

## For Proposed Lot 1 Village Green - Stage 1

Currently Described As Part of Lot 1 on SP288657 Locality: Palmview Local Authority: Sunshine Coast Regional Legend: Finished Surface Contours (0.5m Interval) Depth of Fill Contours (0.1m Interval) Easement Boundary — Kerb Line Sewer/Sewer Manhole Stormwater/Stormwater Manhole → Water/Water Meter Stormwater Gully Trap Roofwater Kerb Adapter Area to be Filled RL57.32 Design Pad Level

> Proposed Driveway Zero Lot Line Boundary 1.8m High Acoustic Fence (Installed by Developer)

N

- This note is an integral part of this plan.
   Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).





Planning Urban Design Candscape Environment A Surveying

HORIZONTAL MERIDIAN MGA LEVEL DATUM Scale 1:200

AHD.

DATE DRAWN 13-08-2019

DRAWING NO. SS3787-02-1



## For Proposed Lot 2 Village Green - Stage 1

Currently Described As Part of Lot 1 on SP288657 Locality: Palmview Local Authority: Sunshine Coast Regional Legend: Finished Surface Contours (0.5m Interval) Depth of Fill Contours (0.1m Interval) Easement Boundary — Kerb Line Sewer/Sewer Manhole Stormwater/Stormwater Manhole → Water/Water Meter Stormwater Gully Trap Roofwater Kerb Adapter Area to be Filled RL57.32 Design Pad Level Proposed Driveway Zero Lot Line Boundary 1.8m High Acoustic Fence (Installed by Developer)

- This note is an integral part of this plan.
   Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



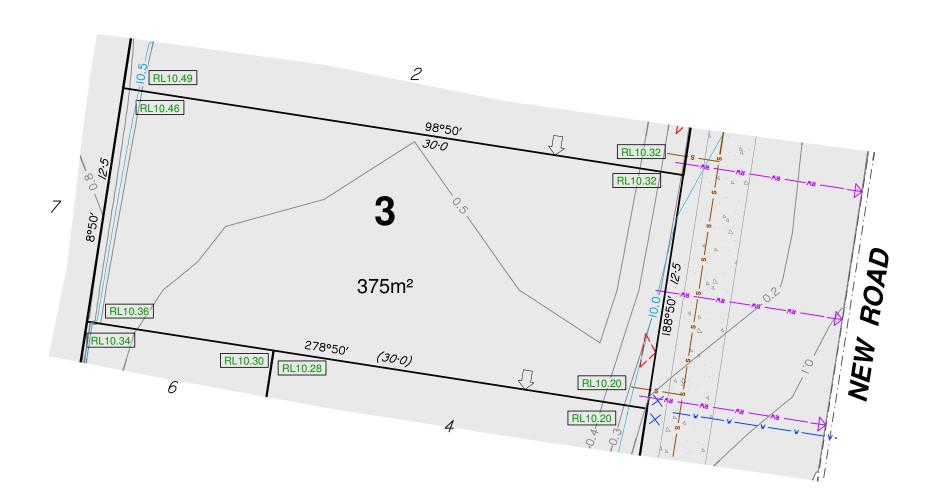


Planning Urban Design Candscape Environment A Surveying

HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM Scale 1:200 AHD.

DATE DRAWN 13-08-2019

DRAWING NO. SS3787-02-2



## For Proposed Lot 3 Village Green - Stage 1

Part of Lot 1 on SP288657 Locality: Palmview Local Authority: Sunshine Coast Regional

Legend:

N

Currently Described As

RL57.32

Finished Surface Contours (0.5m Interval) Depth of Fill Contours (0.1m Interval)

Easement Boundary

Sewer/Sewer Manhole

— Kerb Line

Stormwater/Stormwater Manhole → Water/Water Meter

> Stormwater Gully Trap Roofwater

> > Kerb Adapter

Area to be Filled

Design Pad Level

Proposed Driveway

Zero Lot Line Boundary

1.8m High Acoustic Fence (Installed by Developer)

- This note is an integral part of this plan.
   Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).





Planning Urban Design Candscape Environment A Surveying

HORIZONTAL MERIDIAN MGA ليستلينينا

LEVEL DATUM AHD.

DATE DRAWN 13-08-2019

Scale 1:200

DRAWING NO. SS3787-02-3



## For Proposed Lot 4 Village Green - Stage 1

Currently Described As Part of Lot 1 on SP288657 Locality: Palmview Local Authority: Sunshine Coast Regional

Legend:

N

Finished Surface Contours (0.5m Interval) Depth of Fill Contours (0.1m Interval)

Easement Boundary

— Kerb Line

Sewer/Sewer Manhole Stormwater/Stormwater Manhole

→ Water/Water Meter Stormwater Gully Trap

Roofwater

RL57.32

Kerb Adapter Area to be Filled

Design Pad Level

Proposed Driveway Zero Lot Line Boundary

1.8m High Acoustic Fence (Installed by Developer)

- This note is an integral part of this plan.
   Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).





Planning Urban Design Candscape Environment A Surveying

HORIZONTAL MERIDIAN MGA ليستلينينا

LEVEL DATUM Scale 1:200 @A3 AHD.

DATE DRAWN 13-08-2019

DRAWING NO. SS3787-02-4



## For Proposed Lot 5 Village Green - Stage 1

Currently Described As Part of Lot 1 on SP288657 Locality: Palmview Local Authority: Sunshine Coast Regional

Legend: Finished Surface Contours (0.5m Interval) Depth of Fill Contours (0.1m Interval) - Easement Boundary — Kerb Line Sewer/Sewer Manhole Stormwater/Stormwater Manhole → Water/Water Meter Stormwater Gully Trap Roofwater Kerb Adapter Area to be Filled RL57.32 Design Pad Level Proposed Driveway

N

- This note is an integral part of this plan.
   Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.

Zero Lot Line Boundary 1.8m High Acoustic Fence (Installed by Developer)

- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



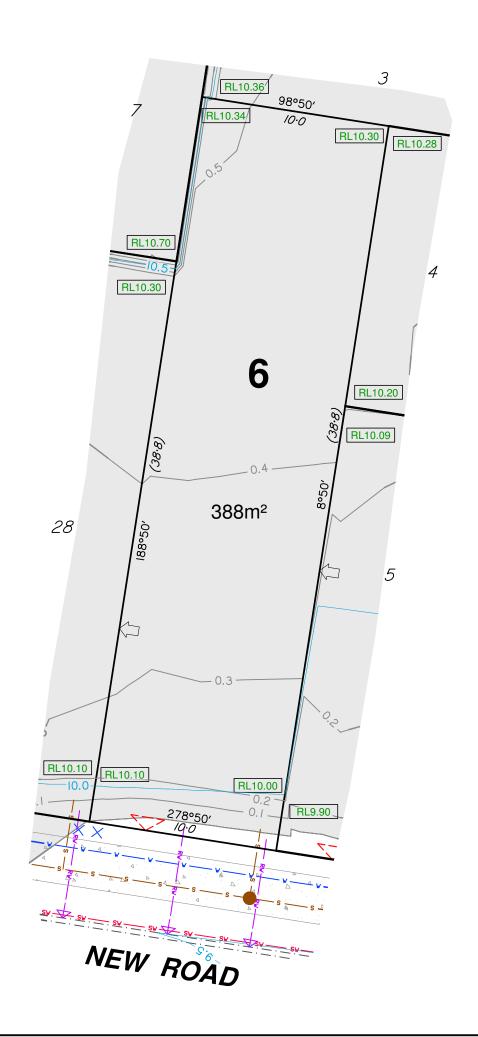


Planning Urban Design Candscape Environment A Surveying

HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM Scale 1:200 AHD.

DATE DRAWN 13-08-2019

DRAWING NO. SS3787-02-5



For Proposed Lot 6 Village Green - Stage 1

Currently Described As RPD: Part of Lot 1 on SP288657 Locality: Palmview Local Authority: Sunshine Coast Regional

Legend:

46.0 Finished Surface Contours (0.5m Interval)

Depth of Fill Contours (0.1m Interval)

Easement Boundary

Kerb Line

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole

Water/Water Meter

Stormwater Gully Trap

Roofwater

Kerb Adapter

Area to be Filled

RL57.32

Design Pad Level

Zero Lot Line Boundary

1.8m High Acoustic Fence (Installed by Developer)

Proposed Driveway

### Notes:

N

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).





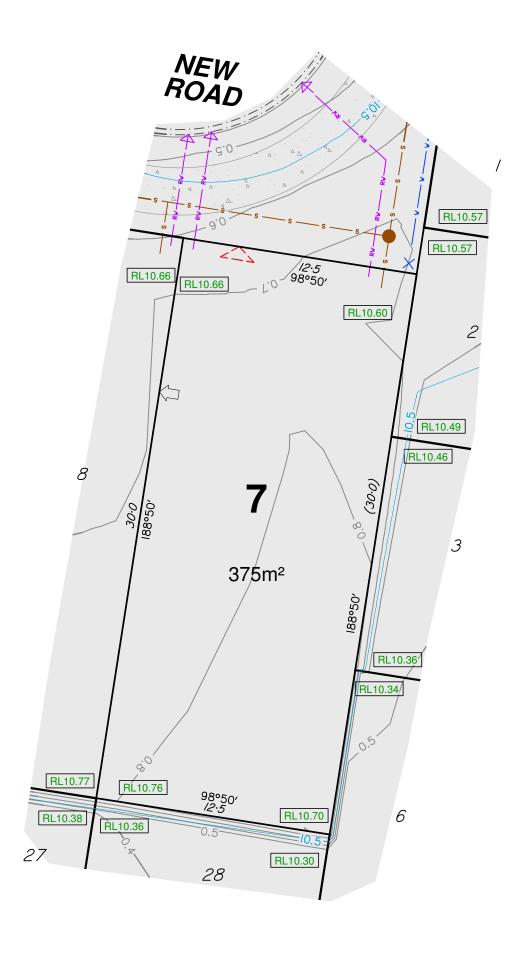
Planning 🕂 Urban Design 🍪 Landscape 💭 Environment 🗥 Surveying

HORIZONTAL MERIDIAN MGA

2 0 2 4
Scale 1:200 @A3 LEVEL DATUM

<sub>@A3</sub> LEVEL DATUM AHD.

DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-6



## For Proposed Lot 7 Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

46.0 Finished Surface Contours (0.5m Interval)

Depth of Fill Contours (0.1m Interval)

Easement Boundary

Kerb Line

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole

Water/Water Meter

Stormwater Gully Trap

Roofwater

Kerb Adapter

Area to be Filled

RL57.32 Design Pad Level

Proposed Driveway

Zero Lot Line Boundary

1.8m High Acoustic Fence
(Installed by Developer)

### Notes:

N

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).





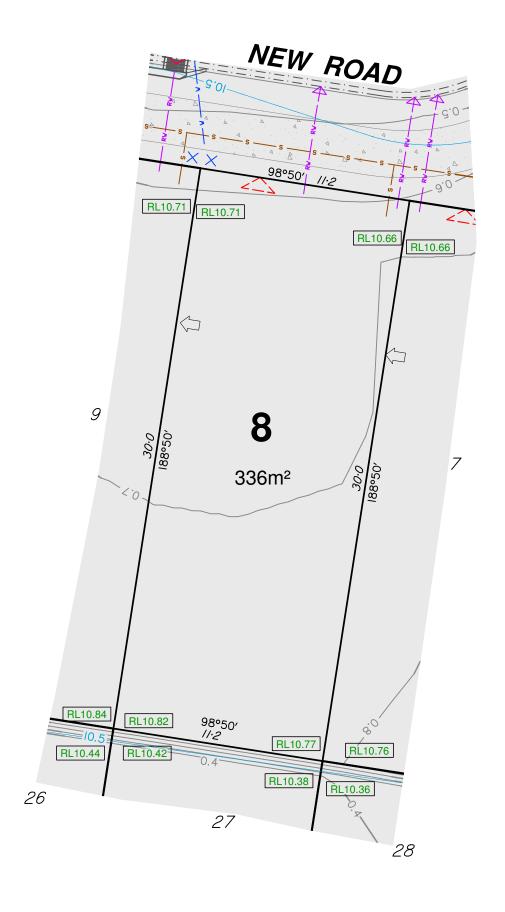
Planning 🕂 Urban Design 🍪 Landscape 💭 Environment 🗥 Surveying

2 0 2 4 Scale 1:200 @A3

LEVEL DATUM AHD.

HORIZONTAL MERIDIAN MGA

DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-7



## For Proposed Lot 8 Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

N

Finished Surface Contours (0.5m Interval)Depth of Fill Contours (0.1m Interval)

Stormwater/Stormwater Manhole

---- Easement Boundary

- Kerb Line

\_\_\_s \_\_\_s Sewer/Sewer Manhole

Water/Water Meter
Stormwater Gully Trap

Roofwater

Kerb Adapter

Area to be Filled

RL57.32

Proposed Driveway

Design Pad Level

Zero Lot Line Boundary

1.8m High Acoustic Fence
(Installed by Developer)

### Notes:

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



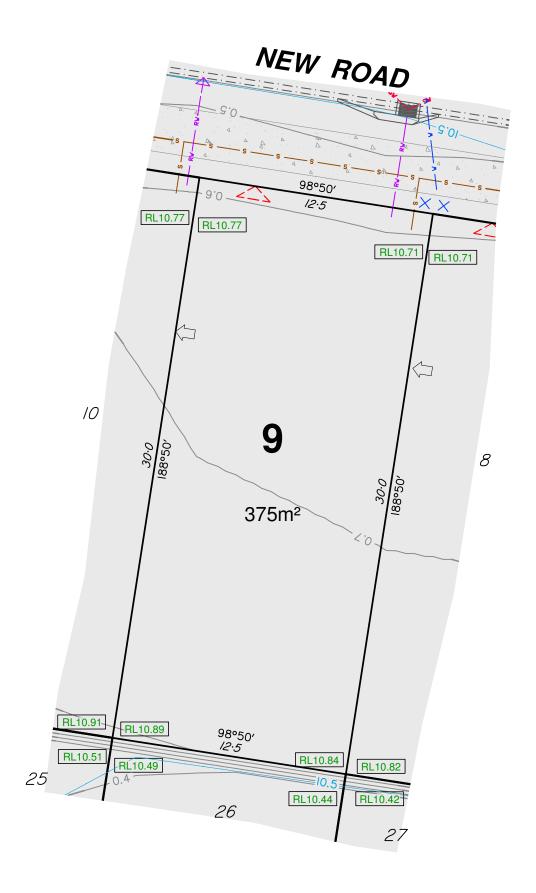


Planning Urban Design Candscape Environment A Surveying

HORIZONTAL MERIDIAN MGA

Scale 1:200 PA3 LEVEL DATUM AHD.

DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-8



## For Proposed Lot 9 Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

### Legend:

N

Finished Surface Contours (0.5m Interval)

Depth of Fill Contours (0.1m Interval)

---- Easement Boundary

— · — · — · Kerb Line

s s Sewer/Sewer Manhole
Stormwater/Stormwater Manhole

Water/Water Meter

Stormwater Gully Trap

RV—RV Roofwater

Kerb Adapter

Area to be Filled

RL57.32 Design Pad Level

Zero Lot Line Boundary

1.8m High Acoustic Fence (Installed by Developer)

Proposed Driveway

### Notes

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).





Planning 🕂 Urban Design 🍪 Landscape 💭 Environment 🗥 Surveying

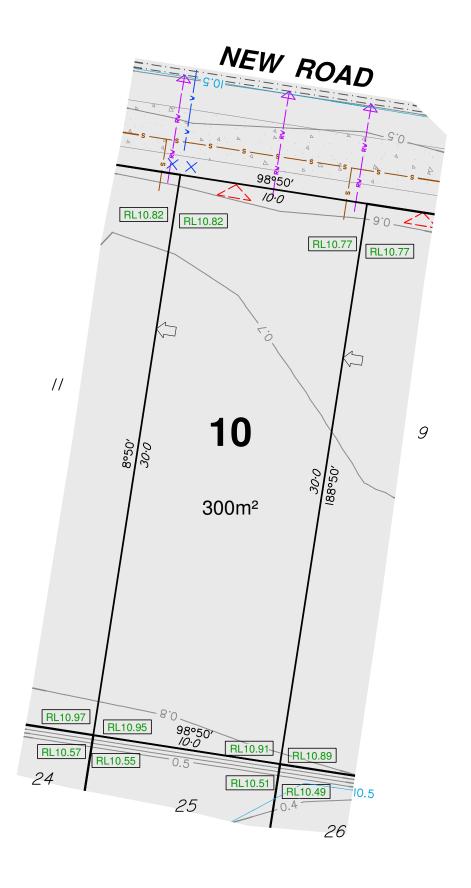
HORIZONTAL MERIDIAN MGA

@A3 LEVEL DATUM AHD.

DATE DRAWN 13-08-2019

Scale 1:200

DRAWING NO. SS3787-02-9



## For Proposed Lot 10 Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

N

Finished Surface Contours (0.5m Interval)Depth of Fill Contours (0.1m Interval)

- — Easement Boundary

— Kerb Line

\_\_ s \_\_\_\_s \_\_\_\_ Sewer/Sewer Manhole
\_\_ sv \_\_\_\_ Sv \_\_\_\_ Stormwater/Stormwater Manhole

Water/Water Meter

Stormwater Gully Trap

Roofwater

Kerb Adapter

Area to be Filled

RL57.32

Design Pad Level

Proposed Driveway

Zero Lot Line Boundary

1.8m High Acoustic Fence (Installed by Developer)

### Notes:

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).





Planning Urban Design Candscape Environment A Surveying

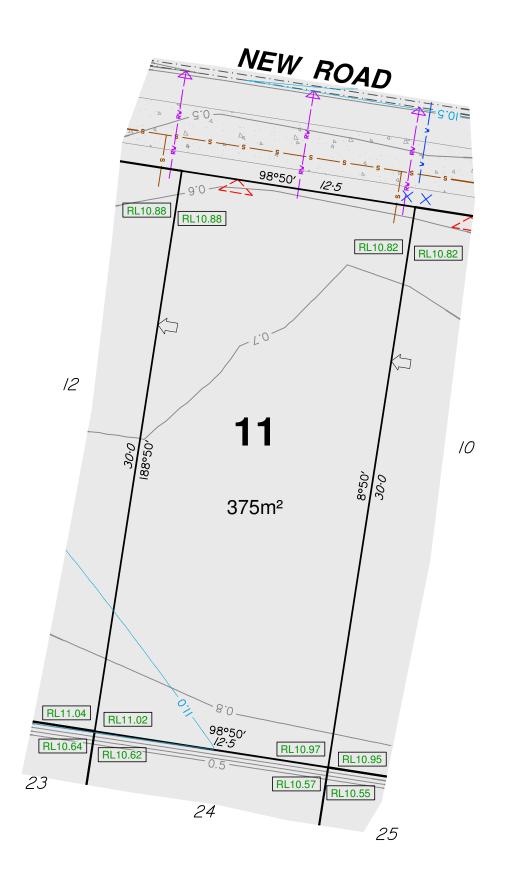
HORIZONTAL MERIDIAN MGA

@A3 LEVEL DATUM AHD.

DATE DRAWN 13-08-2019

Scale 1:200

DRAWING NO. SS3787-02-10



## For Proposed Lot 11 Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Finished Surface Contours (0.5m Interval)

— I.O — Depth of Fill Contours (0.1m Interval)

Legend:

Easement Boundary

Kerb Line

\_\_\_ s \_\_\_\_s \_\_\_\_ Sewer/Sewer Manhole \_\_\_ sv \_\_\_\_ sv \_\_\_\_ Stormwater/Stormwater Manhole

Water/Water Meter

Stormwater Gully Trap

RV RV RV

Kerb Adapter

Area to be Filled

RL57.32

Design Pad Level

Proposed Driveway

Zero Lot Line Boundary

1.8m High Acoustic Fence (Installed by Developer)

### Notes:

N

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

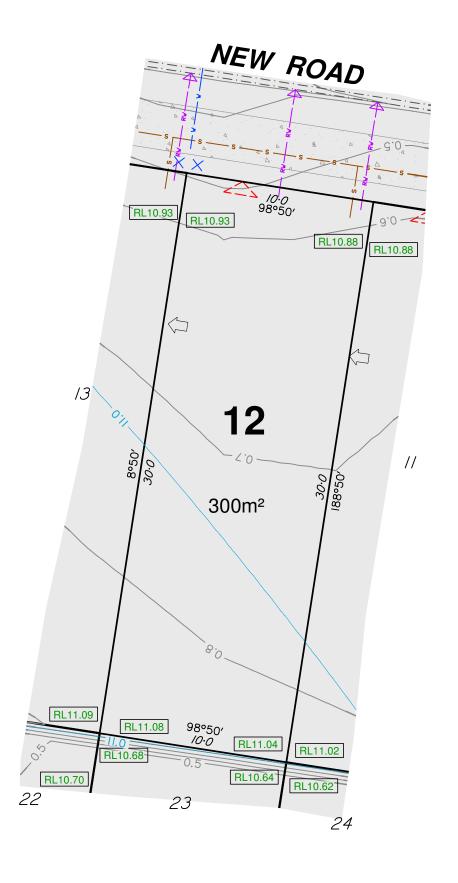




Planning 🕂 Urban Design 🍪 Landscape 💭 Environment 🗥 Surveying

AHD.

DATE DRAWN DRAWING NO. 13-08-2019 SS3787-02-11



## For Proposed Lot 13 Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend: Finished Surface Contours (0.5m Interval) Depth of Fill Contours (0.1m Interval) - Easement Boundary - Kerb Line Sewer/Sewer Manhole Stormwater/Stormwater Manhole Water/Water Meter Stormwater Gully Trap Roofwater Kerb Adapter Area to be Filled RL57.32 Design Pad Level Proposed Driveway Zero Lot Line Boundary

### Notes:

N

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.

1.8m High Acoustic Fence (Installed by Developer)

- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



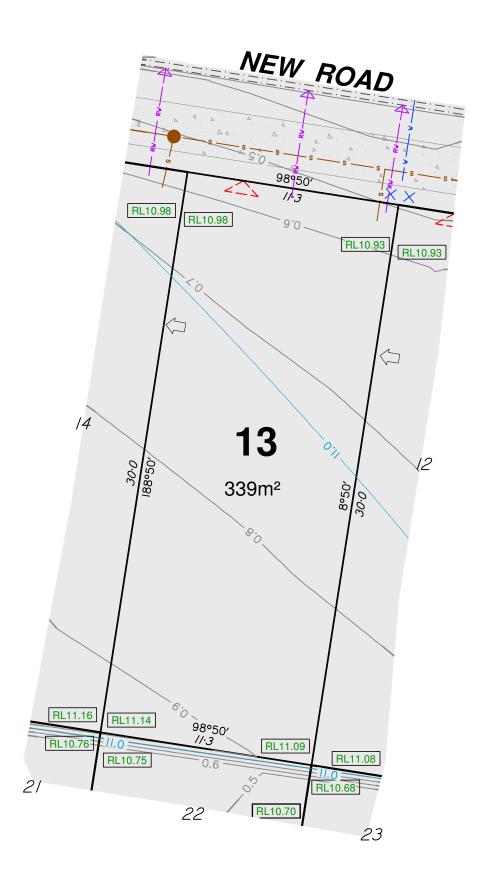


Planning 🗗 Urban Design 🚱 Landscape 💭 Environment 🕂 Surveying

DATE DRAWN 13-08-2019

DRAWING NO. SS3787-02-13 VERSION C

AHD.



## For Proposed Lot 12 Village Green - Stage 1

Currently Described As Part of Lot 1 on SP288657 Locality: Palmview Local Authority: Sunshine Coast Regional

Legend:

N

Finished Surface Contours (0.5m Interval) Depth of Fill Contours (0.1m Interval)

- Easement Boundary

— Kerb Line

Sewer/Sewer Manhole Stormwater/Stormwater Manhole

→ Water/Water Meter Stormwater Gully Trap

Roofwater Kerb Adapter

RL57.32

Area to be Filled

Proposed Driveway

Zero Lot Line Boundary

1.8m High Acoustic Fence (Installed by Developer)

Design Pad Level

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).





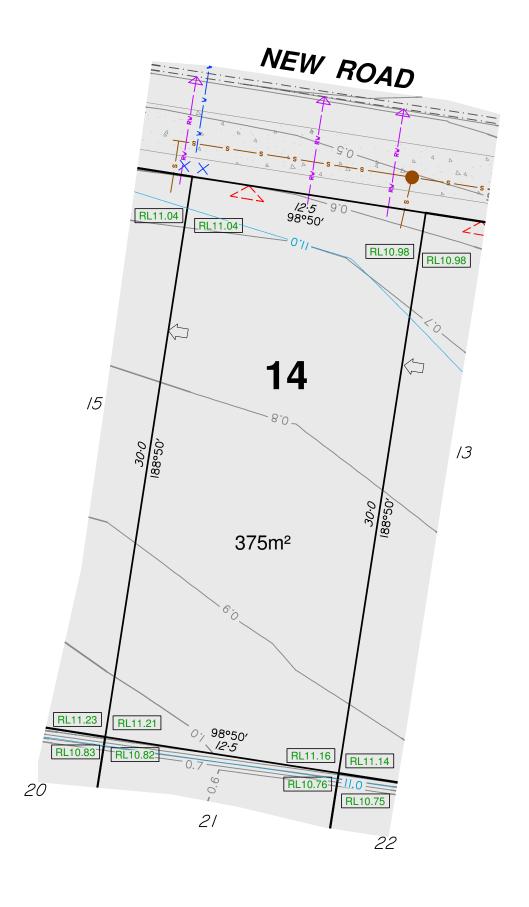
Planning Urban Design Candscape Environment A Surveying

HORIZONTAL MERIDIAN MGA ليستلينينا

LEVEL DATUM Scale 1:200 @A3 AHD.

DATE DRAWN 13-08-2019

DRAWING NO. SS3787-02-12



## For Proposed Lot 14 Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

N

Finished Surface Contours (0.5m Interval)Depth of Fill Contours (0.1m Interval)

— — Easement Boundary

Kerb Line

\_\_\_ s \_\_\_\_\_s \_\_\_\_ Sewer/Sewer Manhole \_\_ sv \_\_\_\_ sv \_\_\_\_ Stormwater/Stormwater Manhole

Water/Water Meter

Stormwater Gully Trap

Roofwater

Kerb Adapter

Area to be Filled

Design Pad Level

Proposed Driveway

Zero Lot Line Boundary

1.8m High Acoustic Fence (Installed by Developer)

### Notes:

RL57.32

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



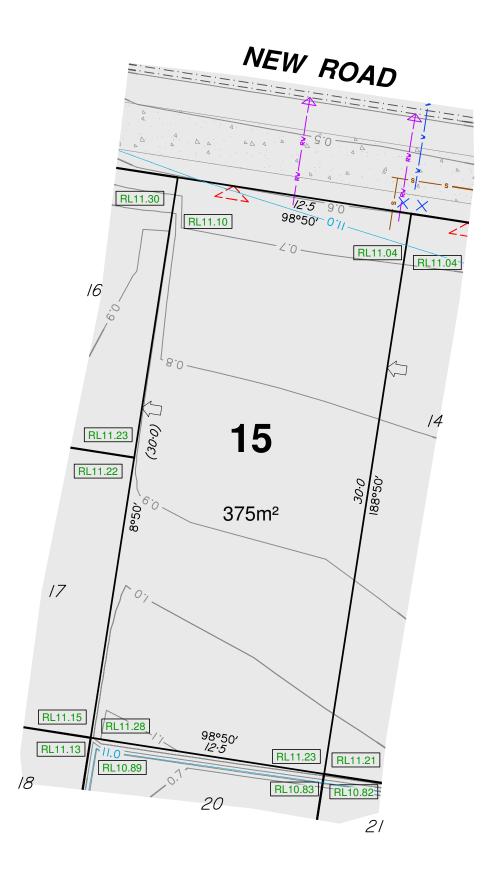


Planning Urban Design Candscape Environment A Surveying

HORIZONTAL MERIDIAN MGA

Scale 1:200 PA3 LEVEL DATUM AHD.

DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-14



### For Proposed Lot 15 Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

N

Finished Surface Contours (0.5m Interval)Depth of Fill Contours (0.1m Interval)

---- Easement Boundary

Kerb Line

s — s — Sewer/Sewer Manhole

sv — Sv — Stormwater/Stormwater Manhole

Water/Water Meter

Stormwater Gully Trap

Roofwater

Kerb Adapter

Area to be Filled

RL57.32 Design Pad Level

Proposed Driveway

Zero Lot Line Boundary

1.8m High Acoustic Fence (Installed by Developer)

### Notes

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).





Planning 🕂 Urban Design 🍪 Landscape 💭 Environment 🕂 Surveying

HORIZONTAL MERIDIAN MGA

Scale 1:200 2 4 LEVEL DATUM AHD.

DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-15



## For Proposed Lot 16 Village Green - Stage 1

Currently Described As Part of Lot 1 on SP288657 Locality: Palmview Local Authority: Sunshine Coast Regional

Legend: Finished Surface Contours (0.5m Interval) Depth of Fill Contours (0.1m Interval) - Easement Boundary — Kerb Line Sewer/Sewer Manhole Stormwater/Stormwater Manhole → Water/Water Meter Stormwater Gully Trap Roofwater Kerb Adapter Area to be Filled RL57.32 Design Pad Level

> Proposed Driveway Zero Lot Line Boundary 1.8m High Acoustic Fence (Installed by Developer)

N

- This note is an integral part of this plan.
   Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



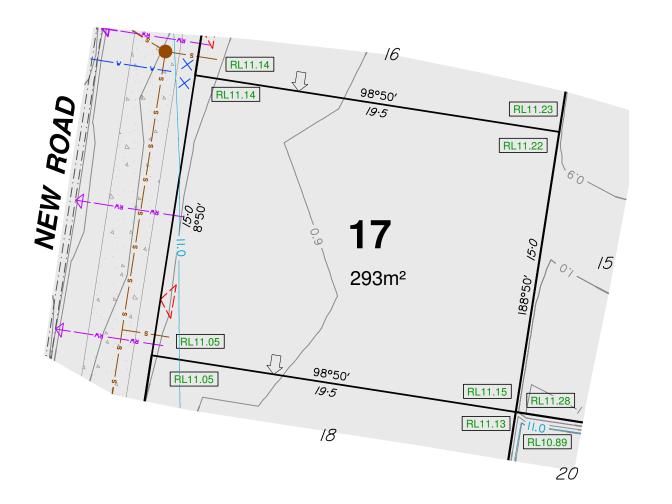


Planning Urban Design Candscape Environment A Surveying

HORIZONTAL MERIDIAN MGA LEVEL DATUM Scale 1:200 @A3

AHD.

DATE DRAWN DRAWING NO. **VERSION** 13-08-2019 SS3787-02-16



## For Proposed Lot 17 Village Green - Stage 1

Currently Described As Part of Lot 1 on SP288657 Locality: Palmview Local Authority: Sunshine Coast Regional Legend: Finished Surface Contours (0.5m Interval) Depth of Fill Contours (0.1m Interval)

Easement Boundary

— Kerb Line Sewer/Sewer Manhole Stormwater/Stormwater Manhole → Water/Water Meter Stormwater Gully Trap

Roofwater Kerb Adapter Area to be Filled

RL57.32 Design Pad Level

Proposed Driveway

Zero Lot Line Boundary 1.8m High Acoustic Fence (Installed by Developer)

N

- This note is an integral part of this plan.
   Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).





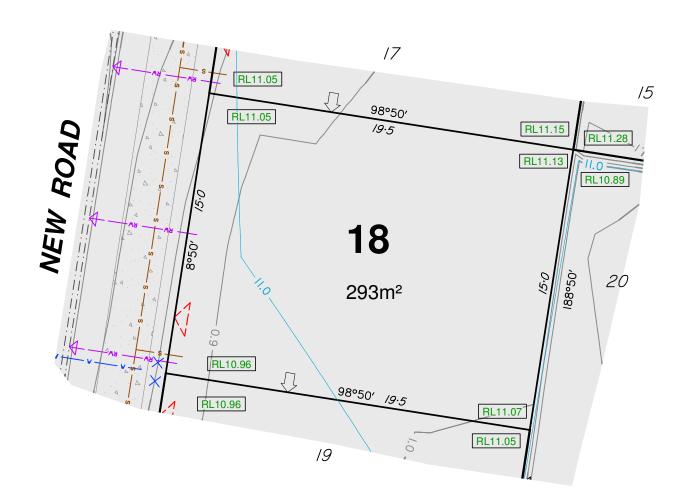
Planning Urban Design Candscape Environment A Surveying

HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM @A3

Scale 1:200 AHD.

DATE DRAWN 13-08-2019

DRAWING NO. SS3787-02-17



### For Proposed Lot 18 Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

46.0 Finished Surface Contours (0.5m Interval)

— 46.0 — Finished Surface Contours (0.5m Interval)

— I.0 — Depth of Fill Contours (0.1m Interval)

— Easement Boundary

Kerb Line

— Sewer/Sewer Manhole

— Stormwater/Stormwater Manhole

— Water/Water Meter

Stormwater Gully Trap

Roofwater

Kerb Adapter

Area to be Filled

Proposed Driveway

Zero Lot Line Boundary

RL57.32

1.8m High Acoustic Fence (Installed by Developer)

Design Pad Level

### Notes:

N

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).





Planning 🗗 Urban Design 🚱 Landscape 💭 Environment 🔥 Surveying

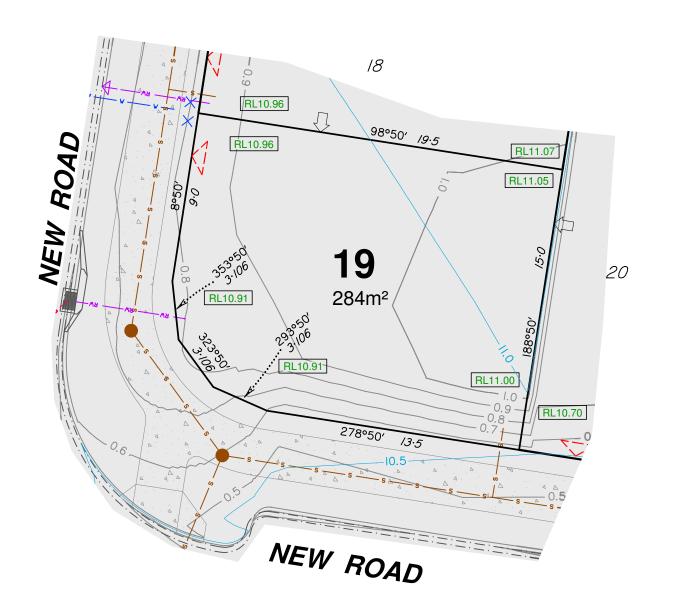
HORIZONTAL MERIDIAN MGA

2 0 2 4
Scale 1:200 @A3 LEVEL DATUM

e 1:200 @A3 LEVEL DATOM AHD.

DATE DRAWN DRAY 13-08-2019 SS3

DRAWING NO. SS3787-02-18



### For Proposed Lot 19 Village Green - Stage 1

Currently Described As Part of Lot 1 on SP288657 Locality: Palmview Local Authority: Sunshine Coast Regional

Legend: Finished Surface Contours (0.5m Interval) Depth of Fill Contours (0.1m Interval) - Easement Boundary — Kerb Line Sewer/Sewer Manhole Stormwater/Stormwater Manhole → Water/Water Meter Stormwater Gully Trap Roofwater Kerb Adapter

Area to be Filled RL57.32 Design Pad Level Proposed Driveway

Zero Lot Line Boundary 1.8m High Acoustic Fence (Installed by Developer)

N

- This note is an integral part of this plan.
   Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



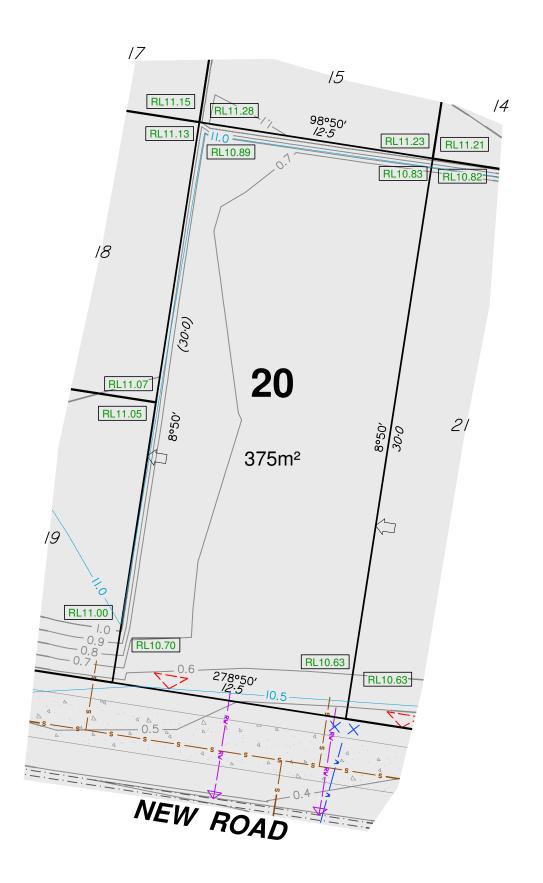


Planning Urban Design Candscape Environment A Surveying

HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM Scale 1:200 AHD.

DATE DRAWN 13-08-2019

DRAWING NO. SS3787-02-19



For Proposed Lot 20 Village Green - Stage 1

Currently Described As Part of Lot 1 on SP288657 Locality: Palmview Local Authority: Sunshine Coast Regional Legend: Finished Surface Contours (0.5m Interval) Depth of Fill Contours (0.1m Interval) - Easement Boundary — Kerb Line Sewer/Sewer Manhole Stormwater/Stormwater Manhole Water/Water Meter Stormwater Gully Trap Roofwater Kerb Adapter Area to be Filled RL57.32 Design Pad Level Proposed Driveway Zero Lot Line Boundary 1.8m High Acoustic Fence (Installed by Developer)

N

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).





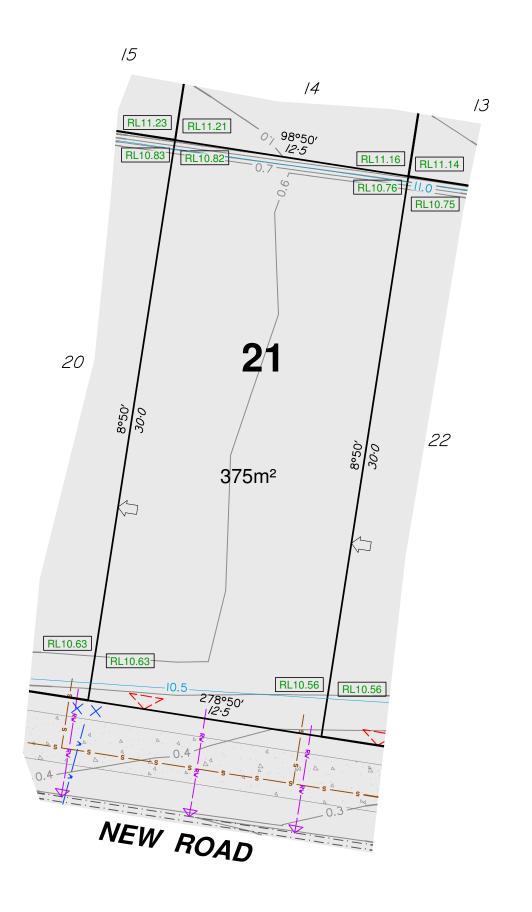
Planning Urban Design Candscape Environment A Surveying

HORIZONTAL MERIDIAN ليستلينينا Scale 1:200 @A3

MGA LEVEL DATUM AHD.

DATE DRAWN 13-08-2019

DRAWING NO. SS3787-02-20



### For Proposed Lot 21 Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

46.0 Finished Surface Contours (0.5m Interval)

1.0 Depth of Fill Contours (0.1m Interval)

Easement Boundary

Kerb Line

Sewer/Sewer Manhole

St Stormwater/Stormwater Manhole

Water/Water Meter

Stormwater Gully Trap

Roofwater

Kerb Adapter

Area to be Filled

RL57.32

Design Pad Level

Zero Lot Line Boundary

1.8m High Acoustic Fence
(Installed by Developer)

Proposed Driveway

### Notes:

Legend:

N

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).





Planning 🕂 Urban Design 🚱 Landscape 💭 Environment 🕂 Surveying

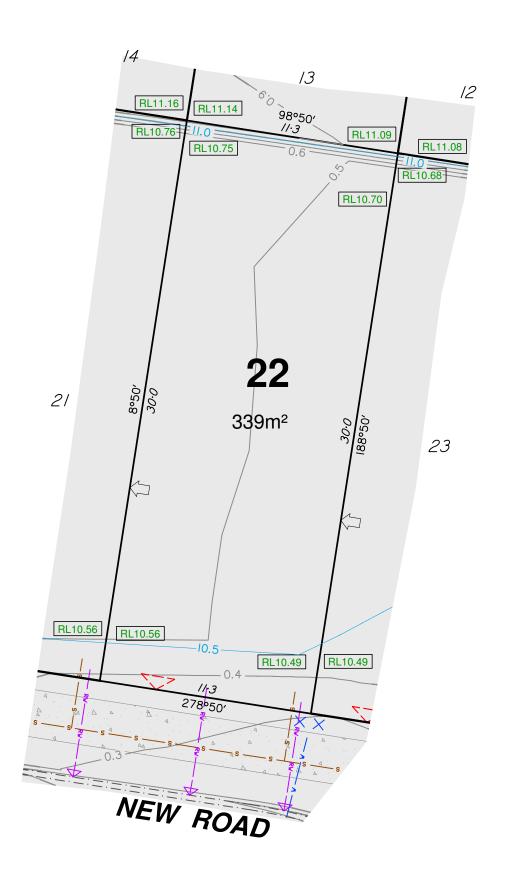
HORIZONTAL MERIDIAN MGA

2 0 2 4
Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 13-08-2019

DRAWING NO. SS3787-02-21



## For Proposed Lot 23 Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

46.0 Finished Surface Contours (0.5m Interval)

Depth of Fill Contours (0.1m Interval)

Easement Boundary

Kerb Line

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole

Water/Water Meter

Stormwater Gully Trap

Roofwater

Kerb Adapter

Area to be Filled

RL57.32

Design Pad Level

Zero Lot Line Boundary

1.8m High Acoustic Fence
(Installed by Developer)

Proposed Driveway

### Notes:

N

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



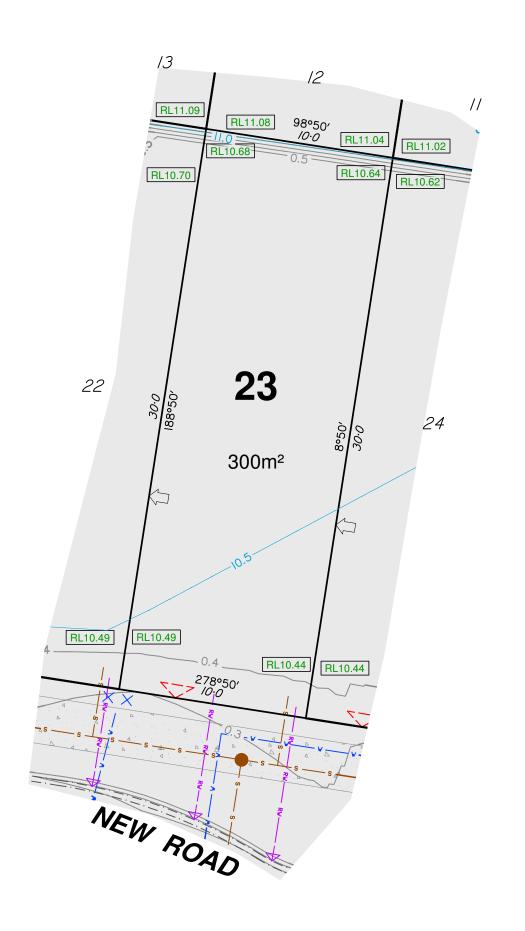


Planning 🕂 Urban Design 🍪 Landscape 💭 Environment 🗥 Surveying

DATE DRAWN 13-08-2019

DRAWING NO. SS3787-02-23 VERSION C

AHD.



## For Proposed Lot 22 Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Easement Boundary

s — s — Sewer/Sewer Manhole — sv — Sv — Stormwater/Stormwater Manhole

Roofwater

Water/Water Meter
Stormwater Gully Trap

Kerb Adapter

Area to be Filled

RL57.32 Design Pad Level
Proposed Driveway

Zero Lot Line Boundary

1.8m High Acoustic Fence
(Installed by Developer)

### Notes:

N

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).





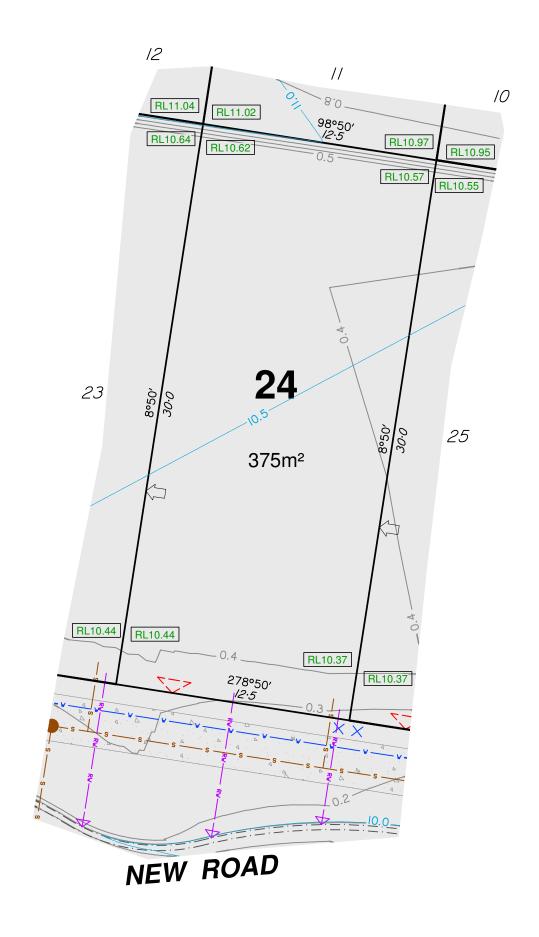
Planning 🕂 Urban Design 🚱 Landscape 💭 Environment 🕂 Surveying

HORIZONTAL MERIDIAN MGA

2 0 2 4
Scale 1:200 @A3
LEVEL DATUM

Scale 1:200 @A3 LEVEL DATUM AHD.

DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-22



For Proposed Lot 24 Village Green - Stage 1

Currently Described As Part of Lot 1 on SP288657 Locality: Palmview Local Authority: Sunshine Coast Regional Legend: Finished Surface Contours (0.5m Interval) Depth of Fill Contours (0.1m Interval) - Easement Boundary — Kerb Line Sewer/Sewer Manhole Stormwater/Stormwater Manhole Water/Water Meter Stormwater Gully Trap Roofwater Kerb Adapter Area to be Filled RL57.32 Design Pad Level Proposed Driveway Zero Lot Line Boundary 1.8m High Acoustic Fence (Installed by Developer)

### Notes:

N

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).





Planning Urban Design Candscape Environment A Surveying

HORIZONTAL MERIDIAN MGA

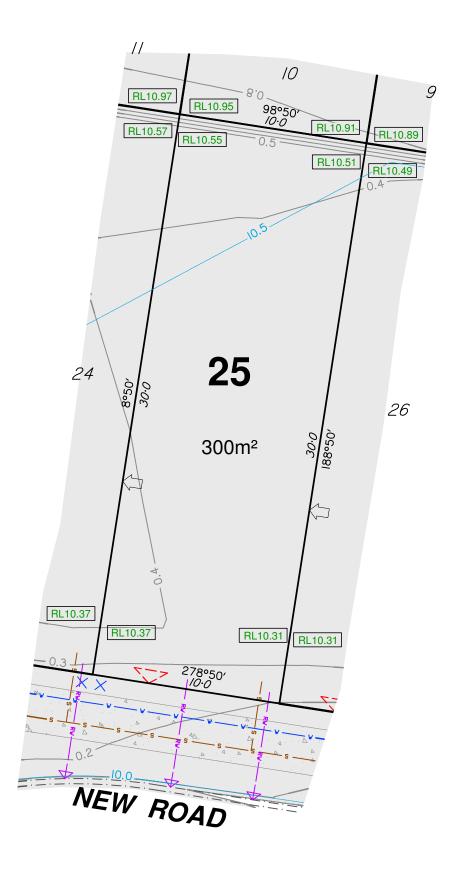
@A3

LEVEL DATUM AHD.

DATE DRAWN 13-08-2019

Scale 1:200

DRAWING NO. SS3787-02-24



For Proposed Lot 25 Village Green - Stage 1

Currently Described As Part of Lot 1 on SP288657 Locality: Palmview Local Authority: Sunshine Coast Regional Legend: Finished Surface Contours (0.5m Interval) Depth of Fill Contours (0.1m Interval) - Easement Boundary — Kerb Line

Sewer/Sewer Manhole Stormwater/Stormwater Manhole Water/Water Meter

Stormwater Gully Trap Roofwater Kerb Adapter

Area to be Filled RL57.32 Design Pad Level

Proposed Driveway Zero Lot Line Boundary

1.8m High Acoustic Fence (Installed by Developer)

N

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).





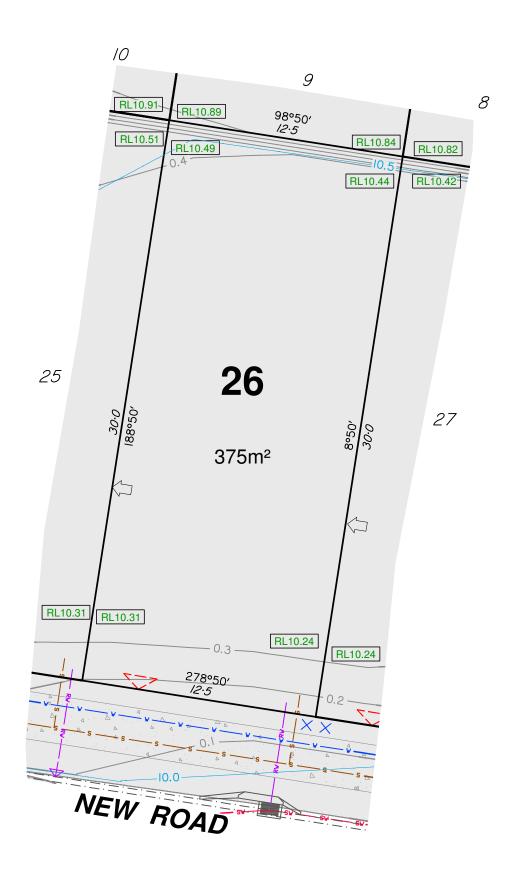
Planning Urban Design Candscape Environment A Surveying

HORIZONTAL MERIDIAN MGA ليستلينينا Scale 1:200

LEVEL DATUM @A3 AHD.

DATE DRAWN 13-08-2019

DRAWING NO. SS3787-02-25



For Proposed Lot 26 Village Green - Stage 1

Currently Described As Part of Lot 1 on SP288657 Locality: Palmview Local Authority: Sunshine Coast Regional Legend: Finished Surface Contours (0.5m Interval) Depth of Fill Contours (0.1m Interval) — Easement Boundary — Kerb Line Sewer/Sewer Manhole Stormwater/Stormwater Manhole Water/Water Meter Stormwater Gully Trap Roofwater Kerb Adapter Area to be Filled RL57.32 Design Pad Level Proposed Driveway Zero Lot Line Boundary

N

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.

1.8m High Acoustic Fence (Installed by Developer)

- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).





Planning Urban Design Candscape Environment A Surveying

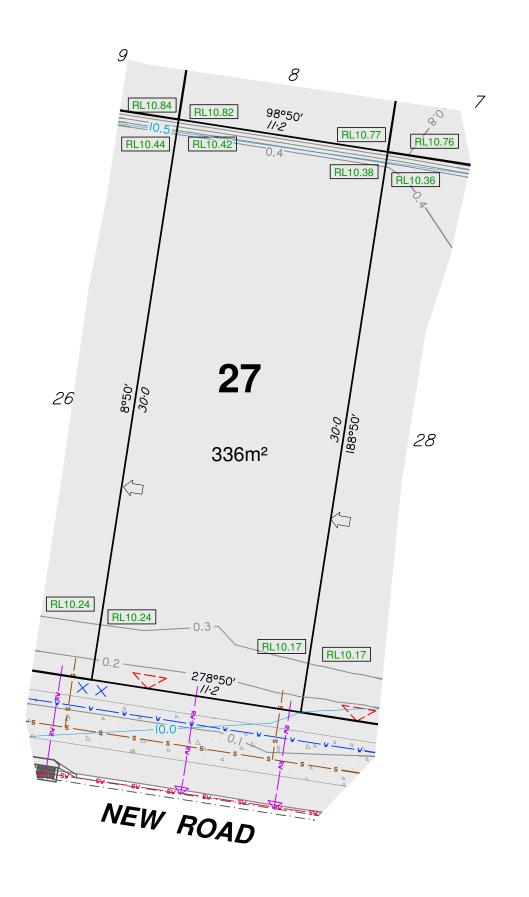
HORIZONTAL MERIDIAN ليستلينينا Scale 1:200 @A3

LEVEL DATUM AHD.

MGA

DATE DRAWN 13-08-2019

DRAWING NO. SS3787-02-26



## For Proposed Lot 27 Village Green - Stage 1

Currently Described As Part of Lot 1 on SP288657 Locality: Palmview Local Authority: Sunshine Coast Regional

Legend:

N

Finished Surface Contours (0.5m Interval) Depth of Fill Contours (0.1m Interval)

Easement Boundary

— Kerb Line Sewer/Sewer Manhole

Stormwater/Stormwater Manhole → Water/Water Meter

Roofwater

Kerb Adapter Area to be Filled

Design Pad Level

Stormwater Gully Trap

Proposed Driveway

Zero Lot Line Boundary

1.8m High Acoustic Fence (Installed by Developer)

RL57.32

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).





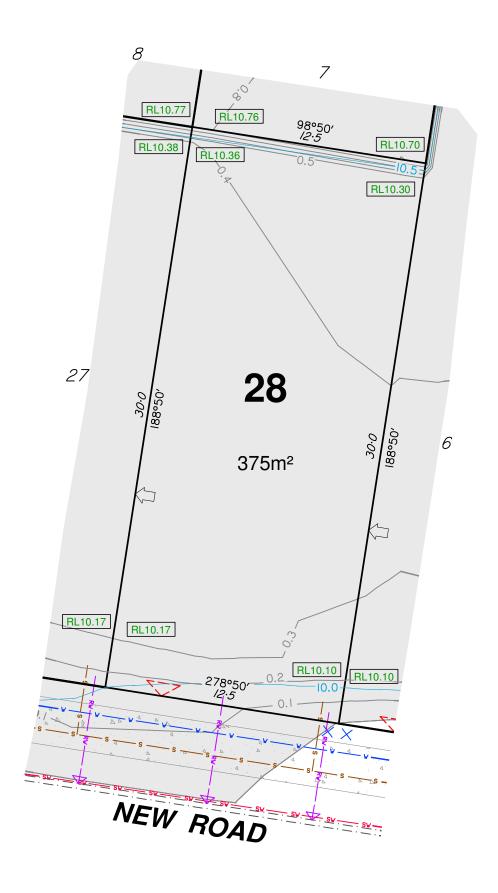
Planning Urban Design Candscape Environment A Surveying

HORIZONTAL MERIDIAN MGA ليستلينينا

LEVEL DATUM Scale 1:200 @A3 AHD.

DATE DRAWN 13-08-2019

DRAWING NO. SS3787-02-27



## For Proposed Lot 28 Village Green - Stage 1

Currently Described As RPD: Part of Lot 1 on SP288657 Locality: Palmview Local Authority: Sunshine Coast Regional

Legend:

RL57.32

N

Finished Surface Contours (0.5m Interval)Depth of Fill Contours (0.1m Interval)

—— — Easement Boundary

- Kerb Line

s — s — Sewer/Sewer Manhole

Stormwater/Stormwater Manhole

Water/Water Meter

Stormwater Gully Trap

Rv—— Roofwater

Area to be Filled

Kerb Adapter

Design Pad Level

Proposed Driveway

Zero Lot Line Boundary

1.8m High Acoustic Fence (Installed by Developer)

### Notes:

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).





Planning 🕂 Urban Design 🚱 Landscape 💭 Environment 🗥 Surveying

HORIZONTAL MERIDIAN MGA

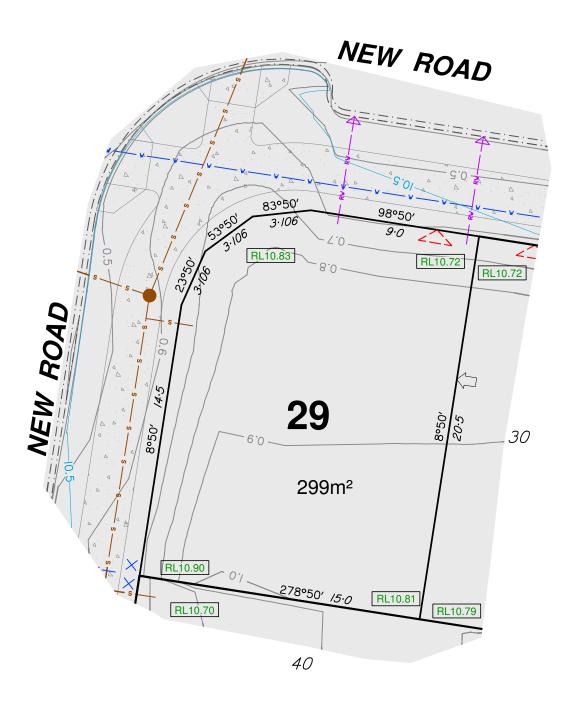
@A3 LEVEL DATUM AHD.

DATE DRAWN 13-08-2019

Scale 1:200

DRAWING NO. SS3787-02-28

NO. VERSION 28 C



For Proposed Lot 29 Village Green - Stage 1

Currently Described As Part of Lot 1 on SP288657 Locality: Palmview Local Authority: Sunshine Coast Regional Legend: Finished Surface Contours (0.5m Interval) Depth of Fill Contours (0.1m Interval) - Easement Boundary - Kerb Line Sewer/Sewer Manhole Stormwater/Stormwater Manhole Water/Water Meter Stormwater Gully Trap Roofwater Kerb Adapter Area to be Filled RL57.32 Design Pad Level Proposed Driveway Zero Lot Line Boundary

N

- This note is an integral part of this plan.
   Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.

1.8m High Acoustic Fence (Installed by Developer)

- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).





Planning Urban Design Candscape Environment A Surveying

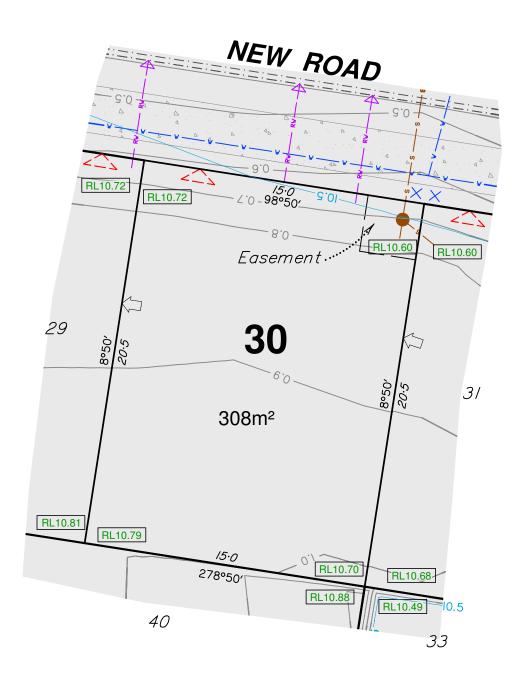
HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM Scale 1:200 @A3

DATE DRAWN 13-08-2019

DRAWING NO. SS3787-02-29

**VERSION** C

AHD.



## For Proposed Lot 30 Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

N

Finished Surface Contours (0.5m Interval)Depth of Fill Contours (0.1m Interval)

- - Easement Boundary

Luccinicht Boul

s — s — Kerb Line

Sewer/Sewer Manhole

sv sv Stormwater/Stormwater Manhole

V Water/Water Meter

Stormwater Gully Trap

Roofwater

Kerb Adapter

Area to be Filled

RL57.32 Design Pad Level

Proposed Driveway

Zero Lot Line Boundary

1.8m High Acoustic Fence (Installed by Developer)

### Notes:

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).





Planning 🕂 Urban Design 🍪 Landscape 💭 Environment 🕂 Surveying

HORIZONTAL MERIDIAN MGA

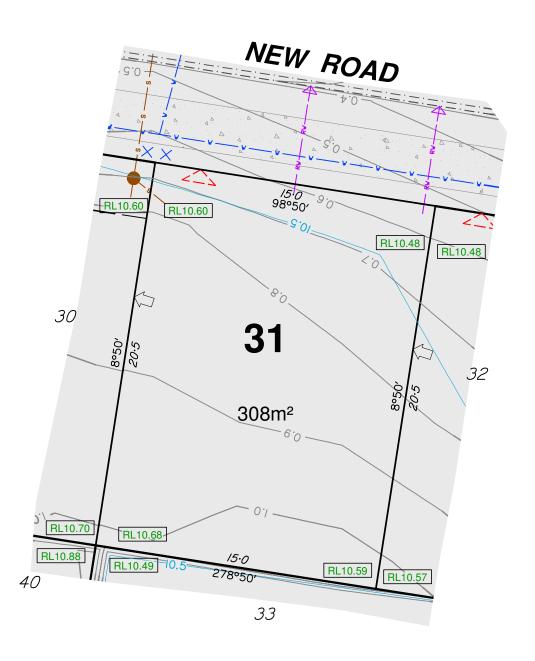
©A3 LEVEL DATUM AHD.

DATE DRAWN 13-08-2019

Scale 1:200

DRAWING NO. SS3787-02-30

NO. VERSION 30 C



## For Proposed Lot 31 Village Green - Stage 1

Currently Described As Part of Lot 1 on SP288657 Locality: Palmview Local Authority: Sunshine Coast Regional Legend: Finished Surface Contours (0.5m Interval) Depth of Fill Contours (0.1m Interval) - Easement Boundary — Kerb Line Sewer/Sewer Manhole Stormwater/Stormwater Manhole → Water/Water Meter Stormwater Gully Trap Roofwater Kerb Adapter Area to be Filled RL57.32 Design Pad Level Proposed Driveway Zero Lot Line Boundary 1.8m High Acoustic Fence (Installed by Developer)

### Notes:

N

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

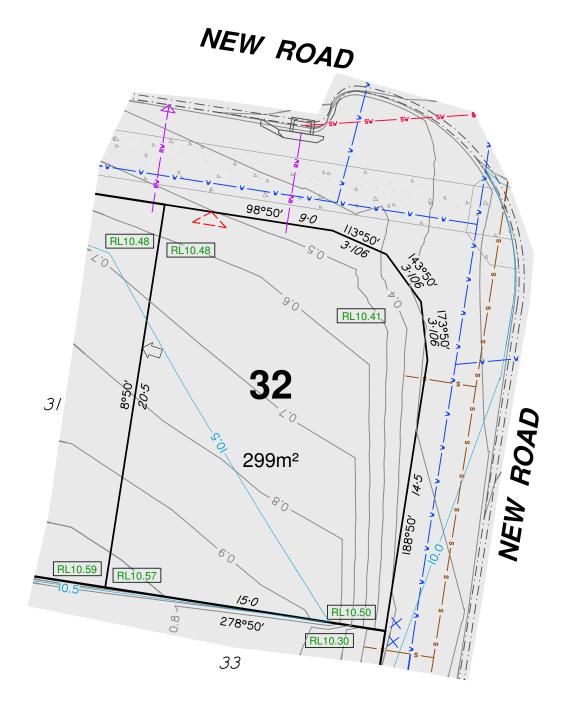




Planning Urban Design Candscape Environment A Surveying

DATE DRAWN DRAWING NO. V

DATE DRAWN DRAWING NO 13-08-2019 SS3787-02-31



## For Proposed Lot 32 Village Green - Stage 1

Part of Lot 1 on SP288657 Locality: Palmview Local Authority: Sunshine Coast Regional

Legend:

N

Currently Described As

Finished Surface Contours (0.5m Interval) Depth of Fill Contours (0.1m Interval)

Easement Boundary

— Kerb Line

Sewer/Sewer Manhole Stormwater/Stormwater Manhole

Water/Water Meter Stormwater Gully Trap

Roofwater

Kerb Adapter Area to be Filled

RL57.32 Design Pad Level Proposed Driveway

Zero Lot Line Boundary

1.8m High Acoustic Fence (Installed by Developer)

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).





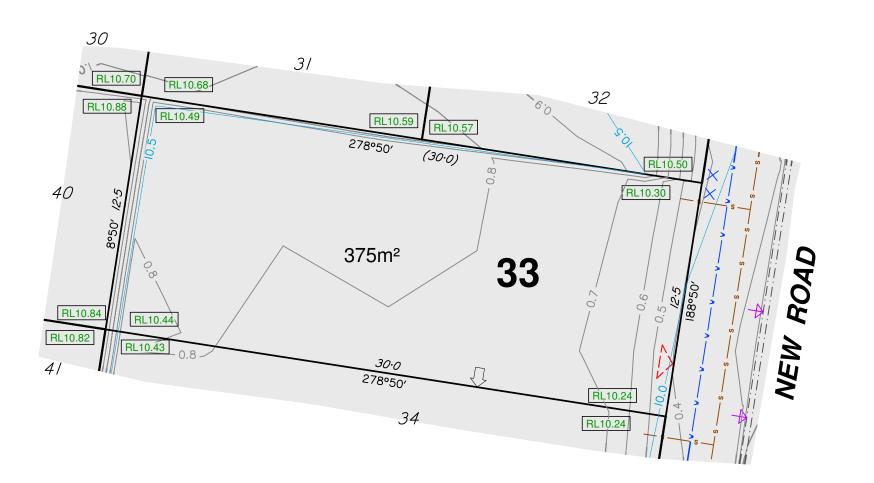
Planning Urban Design Candscape Environment A Surveying

HORIZONTAL MERIDIAN MGA ليستلينينا Scale 1:200

LEVEL DATUM AHD.

DATE DRAWN 13-08-2019

DRAWING NO. SS3787-02-32



## For Proposed Lot 33 Village Green - Stage 1

Currently Described As Part of Lot 1 on SP288657 Locality: Palmview Local Authority: Sunshine Coast Regional Legend: Finished Surface Contours (0.5m Interval) Depth of Fill Contours (0.1m Interval) - Easement Boundary — Kerb Line Sewer/Sewer Manhole Stormwater/Stormwater Manhole → Water/Water Meter Stormwater Gully Trap Roofwater Kerb Adapter Area to be Filled RL57.32 Design Pad Level Proposed Driveway

N

- This note is an integral part of this plan.
   Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.

Zero Lot Line Boundary 1.8m High Acoustic Fence (Installed by Developer)

- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).





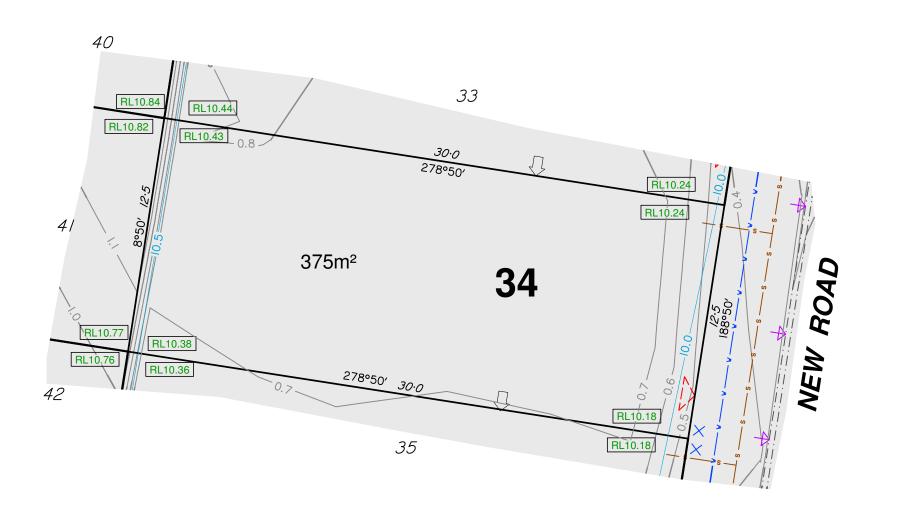
Planning Urban Design Candscape Environment A Surveying

HORIZONTAL MERIDIAN MGA ليستلينينا Scale 1:200 @A3

LEVEL DATUM AHD.

DATE DRAWN 13-08-2019

DRAWING NO. SS3787-02-33



## For Proposed Lot 34 Village Green - Stage 1

Currently Described As Part of Lot 1 on SP288657 Locality: Palmview Local Authority: Sunshine Coast Regional

Finished Surface Contours (0.5m Interval) Depth of Fill Contours (0.1m Interval) Easement Boundary — Kerb Line Sewer/Sewer Manhole

Stormwater/Stormwater Manhole → Water/Water Meter Stormwater Gully Trap Roofwater

Kerb Adapter

Area to be Filled RL57.32 Design Pad Level

Proposed Driveway Zero Lot Line Boundary

1.8m High Acoustic Fence (Installed by Developer)

Legend:

N

- This note is an integral part of this plan.
   Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



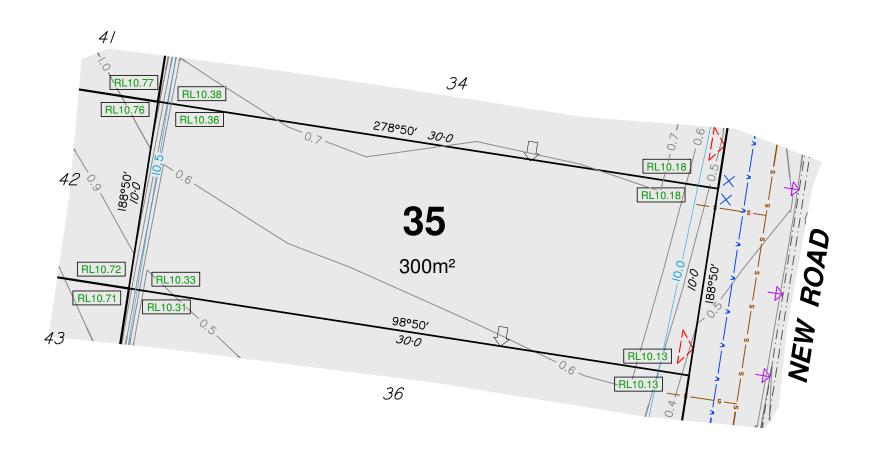


Planning Urban Design Candscape Environment A Surveying

HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM Scale 1:200 @A3 AHD.

DATE DRAWN 13-08-2019

DRAWING NO. SS3787-02-34



## For Proposed Lot 35 Village Green - Stage 1

Currently Described As Part of Lot 1 on SP288657 Locality: Palmview Local Authority: Sunshine Coast Regional Legend:

Finished Surface Contours (0.5m Interval) Depth of Fill Contours (0.1m Interval) Easement Boundary — Kerb Line Sewer/Sewer Manhole Stormwater/Stormwater Manhole → Water/Water Meter Stormwater Gully Trap Roofwater Kerb Adapter Area to be Filled RL57.32 Design Pad Level Proposed Driveway Zero Lot Line Boundary 1.8m High Acoustic Fence (Installed by Developer)

N

- This note is an integral part of this plan.
   Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).





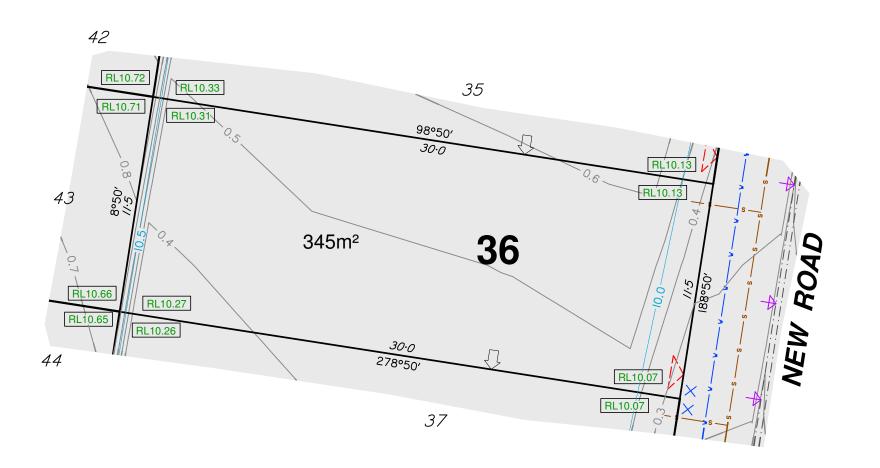
Planning Urban Design Candscape Environment A Surveying

HORIZONTAL MERIDIAN MGA ليستلينينا Scale 1:200

LEVEL DATUM @A3 AHD.

DATE DRAWN 13-08-2019

DRAWING NO. SS3787-02-35



### For Proposed Lot 36 Village Green - Stage 1

Currently Described As Part of Lot 1 on SP288657 Locality: Palmview Local Authority: Sunshine Coast Regional

Legend: Finished Surface Contours (0.5m Interval) Depth of Fill Contours (0.1m Interval) Easement Boundary — Kerb Line Sewer/Sewer Manhole Stormwater/Stormwater Manhole → Water/Water Meter Stormwater Gully Trap Roofwater Kerb Adapter

RL57.32

Proposed Driveway

Area to be Filled

Design Pad Level

Zero Lot Line Boundary

1.8m High Acoustic Fence (Installed by Developer)

N

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



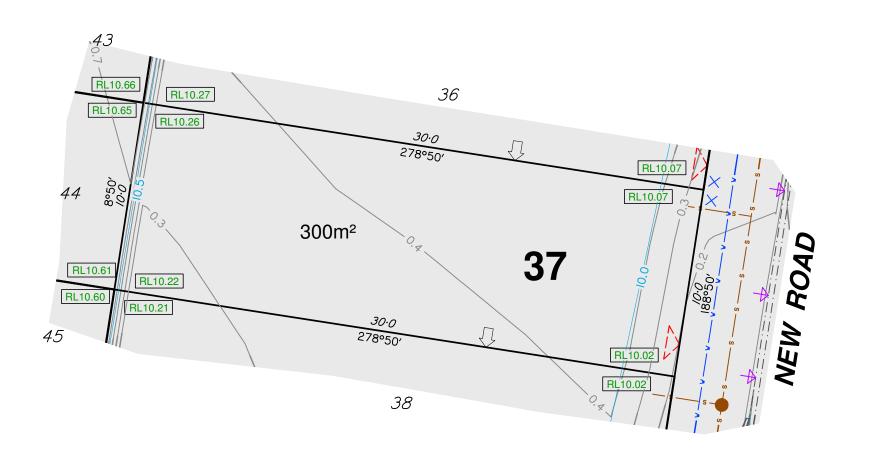


Planning Urban Design Candscape Environment A Surveying

HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM Scale 1:200 @A3 AHD.

DATE DRAWN 13-08-2019

DRAWING NO. SS3787-02-36



## For Proposed Lot 37 Village Green - Stage 1

Currently Described As Part of Lot 1 on SP288657 Locality: Palmview Local Authority: Sunshine Coast Regional Legend: Finished Surface Contours (0.5m Interval) Depth of Fill Contours (0.1m Interval) Easement Boundary — Kerb Line Sewer/Sewer Manhole Stormwater/Stormwater Manhole → Water/Water Meter Stormwater Gully Trap Roofwater

Kerb Adapter

Area to be Filled

Design Pad Level

Proposed Driveway

Zero Lot Line Boundary

1.8m High Acoustic Fence (Installed by Developer)

### Notes

RL57.32

N

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



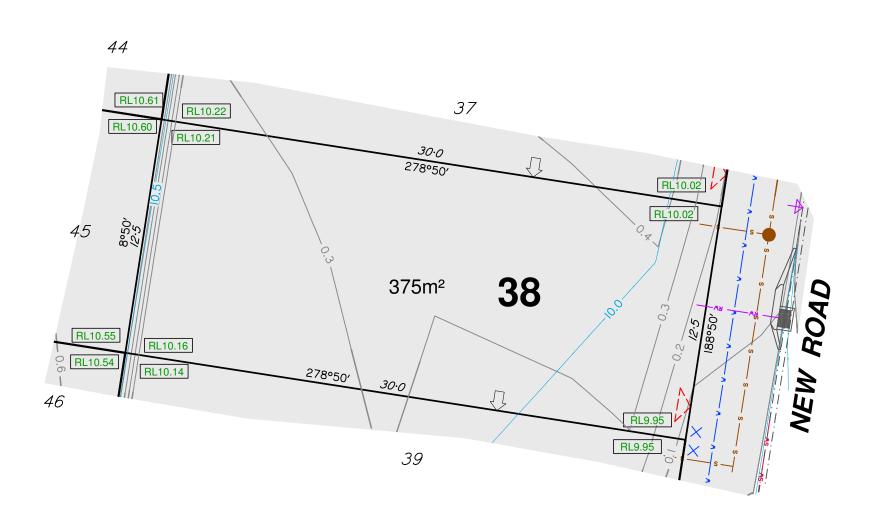


Planning Urban Design Candscape Environment A Surveying

HORIZONTAL MERIDIAN MGA

2 0 2 4
Scale 1:200 @A3 LEVEL DATUM AHD.

DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-37



## For Proposed Lot 38 Village Green - Stage 1

Currently Described As Part of Lot 1 on SP288657 Locality: Palmview Local Authority: Sunshine Coast Regional Legend:

Finished Surface Contours (0.5m Interval) Depth of Fill Contours (0.1m Interval) Easement Boundary — Kerb Line Sewer/Sewer Manhole

Stormwater/Stormwater Manhole → Water/Water Meter Stormwater Gully Trap Roofwater

Kerb Adapter Area to be Filled RL57.32 Design Pad Level

Proposed Driveway Zero Lot Line Boundary 1.8m High Acoustic Fence (Installed by Developer)

N

- This note is an integral part of this plan.
   Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



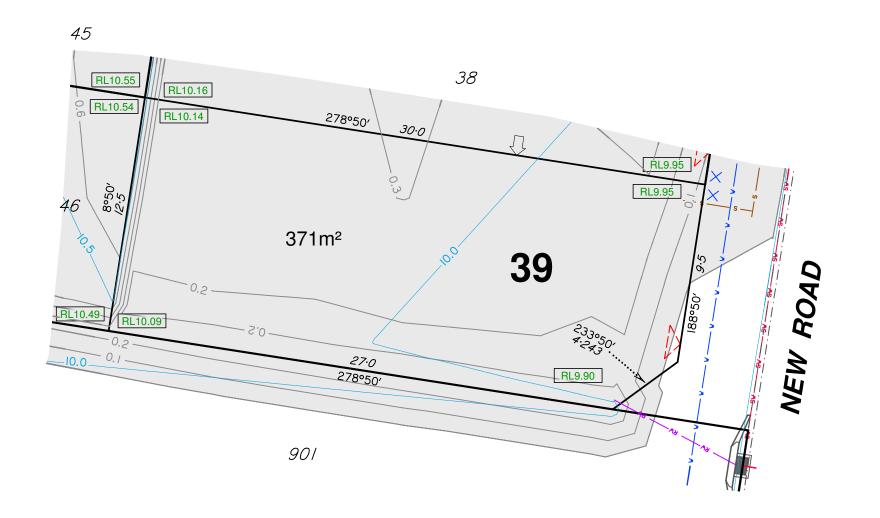


Planning Urban Design Candscape Environment A Surveying

HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM Scale 1:200 @A3 AHD.

DATE DRAWN 13-08-2019

DRAWING NO. SS3787-02-38



## For Proposed Lot 39 Village Green - Stage 1

Currently Described As Part of Lot 1 on SP288657 Locality: Palmview Local Authority: Sunshine Coast Regional

Legend:

N

Finished Surface Contours (0.5m Interval) Depth of Fill Contours (0.1m Interval)

Easement Boundary

— Kerb Line

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole → Water/Water Meter Stormwater Gully Trap

Roofwater

RL57.32

Kerb Adapter Area to be Filled

Design Pad Level

Proposed Driveway Zero Lot Line Boundary

1.8m High Acoustic Fence (Installed by Developer)

- This note is an integral part of this plan.
   Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).





Planning Urban Design Candscape Environment A Surveying

HORIZONTAL MERIDIAN MGA

LEVEL DATUM Scale 1:200 AHD.

DATE DRAWN 13-08-2019

DRAWING NO. SS3787-02-39



## For Proposed Lot 40 Village Green - Stage 1

Currently Described As Part of Lot 1 on SP288657 Locality: Palmview Local Authority: Sunshine Coast Regional Legend: Finished Surface Contours (0.5m Interval) Depth of Fill Contours (0.1m Interval) - Easement Boundary — Kerb Line Sewer/Sewer Manhole Stormwater/Stormwater Manhole → Water/Water Meter Stormwater Gully Trap Roofwater Kerb Adapter Area to be Filled RL57.32 Design Pad Level Proposed Driveway Zero Lot Line Boundary 1.8m High Acoustic Fence (Installed by Developer)

N

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).





Planning Urban Design Candscape Environment A Surveying

HORIZONTAL MERIDIAN ليستلينينا LEVEL DATUM Scale 1:200

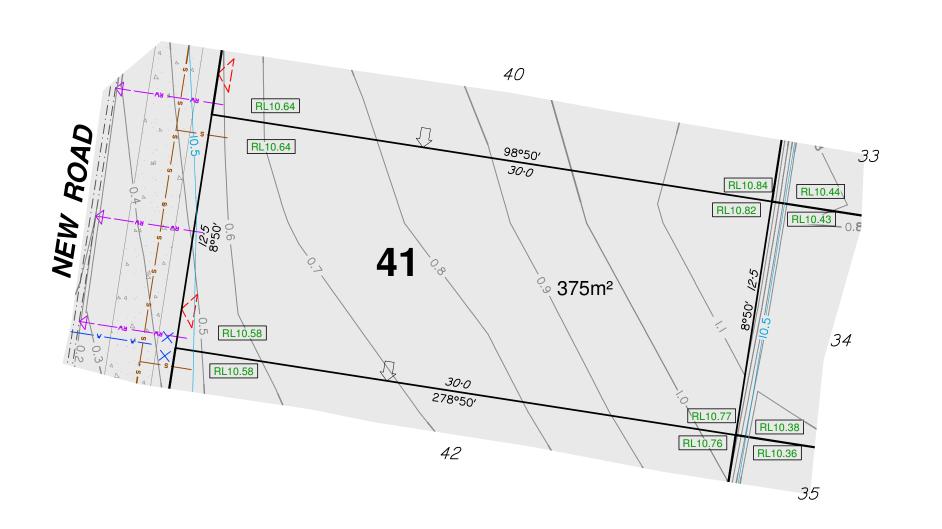
DATE DRAWN 13-08-2019

DRAWING NO. SS3787-02-40

**VERSION** 

MGA

AHD.



### For Proposed Lot 41 Village Green - Stage 1

Currently Described As Part of Lot 1 on SP288657 Locality: Palmview Local Authority: Sunshine Coast Regional Legend: Finished Surface Contours (0.5m Interval) Depth of Fill Contours (0.1m Interval) - Easement Boundary — Kerb Line Sewer/Sewer Manhole Stormwater/Stormwater Manhole → Water/Water Meter Stormwater Gully Trap Roofwater Kerb Adapter Area to be Filled RL57.32 Design Pad Level Proposed Driveway Zero Lot Line Boundary 1.8m High Acoustic Fence (Installed by Developer)

N

- This note is an integral part of this plan.
   Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



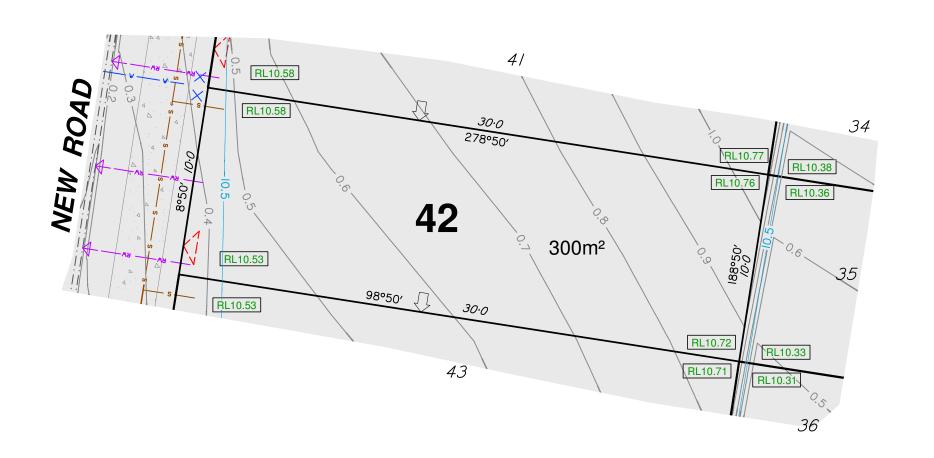


Planning Urban Design Candscape Environment A Surveying

HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM Scale 1:200 AHD.

DATE DRAWN DRAWING NO.

13-08-2019 SS3787-02-41



### For Proposed Lot 42 Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend:

46.0 Finished Surface Contours (0.5m Interval)

Depth of Fill Contours (0.1m Interval)

Easement Boundary

Kerb Line

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole

Water/Water Meter

Stormwater Gully Trap

Roofwater

Kerb Adapter

Area to be Filled

RL57.32

Design Pad Level

Proposed Driveway

Zero Lot Line Boundary

1.8m High Acoustic Fence
(Installed by Developer)

### Notes:

N

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



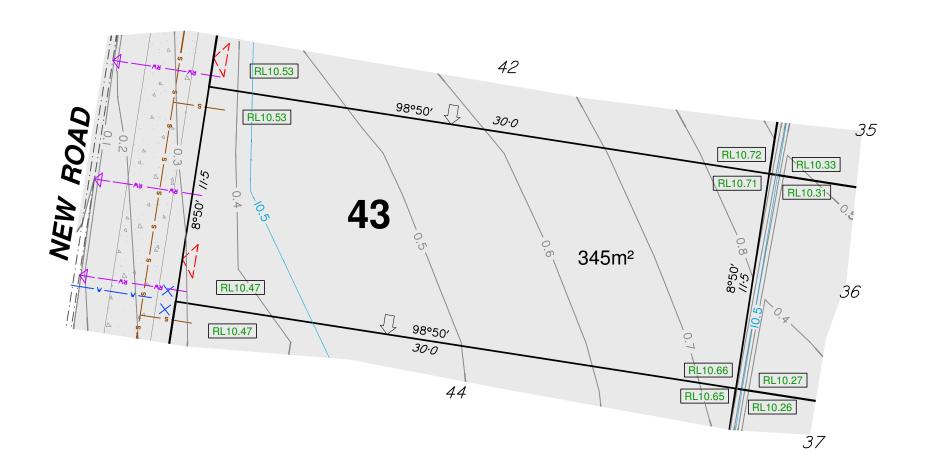


Planning Hurban Design Alandscape Environment A Surveying

HORIZONTAL MERIDIAN MGA

2 0 2 4
Scale 1:200 @A3 LEVEL DATUM AHD.

DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-42



## For Proposed Lot 43 Village Green - Stage 1

Currently Described As RPD: Part of Lot 1 on SP288657 Locality: Palmview
Local Authority: Sunshine Coast Regional

<u>Legend:</u> — 46.0 —

N

Finished Surface Contours (0.5m Interval)Depth of Fill Contours (0.1m Interval)

— Easement Boundary

- Lasement Boundary

— s — Kerb Line

Sewer/Sewer Manhole

sv sv Stormwater/Stormwater Manhole
w Water/Water Meter

N Rv Roofwater

Kerb Adapter

Stormwater Gully Trap

Area to be Filled

RL57.32 Design Pad Level

<u>\_\_</u>

Proposed Driveway

Zero Lot Line Boundary

1.8m High Acoustic Fence (Installed by Developer)

### Notes:

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).





Planning Urban Design Candscape Environment A Surveying

DATE DRAWN 13-08-2019

DRAWING NO. SS3787-02-43 VERSION C

AHD.



### For Proposed Lot 44 Village Green - Stage 1

Currently Described As Part of Lot 1 on SP288657 Locality: Palmview Local Authority: Sunshine Coast Regional Legend: Finished Surface Contours (0.5m Interval) Depth of Fill Contours (0.1m Interval) - Easement Boundary — Kerb Line Sewer/Sewer Manhole Stormwater/Stormwater Manhole → Water/Water Meter Stormwater Gully Trap Roofwater Kerb Adapter Area to be Filled RL57.32 Design Pad Level Proposed Driveway Zero Lot Line Boundary 1.8m High Acoustic Fence (Installed by Developer)

N

- This note is an integral part of this plan.
   Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



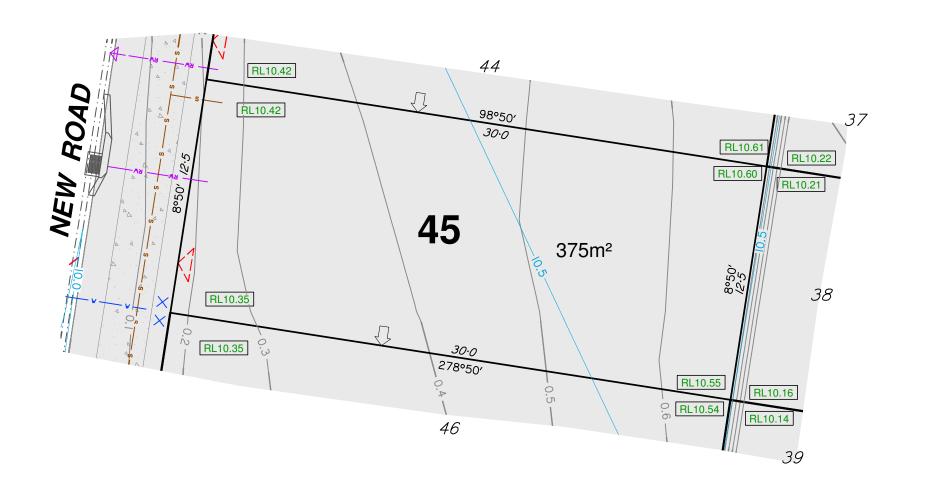


Planning Urban Design Candscape Environment A Surveying

HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM Scale 1:200 AHD.

DATE DRAWN 13-08-2019

DRAWING NO. SS3787-02-44



### For Proposed Lot 45 Village Green - Stage 1

Currently Described As Part of Lot 1 on SP288657 Locality: Palmview Local Authority: Sunshine Coast Regional

Legend: Finished Surface Contours (0.5m Interval) Depth of Fill Contours (0.1m Interval) — Easement Boundary — Kerb Line Sewer/Sewer Manhole Stormwater/Stormwater Manhole → Water/Water Meter Stormwater Gully Trap Roofwater Kerb Adapter Area to be Filled RL57.32 Design Pad Level Proposed Driveway Zero Lot Line Boundary

N

- This note is an integral part of this plan.
   Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.

1.8m High Acoustic Fence (Installed by Developer)

- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



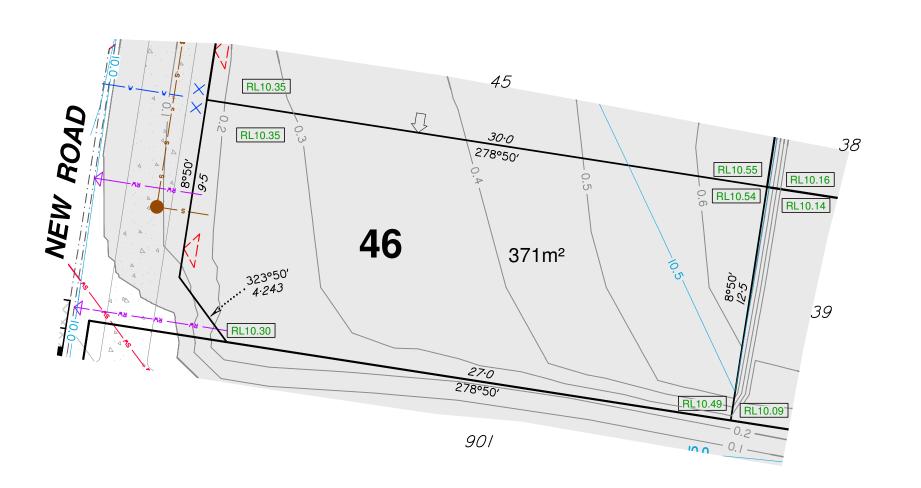


Planning Urban Design Candscape Environment A Surveying

HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM Scale 1:200 AHD.

DATE DRAWN 13-08-2019

DRAWING NO. SS3787-02-45



### For Proposed Lot 46 Village Green - Stage 1

Currently Described As Part of Lot 1 on SP288657 Locality: Palmview Local Authority: Sunshine Coast Regional Legend:

Finished Surface Contours (0.5m Interval) Depth of Fill Contours (0.1m Interval) - Easement Boundary — Kerb Line Sewer/Sewer Manhole Stormwater/Stormwater Manhole → Water/Water Meter Stormwater Gully Trap Roofwater Kerb Adapter Area to be Filled RL57.32 Design Pad Level Proposed Driveway

N

- This note is an integral part of this plan.
   Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.

Zero Lot Line Boundary 1.8m High Acoustic Fence (Installed by Developer)

- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



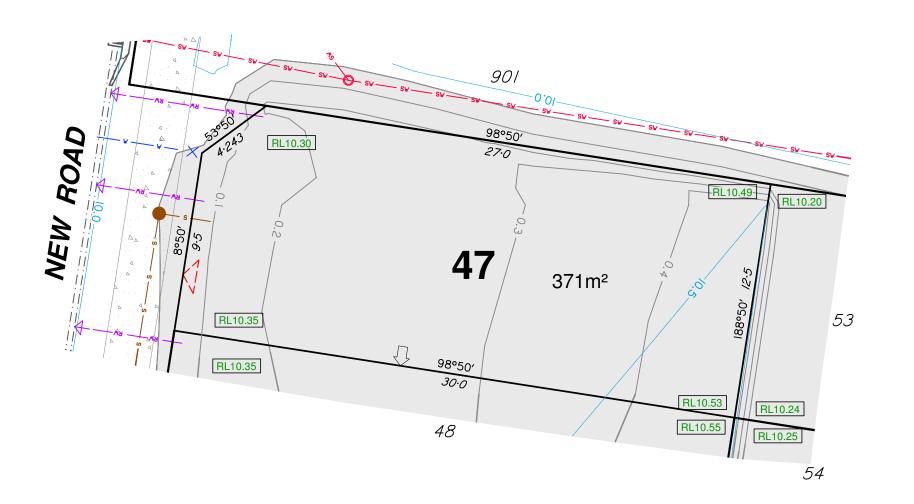


Planning Urban Design Candscape Environment A Surveying

HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM Scale 1:200 AHD.

DATE DRAWN 13-08-2019

DRAWING NO. SS3787-02-46



### For Proposed Lot 47 Village Green - Stage 1

Currently Described As Part of Lot 1 on SP288657 Locality: Palmview Local Authority: Sunshine Coast Regional

Legend: Finished Surface Contours (0.5m Interval) Depth of Fill Contours (0.1m Interval) - Easement Boundary — Kerb Line Sewer/Sewer Manhole Stormwater/Stormwater Manhole → Water/Water Meter Stormwater Gully Trap Roofwater Kerb Adapter Area to be Filled RL57.32 Design Pad Level Proposed Driveway Zero Lot Line Boundary

N

- This note is an integral part of this plan.
   Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.

1.8m High Acoustic Fence (Installed by Developer)

- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



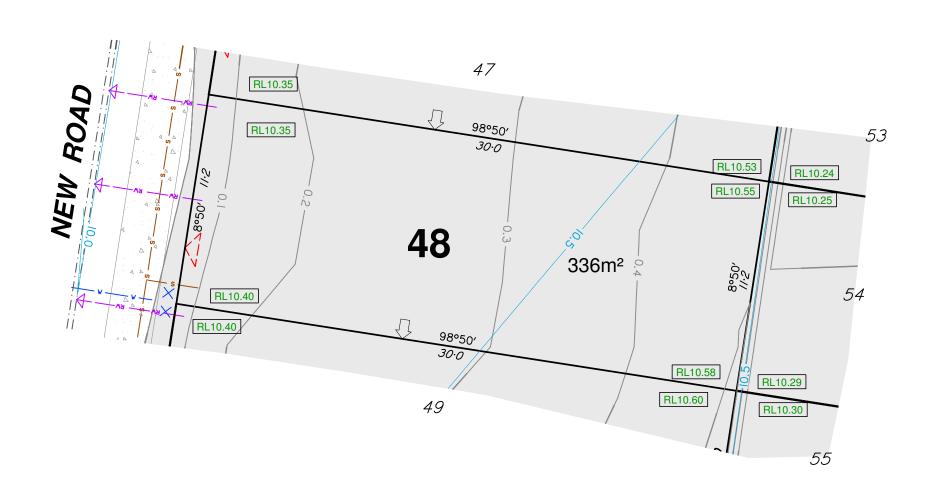


Planning Urban Design Candscape Environment A Surveying

HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM Scale 1:200 @A3 AHD.

DATE DRAWN 13-08-2019

DRAWING NO. SS3787-02-47



### For Proposed Lot 48 Village Green - Stage 1

Currently Described As Part of Lot 1 on SP288657 Locality: Palmview Local Authority: Sunshine Coast Regional Legend: Finished Surface Contours (0.5m Interval) Depth of Fill Contours (0.1m Interval) - Easement Boundary — Kerb Line Sewer/Sewer Manhole Stormwater/Stormwater Manhole → Water/Water Meter Stormwater Gully Trap Roofwater Kerb Adapter Area to be Filled RL57.32 Design Pad Level Proposed Driveway Zero Lot Line Boundary 1.8m High Acoustic Fence (Installed by Developer)

N

- This note is an integral part of this plan.
   Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).





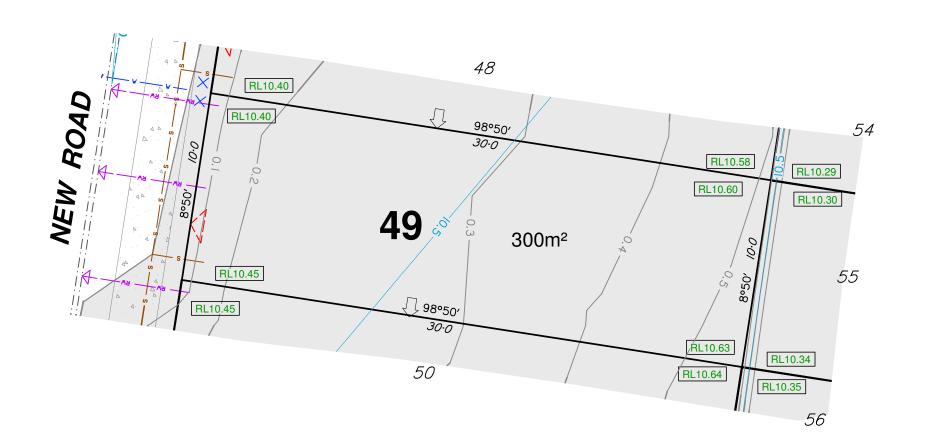
Planning Urban Design Candscape Environment A Surveying

HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM Scale 1:200 @A3

AHD.

DATE DRAWN 13-08-2019

DRAWING NO. SS3787-02-48



### For Proposed Lot 49 Village Green - Stage 1

Currently Described As Part of Lot 1 on SP288657 Locality: Palmview Local Authority: Sunshine Coast Regional Legend: Finished Surface Contours (0.5m Interval) Depth of Fill Contours (0.1m Interval)

- Easement Boundary — Kerb Line Sewer/Sewer Manhole Stormwater/Stormwater Manhole → Water/Water Meter Stormwater Gully Trap

Roofwater Kerb Adapter Area to be Filled

RL57.32 Design Pad Level

Zero Lot Line Boundary 1.8m High Acoustic Fence (Installed by Developer)

Proposed Driveway

N

- This note is an integral part of this plan.
   Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



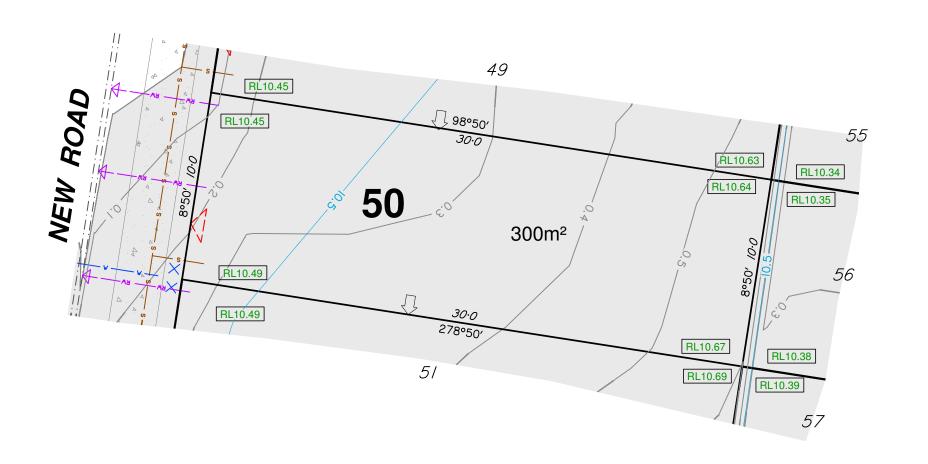


Planning Urban Design Candscape Environment A Surveying

HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM Scale 1:200 @A3 AHD.

DATE DRAWN 13-08-2019

DRAWING NO. SS3787-02-49



## For Proposed Lot 50 Village Green - Stage 1

Currently Described As Part of Lot 1 on SP288657 Locality: Palmview Local Authority: Sunshine Coast Regional Legend: Finished Surface Contours (0.5m Interval) Depth of Fill Contours (0.1m Interval) - Easement Boundary — Kerb Line Sewer/Sewer Manhole Stormwater/Stormwater Manhole → Water/Water Meter Stormwater Gully Trap Roofwater Kerb Adapter Area to be Filled RL57.32 Design Pad Level Proposed Driveway Zero Lot Line Boundary

N

- This note is an integral part of this plan.
   Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.

1.8m High Acoustic Fence (Installed by Developer)

- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).





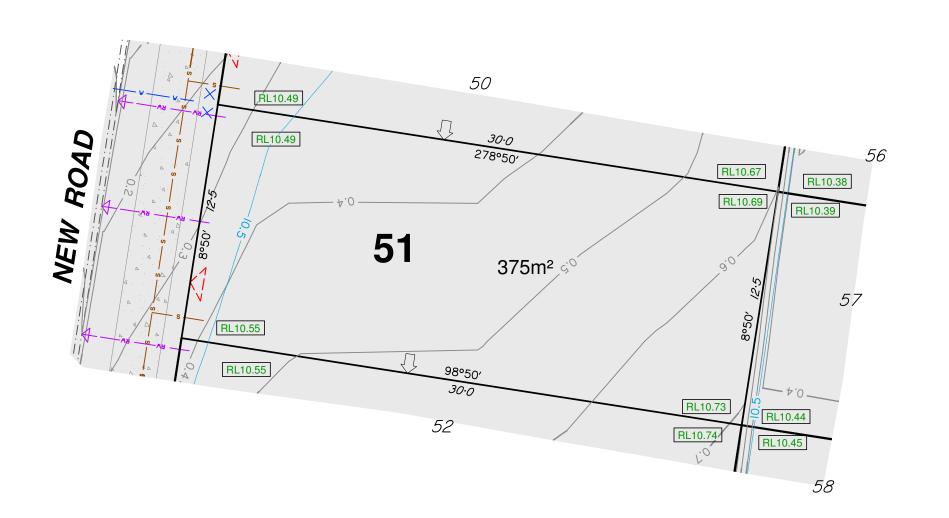
Planning Urban Design Candscape Environment A Surveying

HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM Scale 1:200

@A3 AHD.

DATE DRAWN 13-08-2019

DRAWING NO. SS3787-02-50



### For Proposed Lot 51 Village Green - Stage 1

Currently Described As Part of Lot 1 on SP288657 Locality: Palmview Local Authority: Sunshine Coast Regional Legend: Finished Surface Contours (0.5m Interval) Depth of Fill Contours (0.1m Interval) - Easement Boundary — Kerb Line Sewer/Sewer Manhole Stormwater/Stormwater Manhole → Water/Water Meter Stormwater Gully Trap Roofwater Kerb Adapter Area to be Filled RL57.32 Design Pad Level Proposed Driveway Zero Lot Line Boundary 1.8m High Acoustic Fence (Installed by Developer)

N

- This note is an integral part of this plan.
   Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



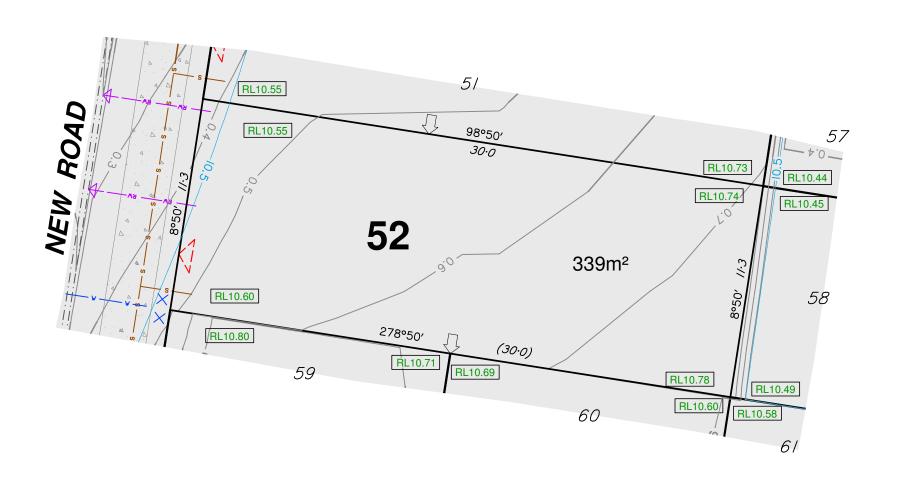


Planning Urban Design Candscape Environment A Surveying

HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM Scale 1:200 @A3 AHD.

DATE DRAWN 13-08-2019

DRAWING NO. SS3787-02-51



## For Proposed Lot 52 Village Green - Stage 1

Currently Described As

N

Sewer/Sewer Manhole

Stormwater / Stormwater Manhole

Water/Water Meter

Stormwater Gully Trap

RV— RV— Roofwater

— Kerb Line

Kerb Adapter

Area to be Filled

RL57.32 Design Pad Level
Proposed Driveway

Zero Lot Line Boundary

1.8m High Acoustic Fence
(Installed by Developer)

### Notes:

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).





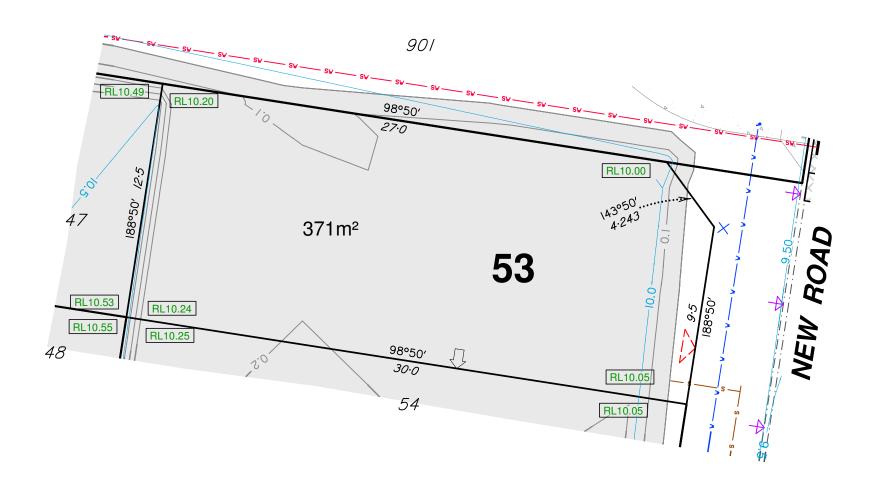
Planning Urban Design Candscape Environment A Surveying

HORIZONTAL MERIDIAN MGA

2 0 2 4
Scale 1:200 @A3 LEVEL DATUM

AHD.

DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-52



## For Proposed Lot 53 Village Green - Stage 1

Part of Lot 1 on SP288657 Locality: Palmview Local Authority: Sunshine Coast Regional Legend: Finished Surface Contours (0.5m Interval)

Depth of Fill Contours (0.1m Interval)

Currently Described As

N

 Easement Boundary — Kerb Line Sewer/Sewer Manhole

Stormwater/Stormwater Manhole Water/Water Meter Stormwater Gully Trap Roofwater

Kerb Adapter Area to be Filled RL57.32

Proposed Driveway

Design Pad Level

Zero Lot Line Boundary 1.8m High Acoustic Fence (Installed by Developer)

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).





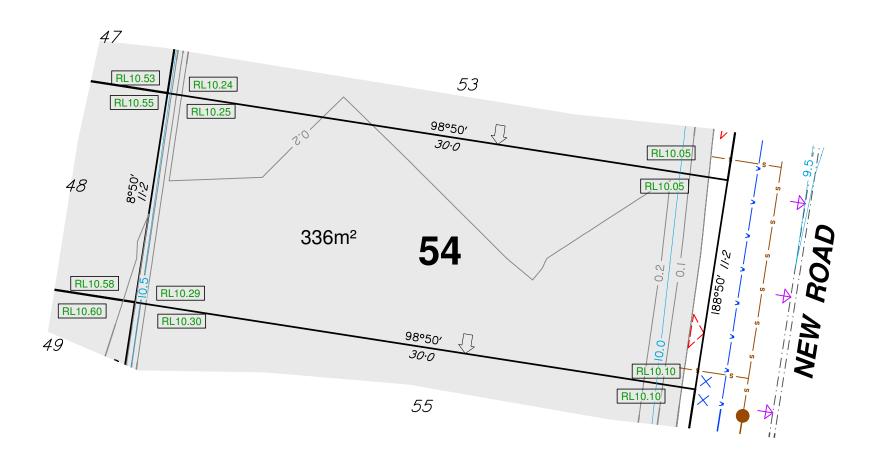
Planning Urban Design Candscape Environment A Surveying

C

HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM Scale 1:200 @A3

AHD. **VERSION** 

DATE DRAWN DRAWING NO. 13-08-2019 SS3787-02-53



## For Proposed Lot 54 Village Green - Stage 1

Part of Lot 1 on SP288657 Locality: Palmview Local Authority: Sunshine Coast Regional Legend: Finished Surface Contours (0.5m Interval) Depth of Fill Contours (0.1m Interval) Easement Boundary

— Kerb Line Sewer/Sewer Manhole Stormwater/Stormwater Manhole

Currently Described As

N

→ Water/Water Meter Stormwater Gully Trap Roofwater Kerb Adapter

Area to be Filled RL57.32 Design Pad Level

Proposed Driveway Zero Lot Line Boundary

1.8m High Acoustic Fence (Installed by Developer)

- This note is an integral part of this plan.
   Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



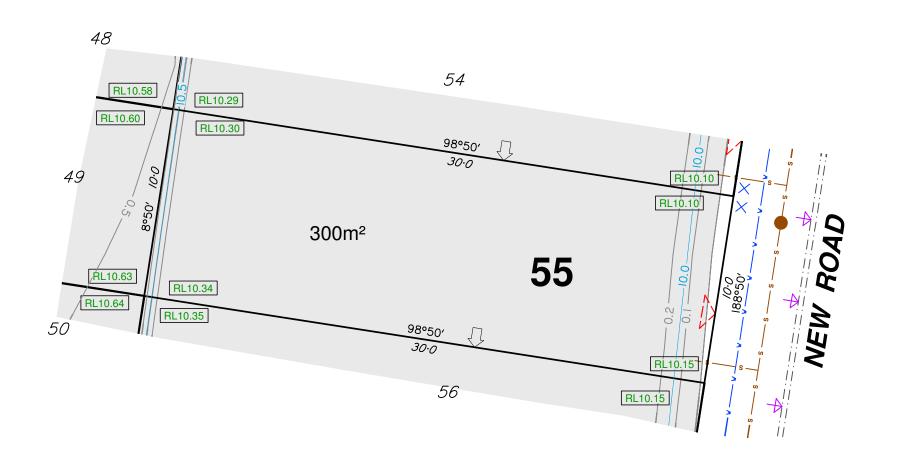


Planning Urban Design Candscape Environment A Surveying

HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM Scale 1:200 @A3 AHD.

DATE DRAWN 13-08-2019

DRAWING NO. SS3787-02-54



## For Proposed Lot 55 Village Green - Stage 1

Currently Described As Part of Lot 1 on SP288657 Locality: Palmview Local Authority: Sunshine Coast Regional Legend: Finished Surface Contours (0.5m Interval) Depth of Fill Contours (0.1m Interval) Easement Boundary — Kerb Line Sewer/Sewer Manhole Stormwater/Stormwater Manhole → Water/Water Meter Stormwater Gully Trap Roofwater Kerb Adapter Area to be Filled RL57.32 Design Pad Level Proposed Driveway Zero Lot Line Boundary

N

- This note is an integral part of this plan.
   Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.

1.8m High Acoustic Fence (Installed by Developer)

- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



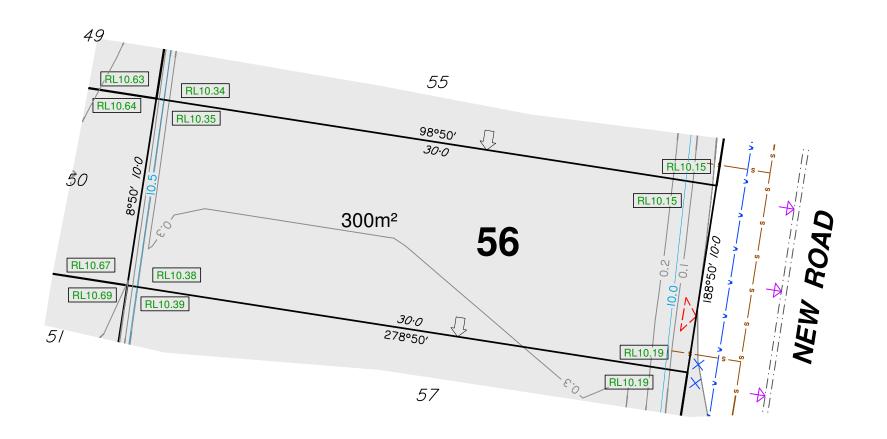


Planning Urban Design Candscape Environment A Surveying

HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM Scale 1:200 @A3 AHD.

DATE DRAWN 13-08-2019

DRAWING NO. SS3787-02-55



### For Proposed Lot 56 Village Green - Stage 1

Currently Described As Part of Lot 1 on SP288657 Locality: Palmview Local Authority: Sunshine Coast Regional Legend: Finished Surface Contours (0.5m Interval) Depth of Fill Contours (0.1m Interval) Easement Boundary — Kerb Line Sewer/Sewer Manhole Stormwater/Stormwater Manhole Water/Water Meter Stormwater Gully Trap Roofwater Kerb Adapter Area to be Filled RL57.32 Design Pad Level

Proposed Driveway

Zero Lot Line Boundary

1.8m High Acoustic Fence (Installed by Developer)

### Notes:

N

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).





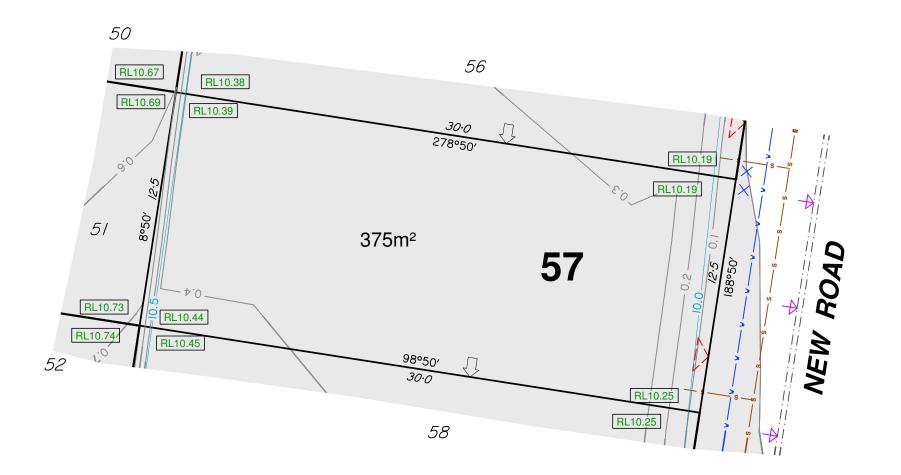
Planning 🗗 Urban Design 🍪 Landscape 💭 Environment 🕂 Surveying

HORIZONTAL MERIDIAN MGA

2 0 2 4 LEVEL DATUM

AHD.

DATE DRAWN DRAWING NO. VERSION 13-08-2019 SS3787-02-56 C



## For Proposed Lot 57 Village Green - Stage 1

Currently Described As Part of Lot 1 on SP288657 Locality: Palmview Local Authority: Sunshine Coast Regional Legend: Finished Surface Contours (0.5m Interval) Depth of Fill Contours (0.1m Interval) Easement Boundary — Kerb Line Sewer/Sewer Manhole Stormwater/Stormwater Manhole Water/Water Meter Stormwater Gully Trap Roofwater Kerb Adapter Area to be Filled RL57.32 Design Pad Level

Proposed Driveway

Zero Lot Line Boundary

1.8m High Acoustic Fence (Installed by Developer)

### Notes

N

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



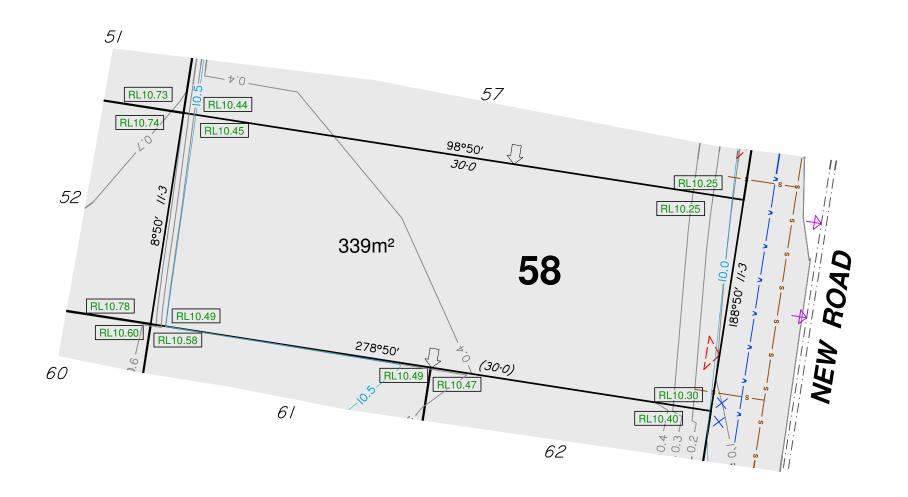


Planning Urban Design Candscape Environment A Surveying

HORIZONTAL MERIDIAN MGA

2 0 2 4
Scale 1:200 @A3 LEVEL DATUM AHD.

DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-57



## For Proposed Lot 58 Village Green - Stage 1

Currently Described As RPD: Part of Lot 1 on SP288657 Locality: Palmview Sunshine Coast Regional

Legend:

### Notes:

N

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.

Proposed Driveway

Zero Lot Line Boundary

1.8m High Acoustic Fence (Installed by Developer)

- Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).





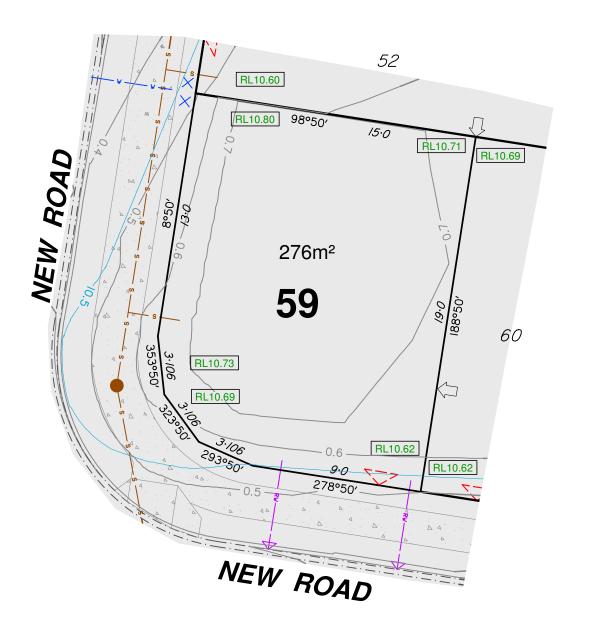
Planning 🕂 Urban Design 🚱 Landscape 💭 Environment 🕂 Surveying

HORIZONTAL MERIDIAN MGA

2 0 2 4
Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-58



For Proposed Lot 59 Village Green - Stage 1

Currently Described As Part of Lot 1 on SP288657 Locality: Palmview Local Authority: Sunshine Coast Regional Legend: Finished Surface Contours (0.5m Interval)

Depth of Fill Contours (0.1m Interval) - Easement Boundary — Kerb Line Sewer/Sewer Manhole Stormwater/Stormwater Manhole

→ Water/Water Meter Stormwater Gully Trap Roofwater

Kerb Adapter Area to be Filled RL57.32 Design Pad Level

Proposed Driveway

Zero Lot Line Boundary 1.8m High Acoustic Fence (Installed by Developer)

N

- This note is an integral part of this plan.
   Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



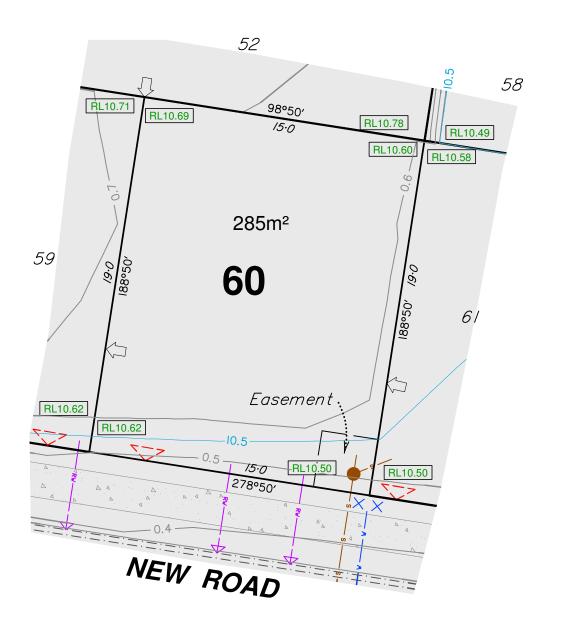


Planning Urban Design Candscape Environment A Surveying

HORIZONTAL MERIDIAN MGA ليستلينينا LEVEL DATUM Scale 1:200 AHD.

DATE DRAWN 13-08-2019

DRAWING NO. SS3787-02-59



### For Proposed Lot 60 Village Green - Stage 1

Currently Described As

N

Part of Lot 1 on SP288657

s — s — Sewer/Sewer Manhole

sv — Sv — Stormwater/Stormwater Manhole

Water/Water Meter

Stormwater Gully Trap

RV RV RV

— Kerb Line

Kerb Adapter

Area to be Filled

RL57.32

Design Pad Level

Proposed Driveway

Zero Lot Line Boundary

1.8m High Acoustic Fence (Installed by Developer)

### Notes:

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).





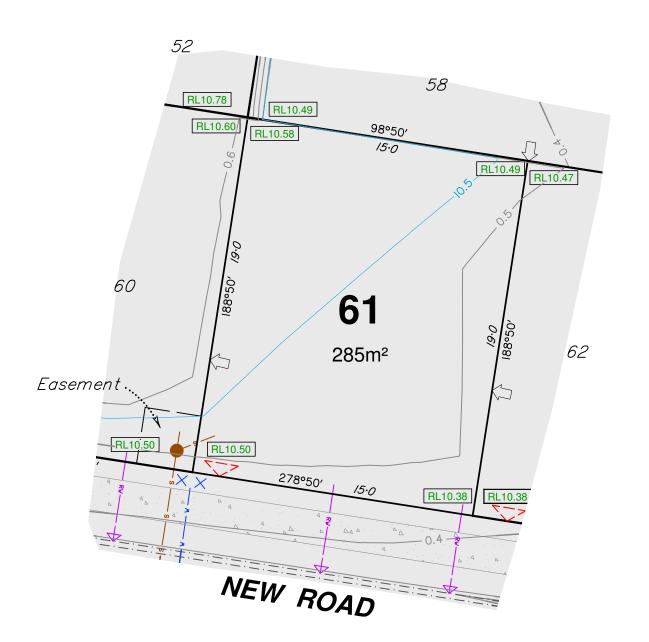
Planning 🗗 Urban Design 🗞 Landscape 💭 Environment 🔥 Surveying

HORIZONTAL MERIDIAN MGA

2 0 2 4
Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-60



### For Proposed Lot 61 Village Green - Stage 1

Currently Described As

N

RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend: Finished Surface Contours (0.5m Interval)

— |.0 — Depth of Fill Contours (0.1m Interval)

— Easement Boundary

s — s Sewer/Sewer Manhole

Sv — Sv — Stormwater/Stormwater Manhole

— Kerb Line

Water/Water Meter

Stormwater Gully Trap

Roofwater

Kerb Adapter

Area to be Filled

RL57.32

Design Pad Level

Proposed Driveway

Zero Lot Line Boundary

1.8m High Acoustic Fence (Installed by Developer)

### Notes:

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).





Planning 🗗 Urban Design 🚱 Landscape 💭 Environment 🗥 Surveying

HORIZONTAL MERIDIAN MGA

2 0 2 4
Scale 1:200 @A3 LEVEL DATUM AHD.

DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-61



### For Proposed Lot 62 Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

<u>Legend:</u> 46.0 —

RL57.32

N

Finished Surface Contours (0.5m Interval)Depth of Fill Contours (0.1m Interval)

— Easement Boundary

- Kerb Line

s — s — Sewer/Sewer Manhole

sv sv Stormwater/Stormwater Manhole

V V Water/Water Meter

Stormwater Gully Trap

Rv—Roofwater

Kerb Adapter

Area to be Filled

Design Pad Level

Proposed Driveway

Zero Lot Line Boundary

1.8m High Acoustic Fence (Installed by Developer)

### Notes:

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



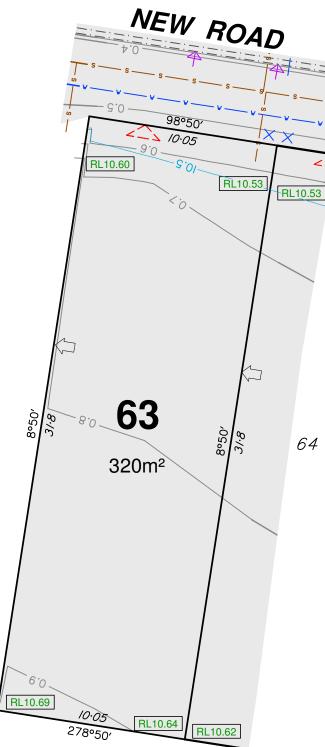


Planning Urban Design Candscape Environment A Surveying

HORIZONTAL MERIDIAN MGA

Scale 1:200 PA3 LEVEL DATUM AHD.

DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-62



Future Stage

### For Proposed Lot 63 Village Green - Stage 1

Currently Described As Part of Lot 1 on SP288657 Locality: Palmview Local Authority: Sunshine Coast Regional

Legend: Finished Surface Contours (0.5m Interval) Depth of Fill Contours (0.1m Interval) - Easement Boundary — Kerb Line Sewer/Sewer Manhole Stormwater/Stormwater Manhole → Water/Water Meter Stormwater Gully Trap Roofwater Kerb Adapter Area to be Filled RL57.32 Design Pad Level Proposed Driveway

N

- This note is an integral part of this plan.
   Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.

Zero Lot Line Boundary 1.8m High Acoustic Fence (Installed by Developer)

- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).





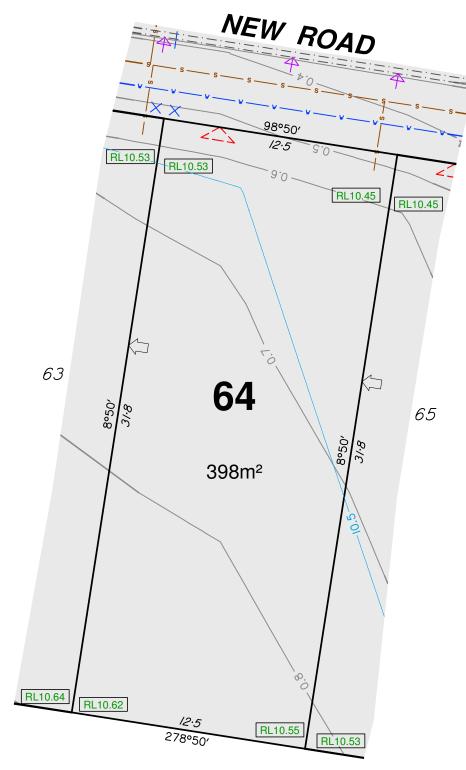
Planning Urban Design Candscape Environment A Surveying

HORIZONTAL MERIDIAN MGA ليتبيلينينا LEVEL DATUM

Scale 1:200 @A3 AHD.

DATE DRAWN 13-08-2019

DRAWING NO. SS3787-02-63



Future Stage

### For Proposed Lot 64 Village Green - Stage 1

Currently Described As Part of Lot 1 on SP288657 Locality: Palmview Local Authority: Sunshine Coast Regional

Legend: Finished Surface Contours (0.5m Interval) Depth of Fill Contours (0.1m Interval) - Easement Boundary - Kerb Line Sewer/Sewer Manhole Stormwater/Stormwater Manhole → Water/Water Meter Stormwater Gully Trap Roofwater Kerb Adapter Area to be Filled RL57.32 Design Pad Level Proposed Driveway

N

- This note is an integral part of this plan.
   Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.

Zero Lot Line Boundary 1.8m High Acoustic Fence (Installed by Developer)

- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).





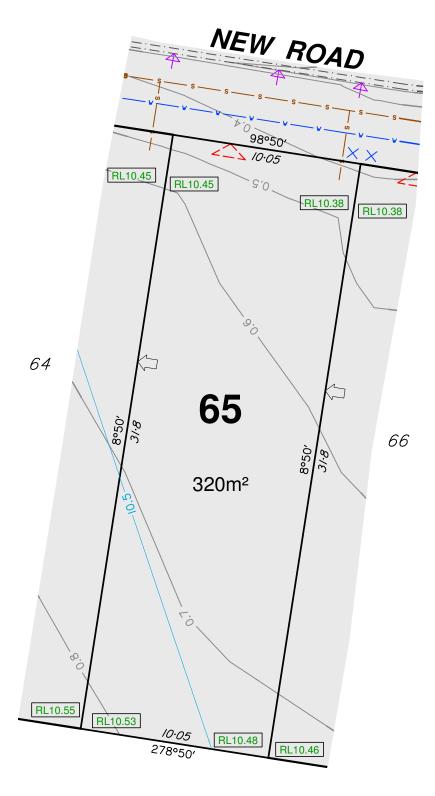
Planning Urban Design Candscape Environment A Surveying

HORIZONTAL MERIDIAN MGA ليتبيلينينا Scale 1:200 @A3

LEVEL DATUM AHD.

DATE DRAWN 13-08-2019

DRAWING NO. SS3787-02-64



Future Stage

## For Proposed Lot 65 Village Green - Stage 1

Currently Described As RPD: Part of Lot 1 on SP288657 Locality: Palmview Local Authority: Sunshine Coast Regional

Legend:

- 46.0 Finished Surface Contours (0.5m Interval)

- 1.0 Depth of Fill Contours (0.1m Interval)

- Easement Boundary

Kerb Line

Sewer/Sewer Manhole

Proposed Driveway

\_\_\_\_\_sv \_\_\_\_ Stormwater/Stormwater Manhole \_\_\_\_\_ v \_\_\_\_ Water/Water Meter

Area to be Filled

RL57.32

Design Pad Level

Zero Lot Line Boundary

1.8m High Acoustic Fence (Installed by Developer)

### Notes:

N

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).





Planning 🕂 Urban Design 🍪 Landscape 💭 Environment ٨ Surveying

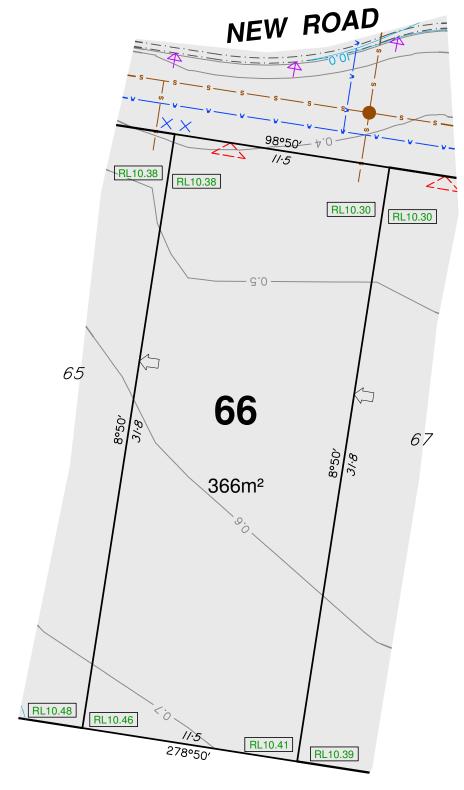
HORIZONTAL MERIDIAN MGA

2 0 2 4
Scole 1:200 @A3
LEVEL DATUM

Scale 1:200 @A3 LEVEL DATUM AHD.

DATE DRAWN DRAWING NO. 13-08-2019 SS3787-02-65

/ING NO. VERSION 87-02-65 C



Future Stage

For Proposed Lot 66 Village Green - Stage 1

Currently Described As

N

SV Stormwater /Stormwater Manhole

V V Water/Water Meter

Stormwater Gully Trap

Roofwater

Kerb Adapter

Area to be Filled

RL57.32

Design Pad Level

Zero Lot Line Boundary

1.8m High Acoustic Fence (Installed by Developer)

Proposed Driveway

### Notes:

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).





Planning 🕂 Urban Design 🍪 Landscape 💭 Environment 🕂 Surveying

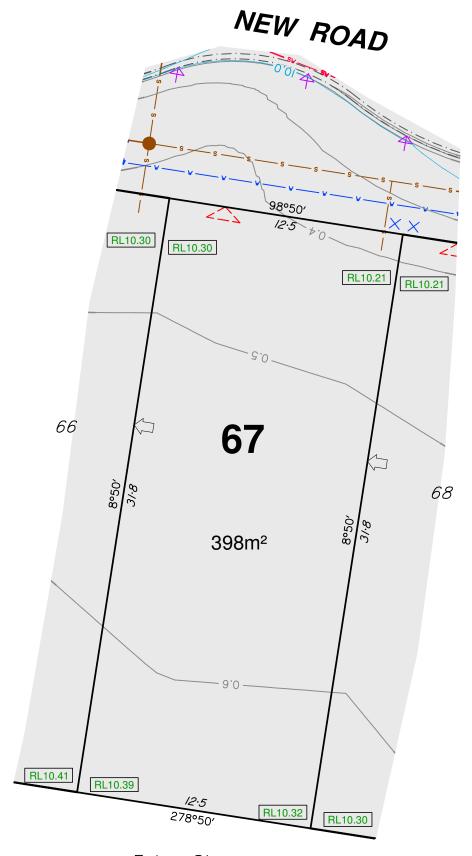
HORIZONTAL MERIDIAN MGA

2 0 2 4
Scale 1:200 @A3

LEVEL DATUM AHD.

DATE DRAWN 13-08-2019

DRAWING NO. SS3787-02-66



Future Stage

## For Proposed Lot 67 Village Green - Stage 1

Currently Described As RPD: Part of Lot 1 on SP288657 Locality: Palmview Local Authority: Sunshine Coast Regional

Legend:

46.0
Finished Surface Contours (0.5m Interval)
Depth of Fill Contours (0.1m Interval)
Easement Boundary

s — s — Sewer/Sewer Manhole

sv — Sv — Stormwater/Stormwater Manhole

— Kerb Line

Water/Water Meter

Stormwater Gully Trap

RV— RV— Roofwater

Kerb Adapter

Area to be Filled

RL57.32

Design Pad Level

Proposed Driveway

Zero Lot Line Boundary

1.8m High Acoustic Fence (Installed by Developer)

### Notes:

N

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



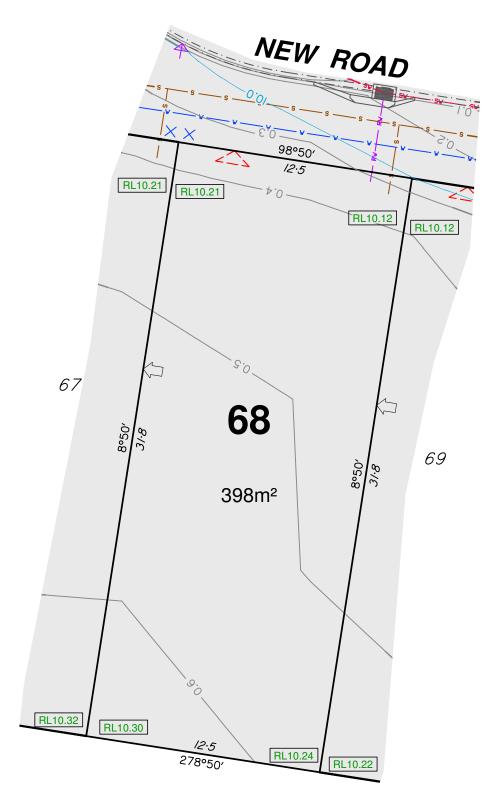


Planning 🕂 Urban Design 🍪 Landscape 💭 Environment 🗥 Surveying

HORIZONTAL MERIDIAN MGA

Scale 1:200 2 @A3 LEVEL DATUM AHD.

DATE DRAWN 13-08-2019 DRAWING NO. SS3787-02-67



Future Stage

For Proposed Lot 68 Village Green - Stage 1

Currently Described As
RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional

Legend: Finished Surface Contours (0.5m Interval)

Depth of Fill Contours (0.1m Interval)

Sewer/Sewer Manhole

Easement Boundary

Kerb Line

\_\_\_\_\_ sv \_\_\_\_ Stormwater/Stormwater Manhole \_\_\_\_\_ v \_\_\_\_ v Water/Water Meter

Stormwater Gully Trap

RV RV Roofwater

Kerb Adapter

Area to be Filled

RL57.32

Design Pad Level

Proposed Driveway

Zero Lot Line Boundary

1.8m High Acoustic Fence (Installed by Developer)

### Notes:

N

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



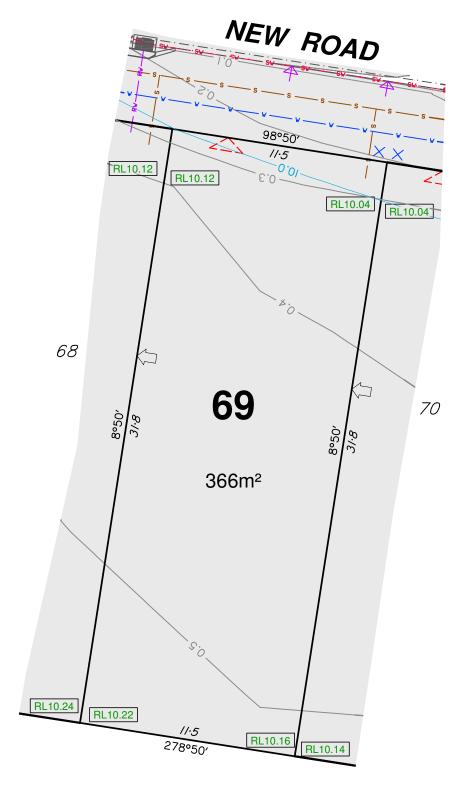


Planning 🕂 Urban Design 🚱 Landscape 💭 Environment 🕂 Surveying

DATE DRAWN 13-08-2019

DRAWING NO. SS3787-02-68 VERSION C

AHD.



Future Stage

For Proposed Lot 69 Village Green - Stage 1

Currently Described As Part of Lot 1 on SP288657 Locality: Palmview

Local Authority: Sunshine Coast Regional

### Legend:

N

Finished Surface Contours (0.5m Interval) Depth of Fill Contours (0.1m Interval)

- Easement Boundary

— Kerb Line

Sewer/Sewer Manhole

Stormwater/Stormwater Manhole → Water/Water Meter

Roofwater

Kerb Adapter Area to be Filled

RL57.32

Design Pad Level

Stormwater Gully Trap

Proposed Driveway Zero Lot Line Boundary

1.8m High Acoustic Fence (Installed by Developer)

- This note is an integral part of this plan.
   Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).





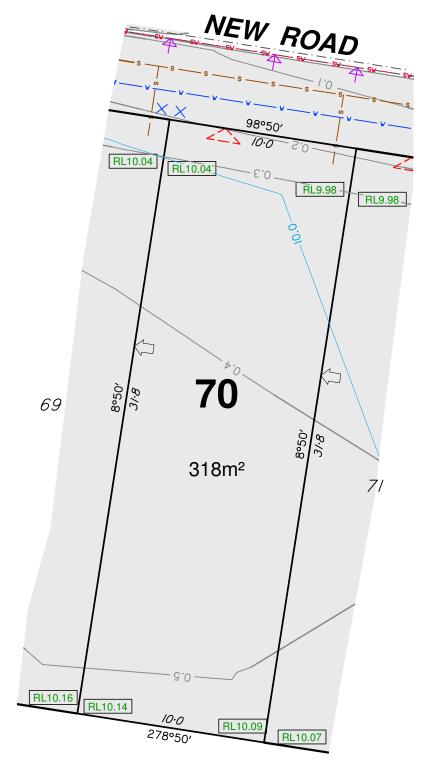
Planning Urban Design Candscape Environment A Surveying

HORIZONTAL MERIDIAN MGA ليتبيلينينا

LEVEL DATUM Scale 1:200 @A3 AHD.

DATE DRAWN 13-08-2019

DRAWING NO. SS3787-02-69



Future Stage

## For Proposed Lot 70 Village Green - Stage 1

Currently Described As Part of Lot 1 on SP288657 Locality: Palmview Local Authority: Sunshine Coast Regional

Legend: Finished Surface Contours (0.5m Interval) Depth of Fill Contours (0.1m Interval) - Easement Boundary — Kerb Line Sewer/Sewer Manhole Stormwater/Stormwater Manhole → Water/Water Meter Stormwater Gully Trap

Roofwater Kerb Adapter Area to be Filled RL57.32

Design Pad Level

Proposed Driveway

Zero Lot Line Boundary

1.8m High Acoustic Fence (Installed by Developer)

N

- 1. This note is an integral part of this plan.
- 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).





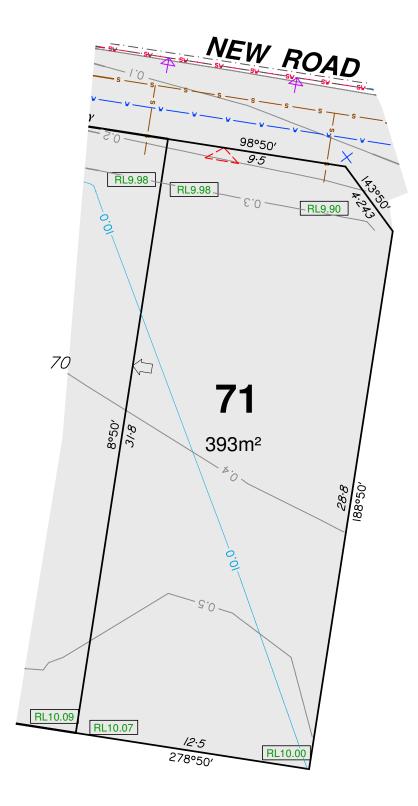
Planning Urban Design Candscape Environment A Surveying

HORIZONTAL MERIDIAN MGA ليتبيلينينا LEVEL DATUM

Scale 1:200 @A3 AHD.

DATE DRAWN 13-08-2019

DRAWING NO. SS3787-02-70



Future Stage

## For Proposed Lot 71 Village Green - Stage 1

Currently Described As Part of Lot 1 on SP288657 Locality: Palmview Local Authority: Sunshine Coast Regional Legend: Finished Surface Contours (0.5m Interval) Depth of Fill Contours (0.1m Interval)

Easement Boundary

— Kerb Line Sewer/Sewer Manhole Stormwater/Stormwater Manhole → Water/Water Meter

Stormwater Gully Trap Roofwater Kerb Adapter

Area to be Filled RL57.32 Design Pad Level

Zero Lot Line Boundary 1.8m High Acoustic Fence (Installed by Developer)

Proposed Driveway

N

- This note is an integral part of this plan.
   Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 21-06-2019.
- 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
- 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
- 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).





Planning Urban Design Candscape Environment A Surveying

HORIZONTAL MERIDIAN MGA ليتبيلينينا LEVEL DATUM

Scale 1:200 @A3 AHD.

**VERSION** 

DATE DRAWN DRAWING NO. 13-08-2019 SS3787-02-71