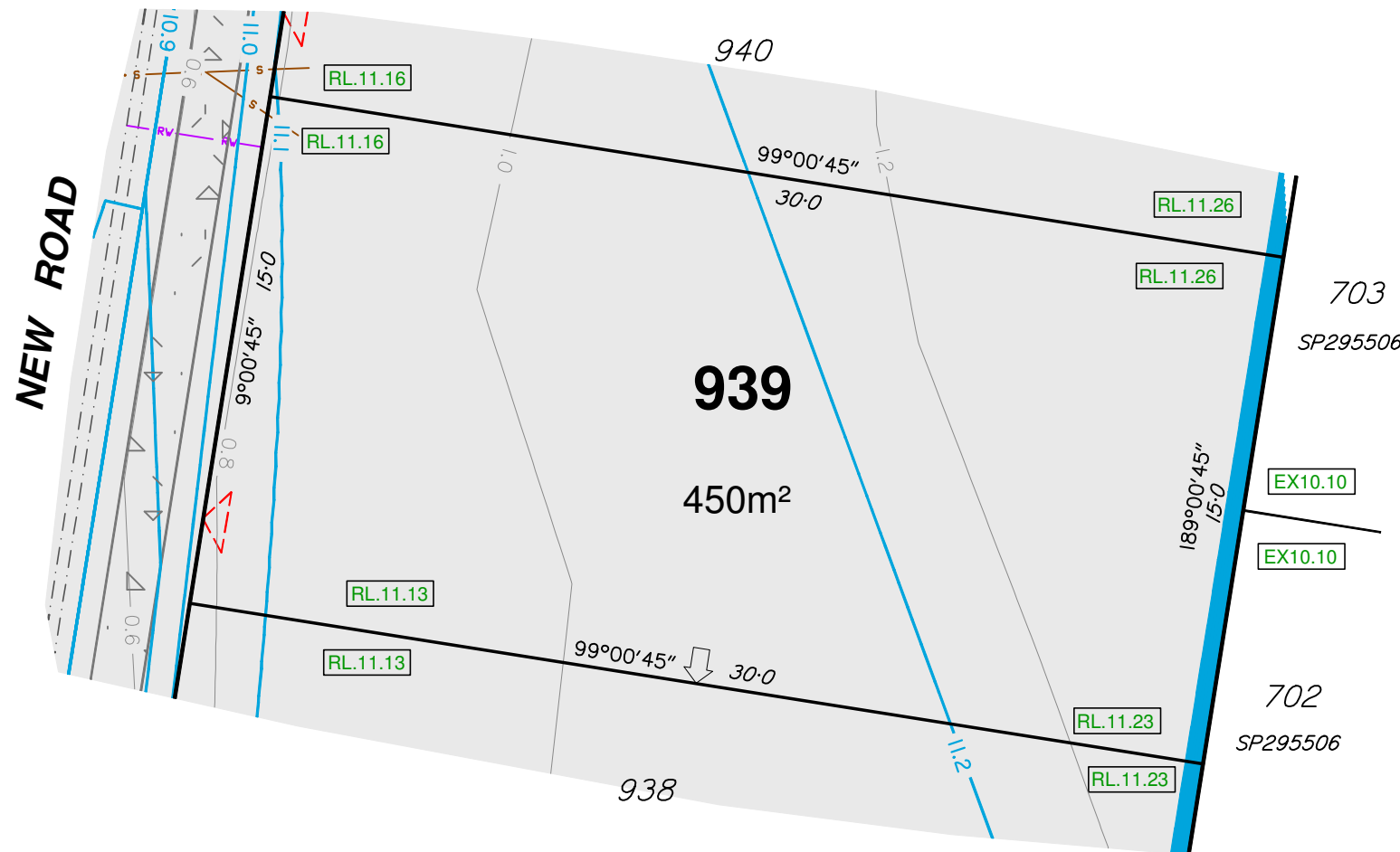
Planning
 Urban Design
 Landscape
 Environment
 Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 21-06-2019 DRAWING NO. SB3594-13-939 VERSION B



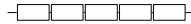




# DISCLOSURE PLAN

For Proposed Lot 940  
Riverbank - Stage 18B

Currently Described As  
RPD: Part of Lot 1012 on SP300993  
Locality: Caboolture South  
Local Authority: Moreton Bay Regional Council

### Legend:

- 46.0 — Finished Surface Contours (0.1m Interval)
- 1.0 — Depth of Fill Contours (0.2m Interval)
- Easement Boundary
- - - - - Kerb Line
- Edge of Pad
- s — s — Sewer/Sewer Manhole
- sv — sv — Stormwater/Stormwater Manhole
-  Stormwater Gully Trap
- rv — rv — Roofwater/Roofwater Pit
-  Area to be Filled
- RL57.32 Design Pad Level
-  Retaining Wall
- RW  
ARW Retaining Wall Height  
Average Retaining Wall Height  
(Retaining Wall Heights shown on the  
lowerside of the wall)
-  Proposed Driveway
-  Zero Lot Line Boundary
- - - - - 1.8m High Timber Acoustic Fence  
(Installed by Developer)

### Notes:

1. This note is an integral part of this plan.
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre on 26-02-2019.
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

# RIVERBANK



■ Planning 
 ■ Urban Design 
 ■ Landscape 
 ■ Environment 
 ■ Surveying

HORIZONTAL MERIDIAN  
MGA

Scale 1:200 @A3

LEVEL DATUM  
AHD.

DATE DRAWN 21-06-2019 DRAWING NO. SB3594-13-940 VERSION B

