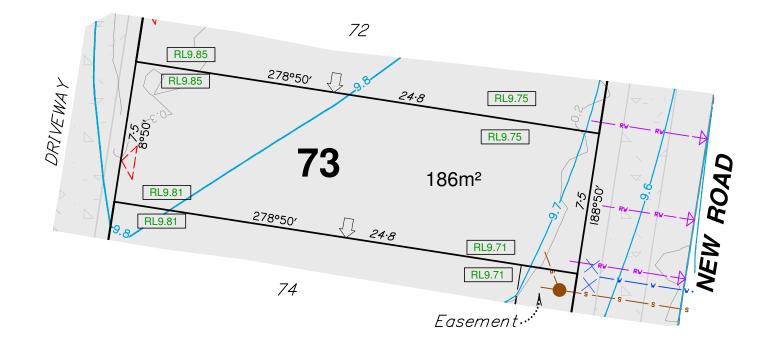


PRELIMINARY

DISCL	OSURE PLAN	
For Proposed Lot 72		
Village Green - Stage 5		
Currently Described		
RPD: Locality:	Part of Lot 1 on SP288657 Palmview	
Local Authority:	Sunshine Coast Regional	
Legend: 46.0	Finished Surface Contours (0.1m Interval)	
	Depth of Fill Contours (0.1m Interval)	
	Easement Boundary	
· · · ·	Kerb Line	
s s	Sewer/Sewer Manhole	
sv sv	Stormwater/Stormwater Manhole/Pit	
v	Water/Water Meter	
	Stormwater Gully Trap	
RV RV	Roofwater	
$\rightarrow$	Kerb Adapter	
	Area to be Filled	
RL57.32	Design Pad Level	
~ <b>~</b> ~	Proposed Driveway	
$\langle \neg$	Zero Lot Line Boundary	
	. 1.8m High Acoustic Fence (Installed by Developer)	
<ol> <li>Finished surface wall details and prop on 18-02-2020.</li> </ol>	ntegral part of this plan. contours, depth of fill contours, retaining posed services provided by Peak Urban ing walls are indicative only. Site	
conditions will dictate construction limits to the material,		
location, length & thickness of these walls. 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any		
other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with		
AS3798-2007 under Level 1 supervision. 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales		
Act QLD 1984 (as amended).		
village		

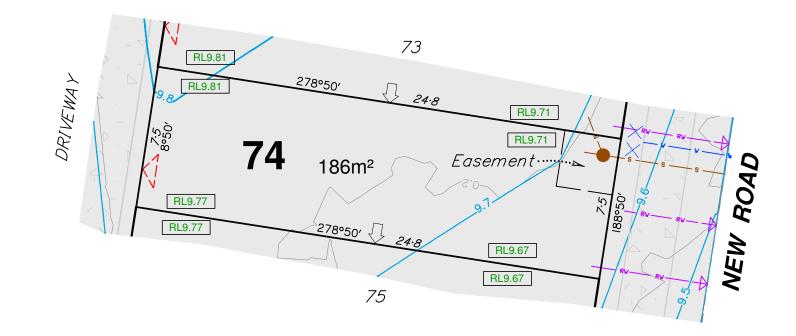
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DATE DRAWN 27-02-2020		'ING NO. '-05-01-72	VERSION A





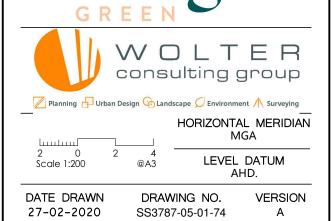
DISCL	OSURE PLAN		
For Proposed Lot 73			
	e Green - Stage 5		
Currently Described			
RPD:	Part of Lot 1 on SP288657		
Locality: Local Authority:	Palmview Sunshine Coast Regional		
Legend:			
<u> </u>	Finished Surface Contours (0.1m Interval)		
I.0	Depth of Fill Contours (0.1m Interval)		
	Easement Boundary		
· · · ·	Kerb Line		
s s	Sewer/Sewer Manhole		
sv sv - <del></del>	Stormwater/Stormwater Manhole/Pit		
v	Water/Water Meter		
	Stormwater Gully Trap		
RV RV	Roofwater		
$\rightarrow$	Kerb Adapter		
	Area to be Filled		
RL57.32	Design Pad Level		
~~~~	Proposed Driveway		
$\langle \Box$	Zero Lot Line Boundary		
w	1.8m High Acoustic Fence (Installed by Developer)		
Notes:			
1. This note is an in	ntegral part of this plan.		
	contours, depth of fill contours, retaining posed services provided by Peak Urban		
on 18-02-2020. 3. Location of retaining walls are indicative only. Site			
conditions will dictate construction limits to the material,			
location, length & thickness of these walls. 4. This plan has been prepared under the current legislation			
for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which			
affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.			
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.			
6. This plan has been prepared by Wolter Consulting Group Pty			
Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).			
village			

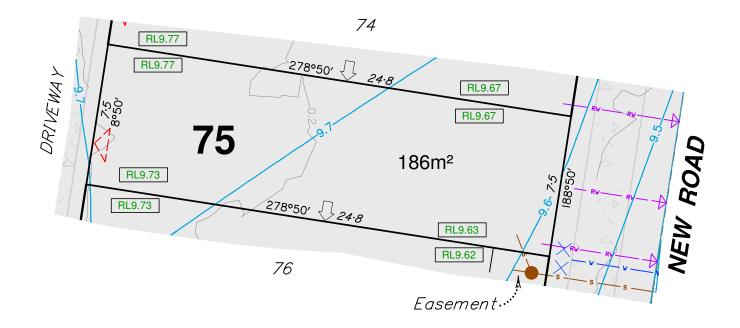
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WOLTER consulting group			
🖉 Planning 🗗 Urban Design 🚱 Landscape 💭 Environment 🥂 Surveying			
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DISCL	OSURE PLAN		
For Proposed Lot 74			
Village Green - Stage 5			
Currently Described RPD:	As Part of Lot 1 on SP288657		
Locality: Local Authority:	Palmview Sunshine Coast Regional		
Legend:			
<u> </u>	Finished Surface Contours (0.1m Interval)		
I.0	Depth of Fill Contours (0.1m Interval)		
	Easement Boundary		
· · · ·	Kerb Line		
ss	Sewer/Sewer Manhole		
sv sv - <del></del>	Stormwater/Stormwater Manhole/Pit		
v	Water/Water Meter		
	Stormwater Gully Trap		
RV RV	Roofwater		
$\rightarrow$	Kerb Adapter		
	Area to be Filled		
RL57.32	Design Pad Level		
~~~~	Proposed Driveway		
$\langle \square$	Zero Lot Line Boundary		
	<ul> <li>1.8m High Acoustic Fence (Installed by Developer)</li> </ul>		
Notes			
<ol> <li>Finished surface wall details and prop on 18-02-2020.</li> </ol>	ntegral part of this plan. contours, depth of fill contours, retaining posed services provided by Peak Urban		
<ol> <li>Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length &amp; thickness of these walls.</li> </ol>			
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which			
affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with			
AS3798-2007 under Level 1 supervision. 6. This plan has been prepared by Wolter Consulting Group Pty			
Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).			
Vi	llage		

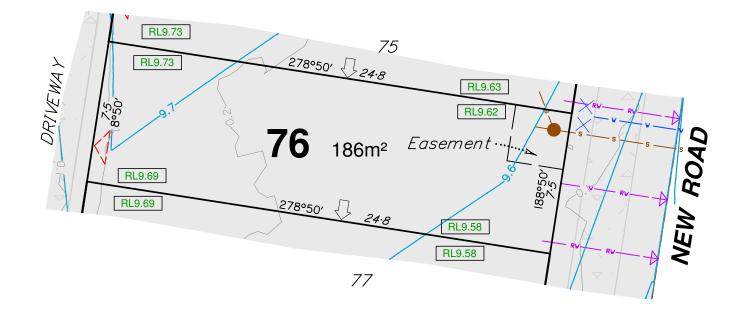






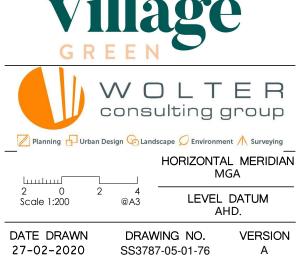
DISCL	OSURE PLAN	
For Proposed Lot 75		
Village Green - Stage 5		
Currently Described	As	
RPD: Locality:	Part of Lot 1 on SP288657 Palmview	
Local Authority:	Sunshine Coast Regional	
Legend:		
<u> </u>	Finished Surface Contours (0.1m Interval)	
I.0	Depth of Fill Contours (0.1m Interval)	
	Easement Boundary	
	Kerb Line	
ss	Sewer/Sewer Manhole	
sv sv - <del></del>	Stormwater/Stormwater Manhole/Pit	
$ ^{\vee} ^{\vee}\rightarrow$	Water/Water Meter	
	Stormwater Gully Trap	
RV RV	Roofwater	
$\rightarrow$	Kerb Adapter	
	Area to be Filled	
RL57.32	Design Pad Level	
~~~~	Proposed Driveway	
$\langle \neg$	Zero Lot Line Boundary	
	<ul> <li>1.8m High Acoustic Fence (Installed by Developer)</li> </ul>	
Notes: 1. This note is an integral part of this plan. 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 18-02-2020. 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material,		
location, length & thickness of these walls. 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision. 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).		
village		

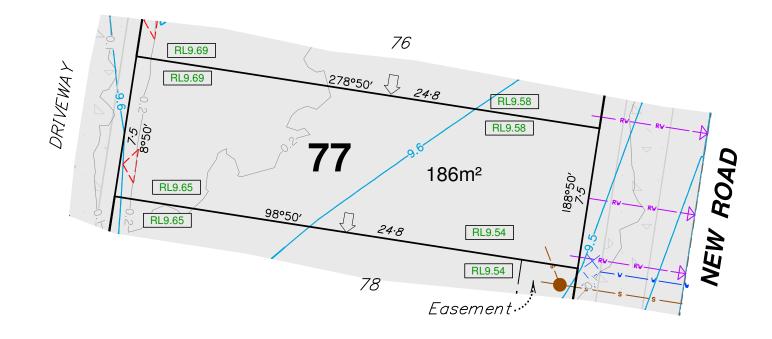
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DATE DRAWN 27-02-2020	DRAWING SS3787-0		VERSION A





DISCL	OSURE PLAN		
For Proposed Lot 76			
Village Green - Stage 5			
Currently Described RPD:			
Locality: Local Authority:	Palmview Sunshine Coast Regional		
Legend:			
<u> </u>	Finished Surface Contours (0.1m Interval)		
I.0	Depth of Fill Contours (0.1m Interval)		
	Easement Boundary		
· · · ·	Kerb Line		
ss	Sewer/Sewer Manhole		
sv sv - <del></del>	Stormwater/Stormwater Manhole/Pit		
v v	Water/Water Meter		
	Stormwater Gully Trap		
RV RV	Roofwater		
$\rightarrow$	Kerb Adapter		
	Area to be Filled		
RL57.32	Design Pad Level		
~~~~	Proposed Driveway		
$\langle \Box$	Zero Lot Line Boundary		
	<ul> <li>1.8m High Acoustic Fence (Installed by Developer)</li> </ul>		
	(installed by Developer)		
<ol> <li>Finished surface wall details and prop on 18-02-2020.</li> </ol>	ntegral part of this plan. contours, depth of fill contours, retaining posed services provided by Peak Urban		
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.			
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which			
affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with			
6. This plan has bee	er Level 1 supervision. n prepared by Wolter Consulting Group Pty		
Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).			
village			

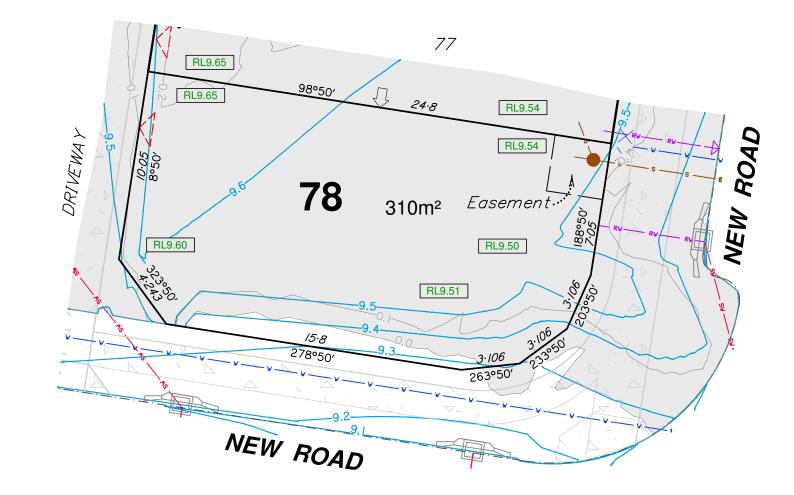






DISCL	OSURE PLAN	
For Proposed Lot 77		
Village Green - Stage 5		
Currently Described		
RPD:	Part of Lot 1 on SP288657	
Locality: Local Authority:	Palmview Sunshine Coast Regional	
Legend:		
<u> </u>	Finished Surface Contours (0.1m Interval)	
I.0	Depth of Fill Contours (0.1m Interval)	
	Easement Boundary	
	Kerb Line	
ss	Sewer/Sewer Manhole	
sv sv - <del></del>	Stormwater/Stormwater Manhole/Pit	
$$ v $$ v $\rightarrow$	Water/Water Meter	
	Stormwater Gully Trap	
RV RV	Roofwater	
$\rightarrow$	Kerb Adapter	
	Area to be Filled	
RL57.32	Design Pad Level	
~~~~	Proposed Driveway	
$\langle \Box$	Zero Lot Line Boundary	
	1.8m High Acoustic Fence (Installed by Developer)	
Notes:		
1. This note is an in	ntegral part of this plan.	
wall details and prop	contours, depth of fill contours, retaining posed services provided by Peak Urban	
on 18-02-2020. 3. Location of retaining walls are indicative only. Site		
conditions will dictate construction limits to the material,		
location, length & thickness of these walls. 4. This plan has been prepared under the current legislation		
for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which		
affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.		
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.		
6. This plan has been prepared by Wolter Consulting Group Pty		
Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).		
village		

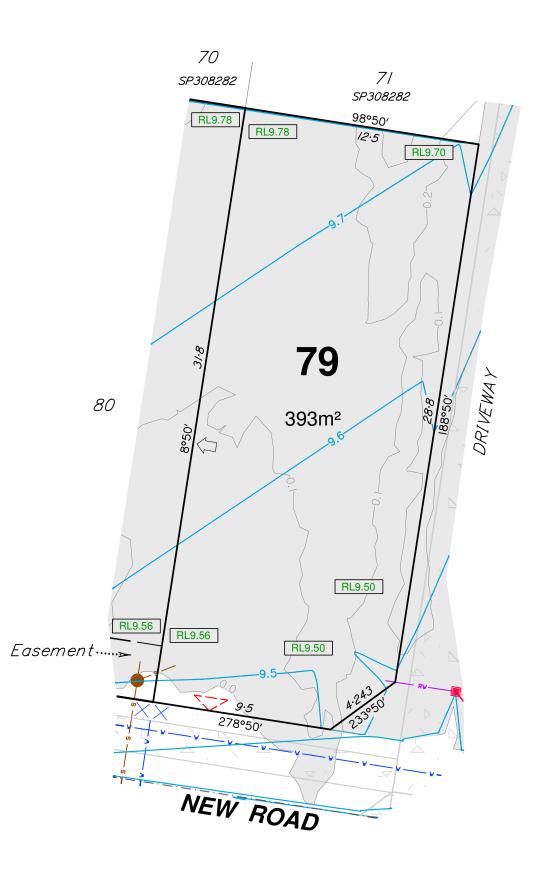
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DATE DRAWN 27-02-2020	DRAWING NO. SS3787-05-01-77	VERSION A





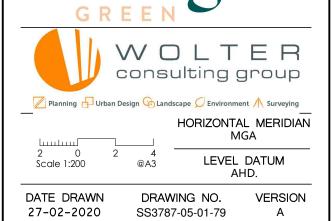
DISCL	OSURE PLAN		
For Proposed Lot 78			
Village Green - Stage 5			
Currently Described			
RPD: Locality:	Part of Lot 1 on SP288657 Palmview		
Local Authority:	Sunshine Coast Regional		
Legend:			
<u> </u>	Finished Surface Contours (0.1m Interval)		
I.0	Depth of Fill Contours (0.1m Interval)		
	Easement Boundary		
· · · ·	Kerb Line		
ss	Sewer/Sewer Manhole		
sv sv - <del>()</del>	Stormwater/Stormwater Manhole/Pit		
$-$ v $-$ v $\rightarrow$	Water/Water Meter		
	Stormwater Gully Trap		
RV RV	Roofwater		
$\rightarrow$	Kerb Adapter		
	Area to be Filled		
RL57.32	Design Pad Level		
~~~~	Proposed Driveway		
$\langle -$	Zero Lot Line Boundary		
	1.8m High Acoustic Fence (Installed by Developer)		
Notes:			
1. This note is an i	ntegral part of this plan.		
2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban			
on 18-02-2020. 3. Location of retaining walls are indicative only. Site			
conditions will dictate construction limits to the material,			
location, length & thickness of these walls. 4. This plan has been prepared under the current legislation			
for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which			
affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.			
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.			
6. This plan has been prepared by Wolter Consulting Group Pty			
Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).			
village			

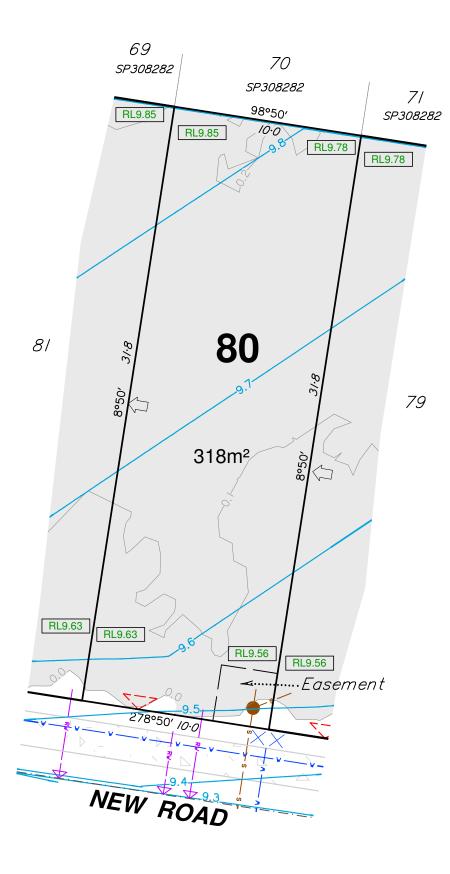
G R E E N		
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DATE DRAWN 27-02-2020	DRAWING NO. SS3787-05-01-7	





DISCLOSURE PLAN				
For Proposed Lot 79				
Village Green - Stage 5				
Currently Described	As			
RPD: Locality:	Part of Lot 1 on SP288657 Palmview			
Local Authority:	Sunshine Coast Regional			
Legend:				
<u> </u>	Finished Surface Contours (0.1m Interval)			
I.0	Depth of Fill Contours (0.1m Interval)			
	Easement Boundary			
	Kerb Line			
ss	Sewer/Sewer Manhole			
sv sv	Stormwater/Stormwater Manhole/Pit			
$ \vee$ $ \vee$ $\rightarrow$	Water/Water Meter			
	Stormwater Gully Trap			
RV RV	Roofwater			
$\rightarrow$	Kerb Adapter			
Area to be Filled				
RL57.32	Design Pad Level			
~~~~	Proposed Driveway			
$\langle \Box$	Zero Lot Line Boundary			
	<ul> <li>1.8m High Acoustic Fence (Installed by Developer)</li> </ul>			
Notes:				
1. This note is an in	ntegral part of this plan.			
wall details and prop	contours, depth of fill contours, retaining posed services provided by Peak Urban			
on 18-02-2020. 3. Location of retain	ing walls are indicative only. Site			
conditions will dictate construction limits to the material, location, length & thickness of these walls.				
4. This plan has been prepared under the current legislation				
for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which				
affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.				
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.				
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales				
Act QLD 1984 (as amended).				
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village				
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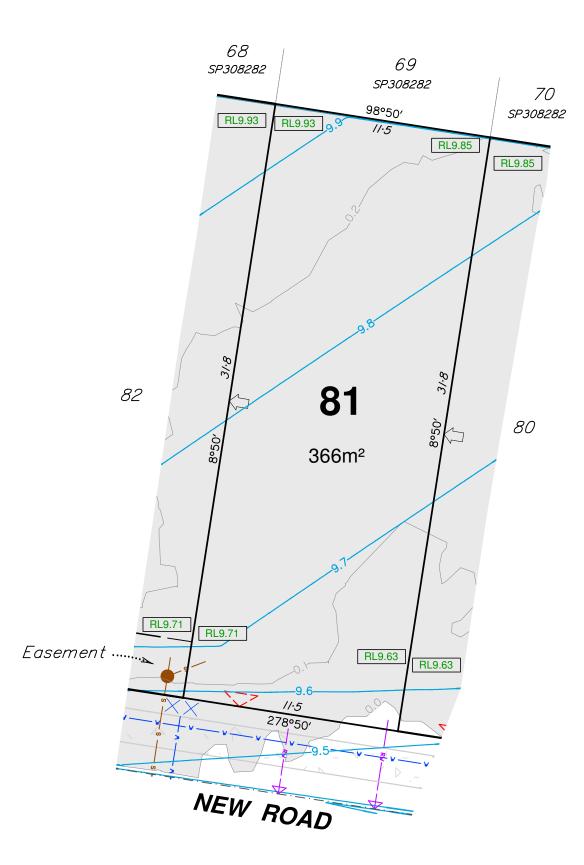






DISCL	OSURE PLAN			
For Proposed Lot 80				
	Village Green - Stage 5			
Currently Described RPD:	As Part of Lot 1 on SP288657			
Locality: Local Authority:	Palmview Sunshine Coast Regional			
Legend:				
— 46.0 ——	Finished Surface Contours (0.1m Interval)			
I.0	Depth of Fill Contours (0.1m Interval)			
	Easement Boundary			
	Kerb Line			
ss	Sewer/Sewer Manhole			
sv sv - <del>()</del>	Stormwater/Stormwater Manhole/Pit			
$-$ v $-$ v $\rightarrow$	Water/Water Meter			
	Stormwater Gully Trap			
RV RV	Roofwater			
$\rightarrow$	Kerb Adapter			
	Area to be Filled			
RL57.32	Design Pad Level			
~~~~	Proposed Driveway			
$\langle \Box$	Zero Lot Line Boundary			
	1.8m High Acoustic Fence (Installed by Developer)			
Natas				
<ol> <li>Finished surface wall details and prop on 18-02-2020.</li> </ol>	ntegral part of this plan. contours, depth of fill contours, retaining posed services provided by Peak Urban			
<ol> <li>Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length &amp; thickness of these walls.</li> </ol>				
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information				
only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.				
<ol> <li>This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).</li> </ol>				
Vi	llage			

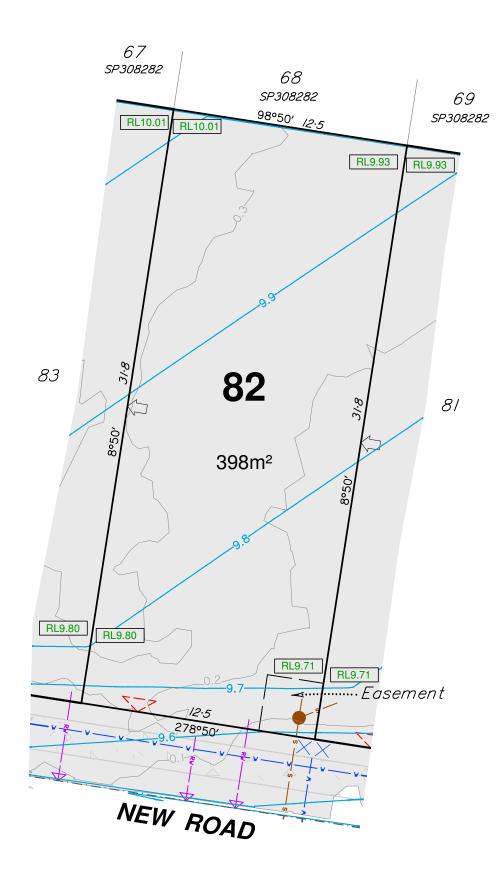






DISCL	OSURE PLAN				
For Proposed Lot 81					
	Village Green - Stage 5				
Currently Described	As				
RPD: Locality:	Part of Lot 1 on SP288657 Palmview				
Local Authority:	Sunshine Coast Regional				
Legend:					
	Finished Surface Contours (0.1m Interval)				
I.0	Depth of Fill Contours (0.1m Interval)				
	Easement Boundary				
	Kerb Line				
s s	Sewer/Sewer Manhole				
sv sv	Stormwater/Stormwater Manhole/Pit				
	Water/Water Meter				
	Stormwater Gully Trap				
RV RV	Roofwater				
$\rightarrow$	Kerb Adapter				
	Area to be Filled				
RL57.32	Design Pad Level				
~~~~	Proposed Driveway				
$\langle -$	Zero Lot Line Boundary				
	<ul> <li>1.8m High Acoustic Fence (Installed by Developer)</li> </ul>				
Notes:					
1. This note is an in	ntegral part of this plan.				
wall details and prop	contours, depth of fill contours, retaining posed services provided by Peak Urban				
on 18-02-2020. 3. Location of retaining walls are indicative only. Site					
conditions will dictate construction limits to the material, location, length & thickness of these walls.					
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any					
other purpose. This plan may not contain all services which					
affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.					
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.					
6. This plan has been prepared by Wolter Consulting Group Pty					
Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).					
/11					
village					

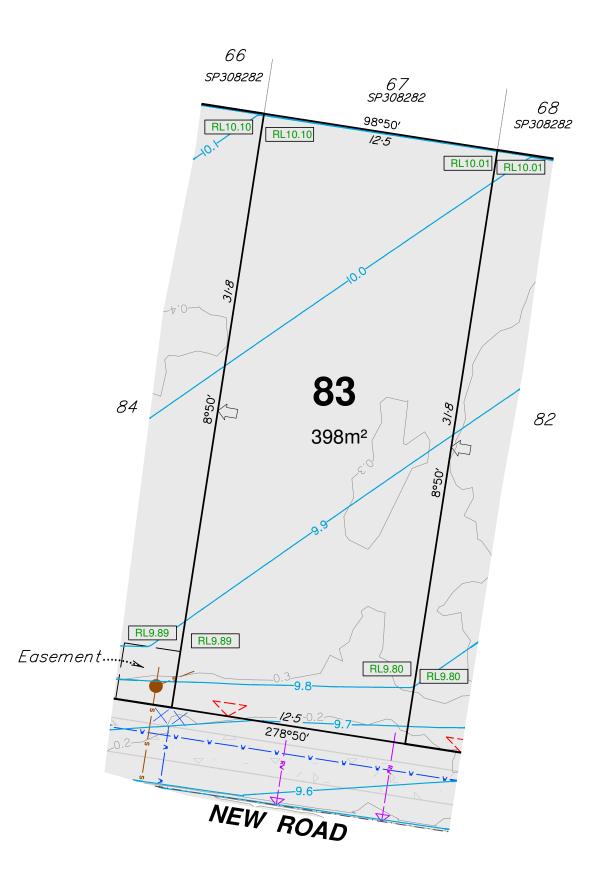
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DISCL	OSURE PLAN		
For Proposed Lot 82			
	e Green - Stage 5		
Currently Described			
RPD: Locality:	Part of Lot 1 on SP288657 Palmview		
Local Authority:	Sunshine Coast Regional		
Legend:			
— 46.0 —	Finished Surface Contours (0.1m Interval)		
I.0	Depth of Fill Contours (0.1m Interval)		
	Easement Boundary		
	Kerb Line		
ss	Sewer/Sewer Manhole		
sv sv - <del>()  </del>	Stormwater/Stormwater Manhole/Pit		
vvX	Water/Water Meter		
	Stormwater Gully Trap		
RV RV	Roofwater		
$\rightarrow$	Kerb Adapter		
	Area to be Filled		
RL57.32	Design Pad Level		
~~~~	Proposed Driveway		
$\langle \neg$	Zero Lot Line Boundary		
	1.8m High Acoustic Fence (Installed by Developer)		
Notes:			
<ol> <li>This note is an in</li> <li>Finished surface of</li> </ol>	ntegral part of this plan. contours, depth of fill contours, retaining		
wall details and prop on 18-02-2020.	posed services provided by Peak Urban		
3. Location of retaining walls are indicative only. Site			
conditions will dictate construction limits to the material, location, length & thickness of these walls.			
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any			
other purpose. This plan may not contain all services which affect the subject lot and is based on design information			
only. This plan should not be used for any detailed designs.			
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.			
6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales			
Act QLD 1984 (as amended).			
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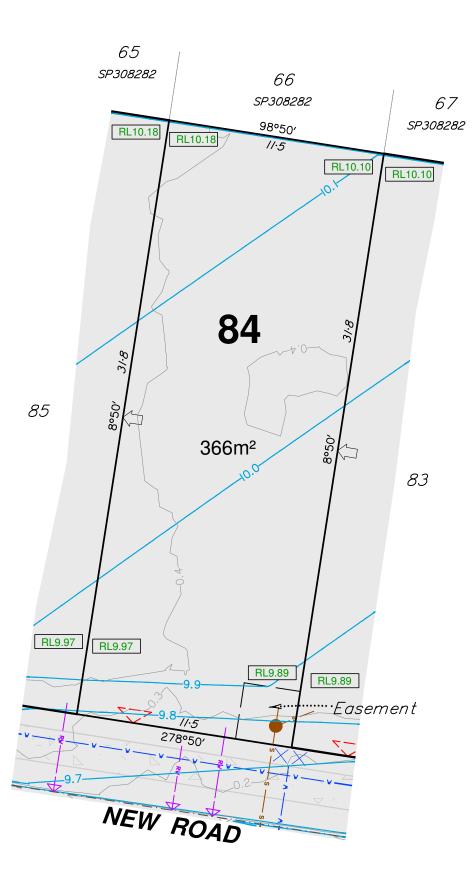
<b>Village</b> GREEN				
WOLTER consulting group				
💋 Planning 🗗 Urban D	esign ᢙ Landscape 💭 Enviro	onment 州 Surveying		
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27-02-2020	SS3787-05-01-82	A		





DISCL	OSURE PLAN				
For Proposed Lot 83					
Village Green - Stage 5					
Currently Described					
RPD: Locality:	Part of Lot 1 on SP288657 Palmview				
Local Authority:	Sunshine Coast Regional				
Legend:					
<u> </u>	Finished Surface Contours (0.1m Interval)				
I.0	Depth of Fill Contours (0.1m Interval)				
	Easement Boundary				
· · · · ·	Kerb Line				
ss	Sewer/Sewer Manhole				
sv sv - <del>()</del>	Stormwater/Stormwater Manhole/Pit				
$-$ v $-$ v $\rightarrow$	Water/Water Meter				
	Stormwater Gully Trap				
RV RV	Roofwater				
$\rightarrow$	Kerb Adapter				
Area to be Filled					
RL57.32	Design Pad Level				
~~~~	Proposed Driveway				
$\langle \Box$	Zero Lot Line Boundary				
	. 1.8m High Acoustic Fence (Installed by Developer)				
Notes:					
1. This note is an in	ntegral part of this plan.				
wall details and prop	contours, depth of fill contours, retaining posed services provided by Peak Urban				
on 18-02-2020. 3. Location of retain	ing walls are indicative only. Site				
conditions will dictate construction limits to the material, location, length & thickness of these walls.					
4. This plan has been prepared under the current legislation					
for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which					
affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.					
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.					
6. This plan has been prepared by Wolter Consulting Group Pty					
Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).					
<b>^11</b>					
village					

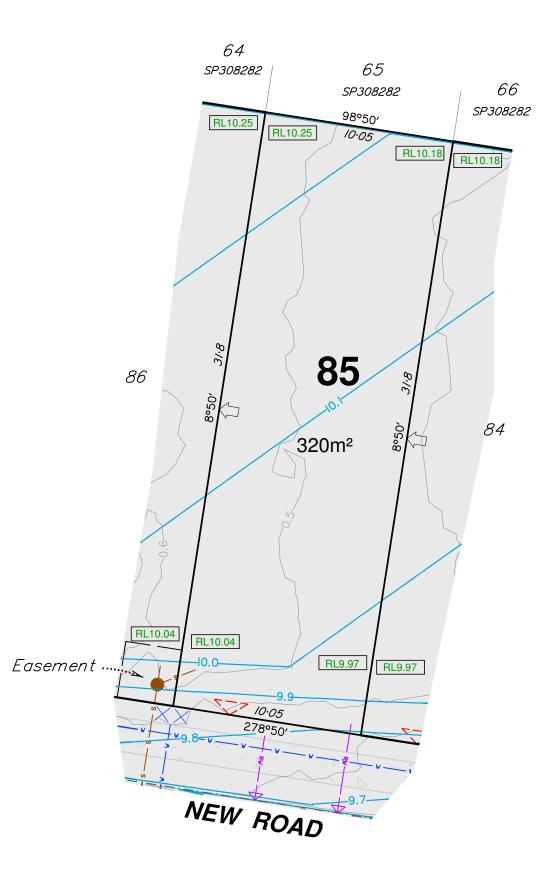






DISCL	OSURE PLAN			
For Proposed Lot 84				
	e Green - Stage 5			
Currently Described	As			
RPD: Locality:	Part of Lot 1 on SP288657 Palmview			
Local Authority:	Sunshine Coast Regional			
Legend:				
— 46.0 ——	Finished Surface Contours (0.1m Interval)			
I.0	Depth of Fill Contours (0.1m Interval)			
	Easement Boundary			
	Kerb Line			
ss	Sewer/Sewer Manhole			
sv sv - <del>O  </del>	Stormwater/Stormwater Manhole/Pit			
$ \cdot$ $\rightarrow$ $\rightarrow$	Water/Water Meter			
	Stormwater Gully Trap			
RV RV	Roofwater			
	Kerb Adapter			
	Area to be Filled			
RL57.32	Design Pad Level			
~~~~	Proposed Driveway			
$\langle \Box$	Zero Lot Line Boundary			
	<ul> <li>1.8m High Acoustic Fence (Installed by Developer)</li> </ul>			
	(Installed by Developer)			
<u></u>				
2. Finished surface	ntegral part of this plan. contours, depth of fill contours, retaining posed services provided by Peak Urban			
on 18-02-2020.				
3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material,				
location, length & thickness of these walls. 4. This plan has been prepared under the current legislation				
for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which				
affect the subject lot and is based on design information				
only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with				
AS3798-2007 under Level 1 supervision. 6. This plan has been prepared by Wolter Consulting Group Pty				
Ltd, Cadastral Surveyor to satisfy excition 11 of the Land Sales Act QLD 1984 (as amended).				
village				

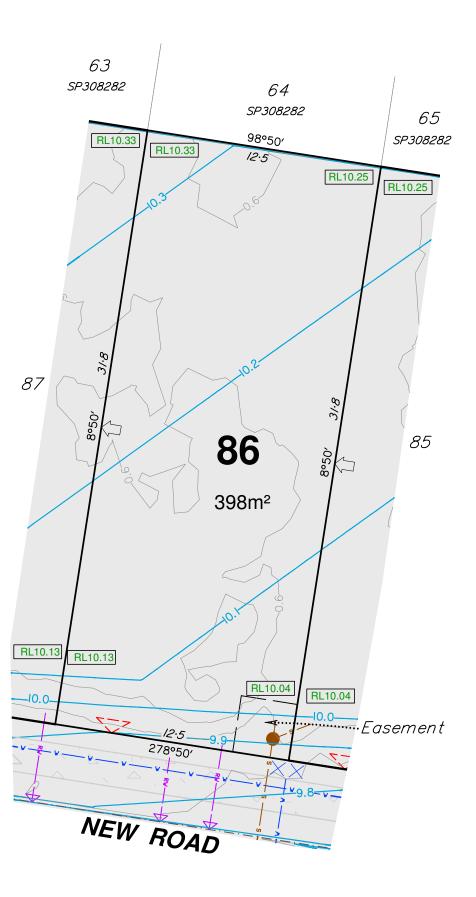






DISCL	OSURE PLAN			
For Proposed Lot 85				
Village Green - Stage 5				
Currently Described RPD:	As Part of Lot 1 on SP288657			
Locality: Local Authority:	Palmview Sunshine Coast Regional			
Legend:				
	Finished Surface Contours (0.1m Interval)			
I.0	Depth of Fill Contours (0.1m Interval)			
	Easement Boundary			
	Kerb Line			
ss	Sewer/Sewer Manhole			
sv sv - <del></del>	Stormwater/Stormwater Manhole/Pit			
$-$ v $-$ v $\rightarrow$	Water/Water Meter			
	Stormwater Gully Trap			
RV RV	Roofwater			
$\rightarrow$	Kerb Adapter			
	Area to be Filled			
RL57.32	Design Pad Level			
~~~~~	Proposed Driveway			
$\langle \neg$	Zero Lot Line Boundary			
	. 1.8m High Acoustic Fence (Installed by Developer)			
<ol> <li>Finished surface wall details and prop on 18-02-2020.</li> </ol>	ntegral part of this plan. contours, depth of fill contours, retaining posed services provided by Peak Urban ing walls are indicative only. Site			
conditions will dictate construction limits to the material, location, length & thickness of these walls.				
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which				
affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with				
AS3798-2007 under Level 1 supervision. 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).				
village				

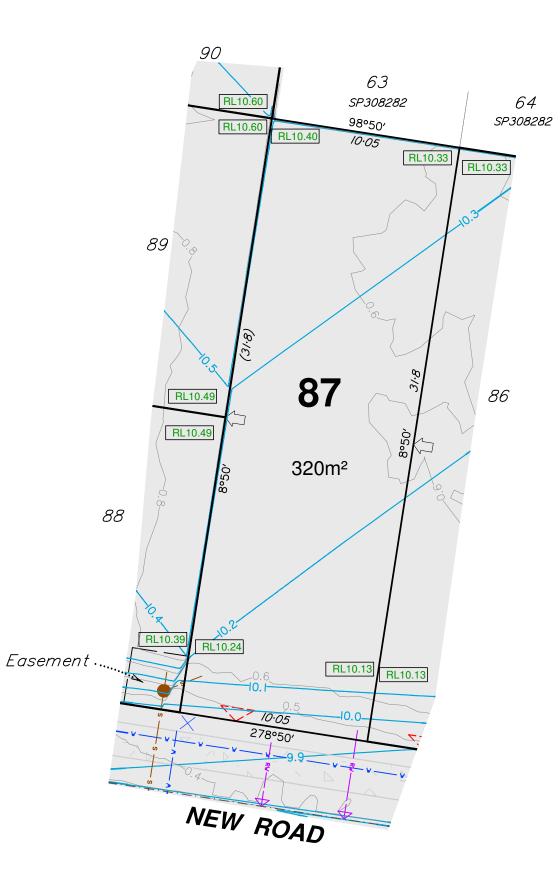
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DISCL	OSURE PLAN				
For Proposed Lot 86					
Village Green - Stage 5					
Currently Described RPD:	Currently Described As RPD: Part of Lot 1 on SP288657				
Locality: Local Authority:	Palmview Sunshine Coast Regional				
Legend:					
— 46.0 ——	Finished Surface Contours (0.1m Interval)				
I.0	Depth of Fill Contours (0.1m Interval)				
	Easement Boundary				
	Kerb Line				
ss	Sewer/Sewer Manhole				
sw sw	Stormwater/Stormwater Manhole/Pit				
$ ^{\vee} ^{\vee}$ $\rightarrow$	Water/Water Meter				
	Stormwater Gully Trap				
RV RV	Roofwater				
$\rightarrow$	Kerb Adapter				
	Area to be Filled				
RL57.32	Design Pad Level				
~~~~	Proposed Driveway				
$\langle \neg$	Zero Lot Line Boundary				
	1.8m High Acoustic Fence (Installed by Developer)				
Notes: 1. This note is an integral part of this plan. 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 18-02-2020. 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls. 4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information					
<ul> <li>only. This plan should not be used for any detailed designs.</li> <li>5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.</li> <li>6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).</li> </ul>					
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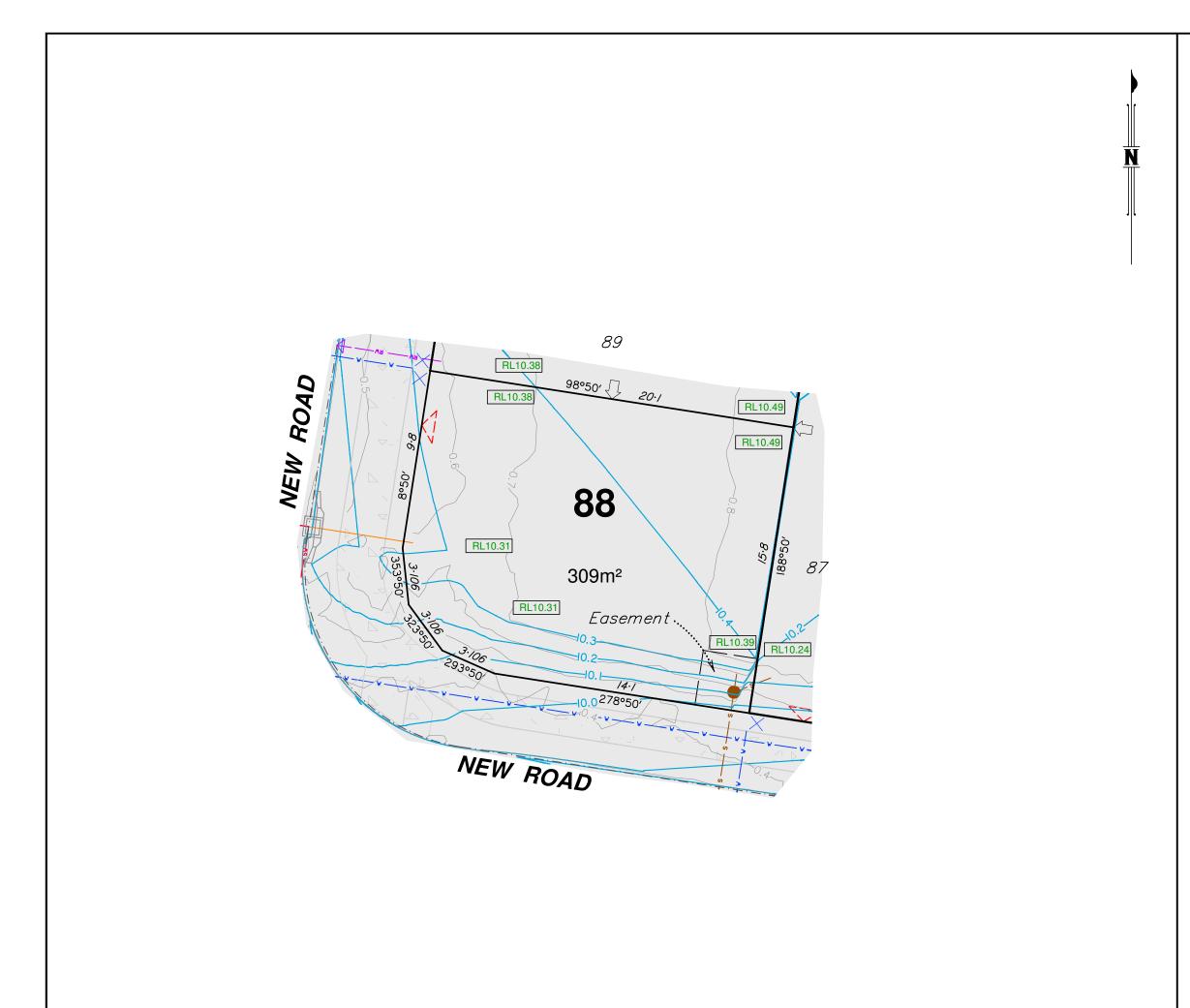
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DISCL	OSURE PLAN
	oposed Lot 87
	e Green - Stage 5
Currently Described	
RPD:	Part of Lot 1 on SP288657
Locality: Local Authority:	Palmview Sunshine Coast Regional
Legend:	
<u> </u>	Finished Surface Contours (0.1m Interval)
I.0	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
· · · ·	Kerb Line
ss	Sewer/Sewer Manhole
sv sv	Stormwater/Stormwater Manhole/Pit
$-$ v $-$ v $\rightarrow$	Water/Water Meter
	Stormwater Gully Trap
RV RV	Roofwater
$\rightarrow$	Kerb Adapter
	Area to be Filled
RL57.32	Design Pad Level
~~~~	Proposed Driveway
$\langle \Box$	Zero Lot Line Boundary
	1.8m High Acoustic Fence
	(Installed by Developer)
Notes:	
1. This note is an in	ntegral part of this plan.
	contours, depth of fill contours, retaining bosed services provided by Peak Urban
on 18-02-2020. 3. Location of retain	ing walls are indicative only. Site
conditions will dictate	e construction limits to the material, ickness of these walls.
4. This plan has be	en prepared under the current legislation
other purpose. This	resales and should not be used for any plan may not contain all services which
	t and is based on design information Id not be used for any detailed designs.
	l to be completed in accordance with er Level 1 supervision.
6. This plan has been	n prepared by Wolter Consulting Group Pty or to satisfy Section 11 of the Land Sales
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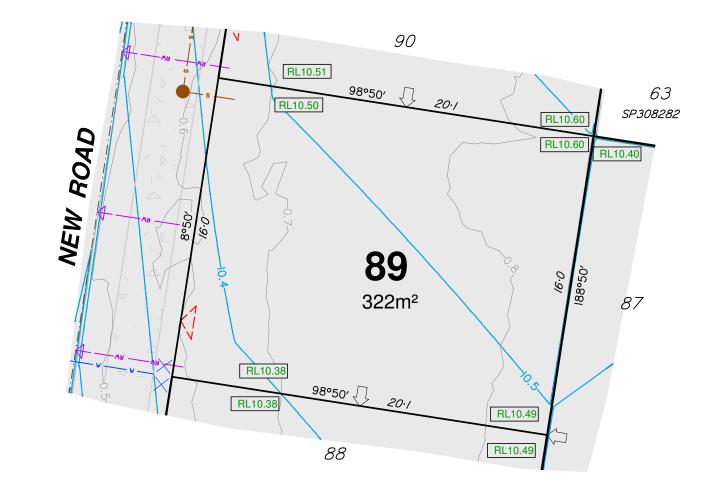






DISCL	OSURE PLAN
	oposed Lot 88
	e Green - Stage 5
Currently Described RPD: Locality:	As Part of Lot 1 on SP288657 Palmview
Local Authority:	Sunshine Coast Regional
Legend:	
	Finished Surface Contours (0.1m Interval)
I.0	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
ss	Sewer/Sewer Manhole
sv sv <del>() [</del>	Stormwater/Stormwater Manhole/Pit
	Water/Water Meter
	Stormwater Gully Trap
RV RV	Roofwater
$\rightarrow$	Kerb Adapter
	Area to be Filled
RL57.32	Design Pad Level
~~~~	Proposed Driveway
$\langle \square$	Zero Lot Line Boundary
	<ul> <li>1.8m High Acoustic Fence (Installed by Developer)</li> </ul>
Notos	
<ol> <li>Finished surface wall details and prop on 18-02-2020.</li> </ol>	ntegral part of this plan. contours, depth of fill contours, retaining posed services provided by Peak Urban
conditions will dictate location, length & th	ning walls are indicative only. Site e construction limits to the material, nickness of these walls.
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5. Compaction of fill	Id not be used for any detailed designs. I to be completed in accordance with
	er Level 1 supervision. n prepared by Wolter Consulting Group Pty
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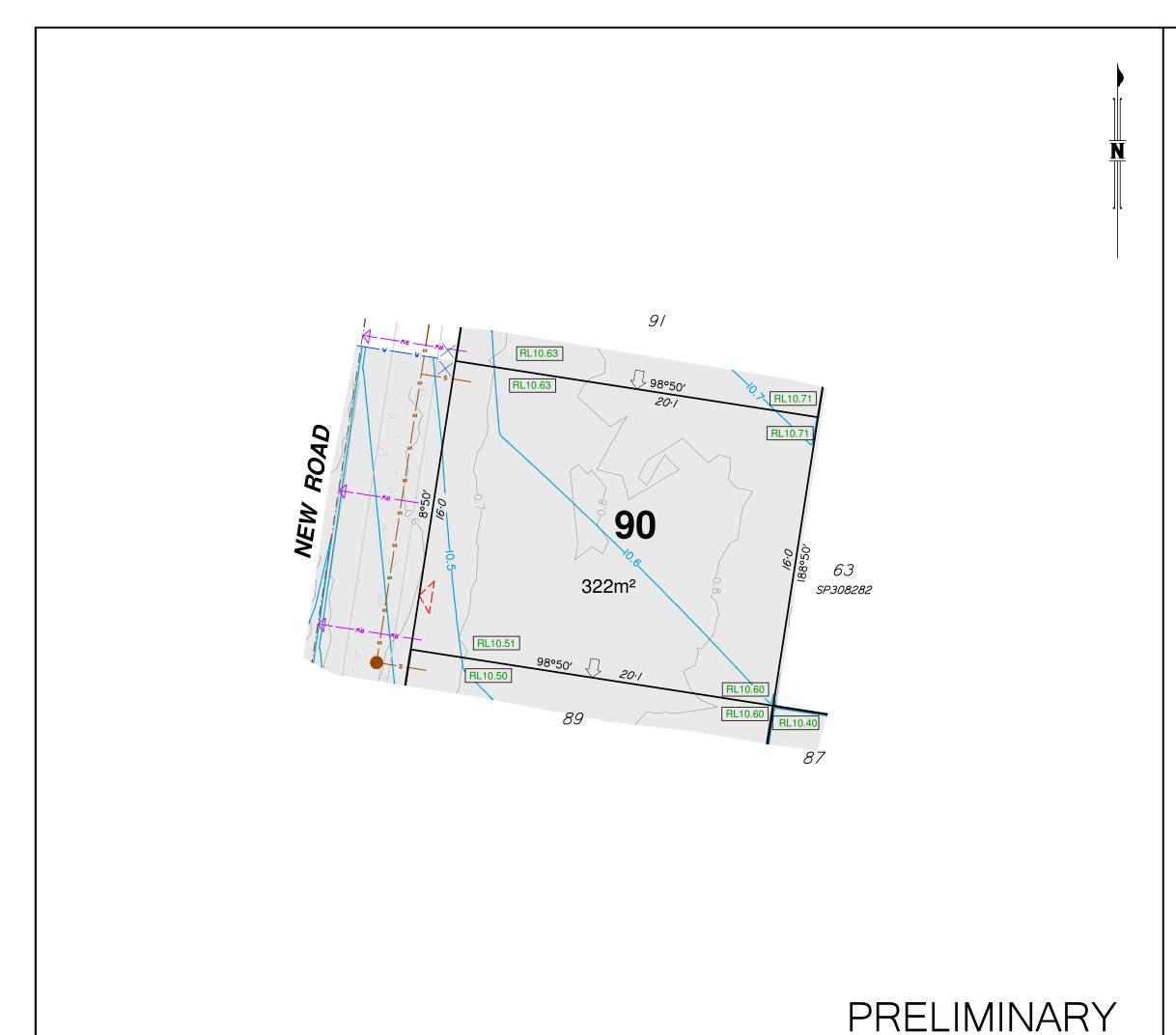




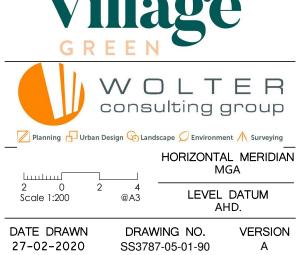


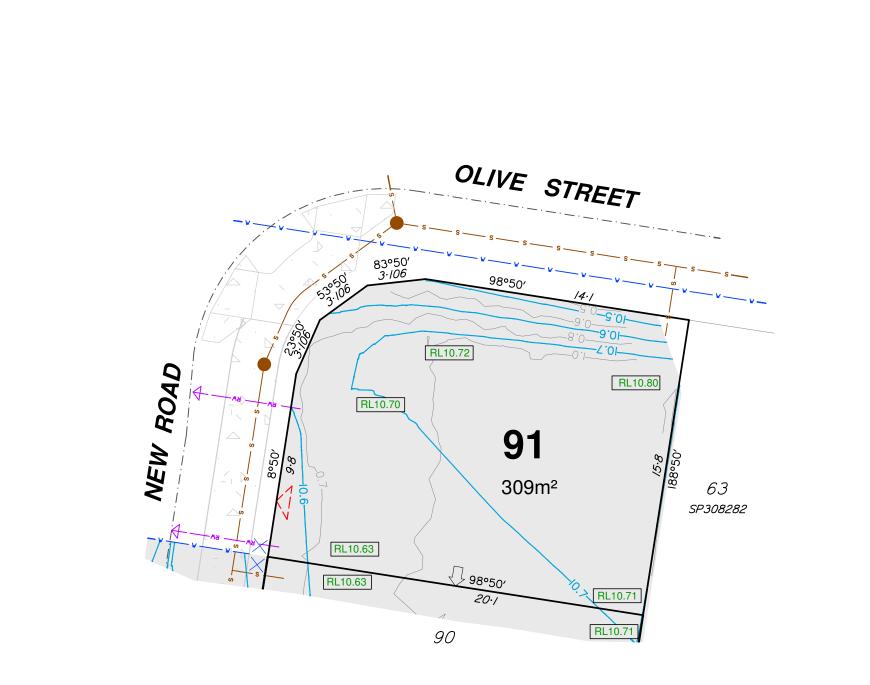
DISCL	OSURE PLAN
For Pr	oposed Lot 89
	e Green - Stage 5
Currently Described	
RPD: Locality:	Part of Lot 1 on SP288657 Palmview
Local Authority:	Sunshine Coast Regional
Legend:	
<u> </u>	Finished Surface Contours (0.1m Interval)
I.0	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
· · · ·	Kerb Line
ss	Sewer/Sewer Manhole
sv sv - <del></del>	Stormwater/Stormwater Manhole/Pit
$-$ v $-$ v $\rightarrow$	Water/Water Meter
	Stormwater Gully Trap
RV RV	Roofwater
$\rightarrow$	Kerb Adapter
	Area to be Filled
RL57.32	Design Pad Level
~~~~	Proposed Driveway
$\langle \Box$	Zero Lot Line Boundary
	<ul> <li>1.8m High Acoustic Fence (Installed by Developer)</li> </ul>
<ol> <li>Finished surface wall details and prop on 18-02-2020.</li> </ol>	ntegral part of this plan. contours, depth of fill contours, retaining posed services provided by Peak Urban
conditions will dictate location, length & th	ing walls are indicative only. Site e construction limits to the material, iickness of these walls.
<ol> <li>This plan has be for the purpose of p other purpose. This affect the subject lot only. This plan shou 5. Compaction of fill</li> </ol>	en prepared under the current legislation presales and should not be used for any plan may not contain all services which t and is based on design information ild not be used for any detailed designs. I to be completed in accordance with er Level 1 supervision.
	n prepared by Wolter Consulting Group Pty or to satisfy Section 11 of the Land Sales amended).
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DISCL	OSURE PLAN
	oposed Lot 90
	e Green - Stage 5
Currently Described	As
RPD: Locality:	Part of Lot 1 on SP288657 Palmview
Local Authority:	Sunshine Coast Regional
<u>Legend:</u> 46.0	Finished Surface Contours (0.1m Interval)
l.0	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
· · · ·	Kerb Line
s s	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole/Pit
v×	Water/Water Meter
	Stormwater Gully Trap
RV RV	Roofwater
$\rightarrow$	Kerb Adapter
	Area to be Filled
RL57.32	Design Pad Level
~_~~	Proposed Driveway
$\langle \Box$	Zero Lot Line Boundary
	1.8m High Acoustic Fence
	(Installed by Developer)
Notes:	
1. This note is an i	ntegral part of this plan. contours, depth of fill contours, retaining
wall details and propon 18-02-2020.	posed services provided by Peak Urban
3. Location of retain	ing walls are indicative only. Site e construction limits to the material,
location, length & th	ickness of these walls.
for the purpose of p	en prepared under the current legislation presales and should not be used for any
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	Id not be used for any detailed designs. I to be completed in accordance with
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	or to satisfy Section 11 of the Land Sales
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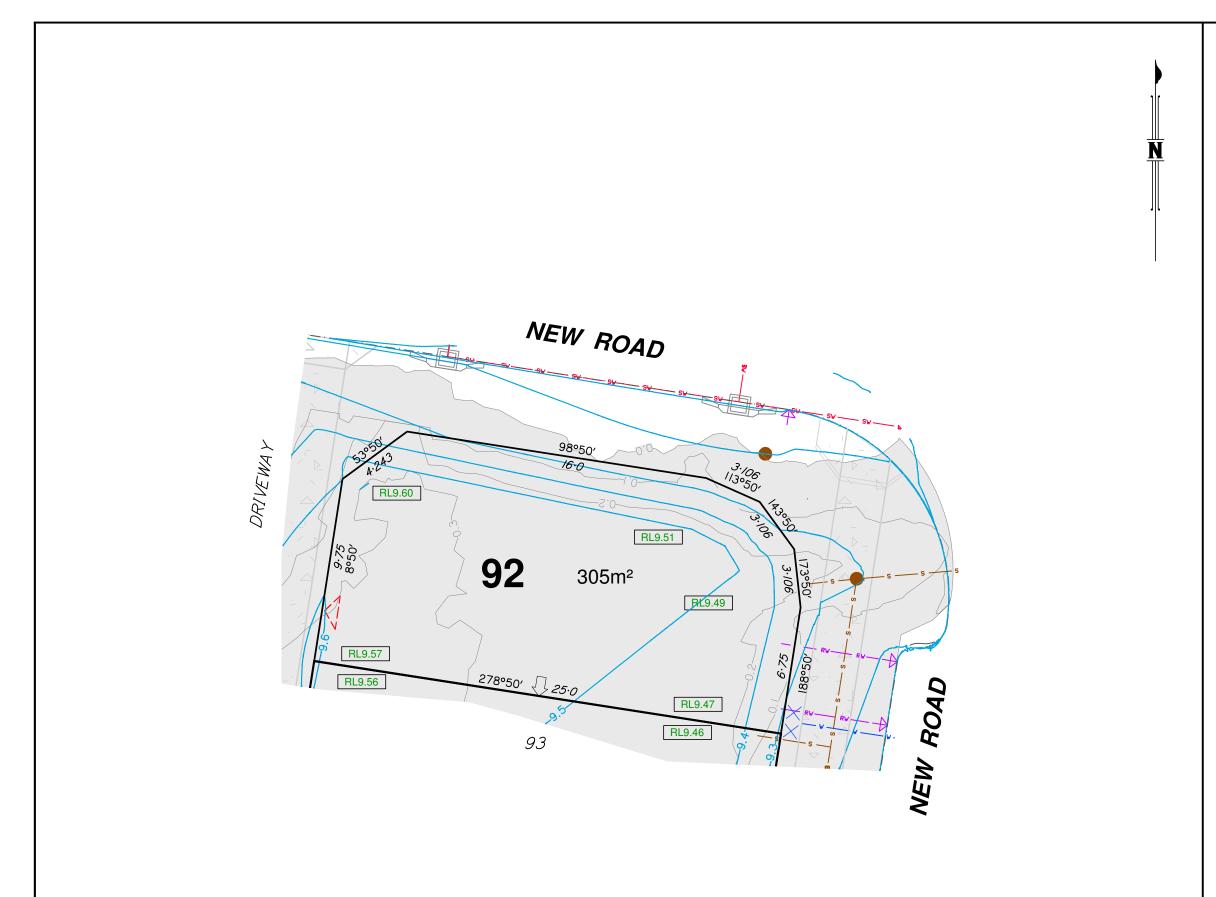






DISCL	OSURE PLAN	
For Proposed Lot 91		
	e Green - Stage 5	
Currently Described	As	
RPD: Locality:	Part of Lot 1 on SP288657 Palmview	
Local Authority:	Sunshine Coast Regional	
Legend:		
<u> </u>	Finished Surface Contours (0.1m Interval)	
I.0	Depth of Fill Contours (0.1m Interval)	
	Easement Boundary	
	Kerb Line	
s s	Sewer/Sewer Manhole	
sv sv - <del>()</del>	Stormwater/Stormwater Manhole/Pit	
vv>	Water/Water Meter	
	Stormwater Gully Trap	
RV RV	Roofwater	
$\rightarrow$	Kerb Adapter	
	Area to be Filled	
RL57.32	Design Pad Level	
~ <b>~</b> ~	Proposed Driveway	
$\langle \neg$	Zero Lot Line Boundary	
	. 1.8m High Acoustic Fence (Installed by Developer)	
Notes:		
1. This note is an in	ntegral part of this plan.	
<ol> <li>Finished surface wall details and prop</li> </ol>	contours, depth of fill contours, retaining posed services provided by Peak Urban	
on 18-02-2020.	ing walls are indicative only. Site	
conditions will dictate	e construction limits to the material,	
4. This plan has be	ickness of these walls. en prepared under the current legislation	
for the purpose of p other purpose. This	resales and should not be used for any plan may not contain all services which	
	and is based on design information Id not be used for any detailed designs.	
5. Compaction of fill	to be completed in accordance with er Level 1 supervision.	
6. This plan has been	n prepared by Wolter Consulting Group Pty	
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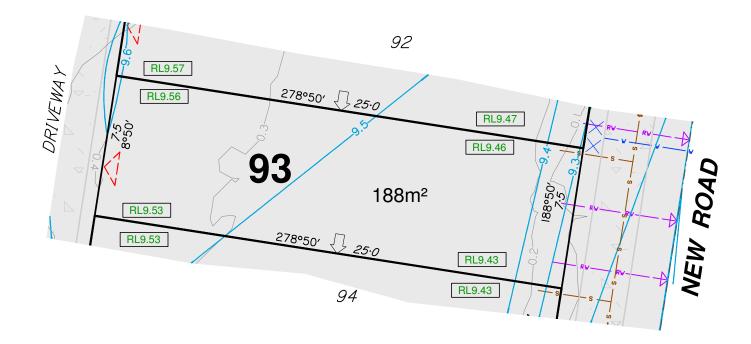
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DISCL	OSURE PLAN
For Pr	oposed Lot 92
	e Green - Stage 5
Currently Described	
RPD: Locality:	Part of Lot 1 on SP288657 Palmview
Local Authority:	Sunshine Coast Regional
Legend:	
— <b>46.0</b> —	Finished Surface Contours (0.1m Interval)
	Depth of Fill Contours (0.1m Interval)
	Easement Boundary Kerb Line
	Sewer/Sewer Manhole
ss	Stormwater/Stormwater Manhole/Pit
sv sv - <del>()  </del>	-
	Water/Water Meter Stormwater Gully Trap
	Roofwater
 	Kerb Adapter
	Area to be Filled
RL57.32	Design Pad Level
5 - 7	
	Proposed Driveway
$\langle \square$	Zero Lot Line Boundary
	<ul> <li>1.8m High Acoustic Fence (Installed by Developer)</li> </ul>
Notes:	
	ntegral part of this plan. contours, depth of fill contours, retaining
	posed services provided by Peak Urban
3. Location of retain	ing walls are indicative only. Site
	e construction limits to the material, nickness of these walls.
4. This plan has be	en prepared under the current legislation
other purpose. This	presales and should not be used for any plan may not contain all services which
	t and is based on design information Ild not be used for any detailed designs.
5. Compaction of fil	I to be completed in accordance with
	er Level 1 supervision. n prepared by Wolter Consulting Group Pty
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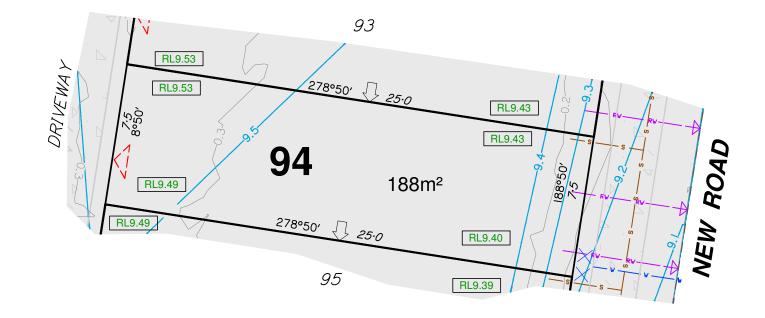


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DISCL	OSURE PLAN
For Pr	oposed Lot 93
	e Green - Stage 5
Currently Described	
RPD: Locality:	Part of Lot 1 on SP288657 Palmview
Local Authority:	Sunshine Coast Regional
Legend:	
	Finished Surface Contours (0.1m Interval)
I.0	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
ss	Sewer/Sewer Manhole
sv sv - <del></del>	Stormwater/Stormwater Manhole/Pit
$ ^{\vee} ^{\vee}$ $\rightarrow$	Water/Water Meter
	Stormwater Gully Trap
RV RV	Roofwater
$\rightarrow$	Kerb Adapter
	Area to be Filled
RL57.32	Design Pad Level
~_~~	Proposed Driveway
$\langle \neg$	Zero Lot Line Boundary
	1.8m High Acoustic Fence
	(Installed by Developer)
Notes:	ntegral part of this plan.
2. Finished surface	contours, depth of fill contours, retaining
on 18-02-2020.	posed services provided by Peak Urban
	ing walls are indicative only. Site e construction limits to the material,
location, length & th	ickness of these walls.
for the purpose of p	en prepared under the current legislation presales and should not be used for any
other purpose. This	plan may not contain all services which and is based on design information
only. This plan shou	Id not be used for any detailed designs.
	I to be completed in accordance with er Level 1 supervision.
6. This plan has been	n prepared by Wolter Consulting Group Pty
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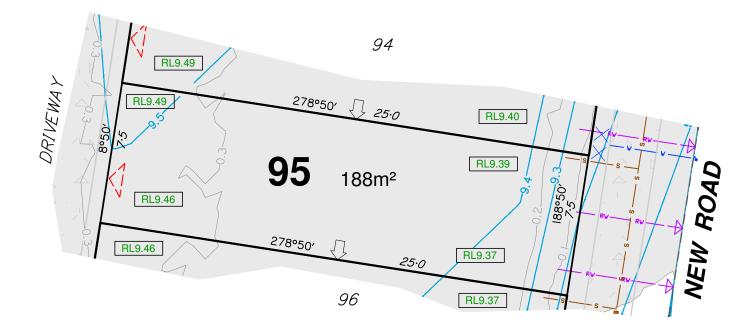
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DISCL	OSURE PLAN
	roposed Lot 94
	e Green - Stage 5
Currently Described	
RPD: Locality:	Part of Lot 1 on SP288657 Palmview
Local Authority:	Sunshine Coast Regional
Legend:	
<u> </u>	Finished Surface Contours (0.1m Interval)
I.0	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
ss	Sewer/Sewer Manhole
sv sv <del></del>	Stormwater/Stormwater Manhole/Pit
	Water/Water Meter
	Stormwater Gully Trap
RV RV	Roofwater
	Kerb Adapter
	Area to be Filled
RL57.32	Design Pad Level
~~~~	Proposed Driveway
$\langle \Box$	Zero Lot Line Boundary
	<ul> <li>1.8m High Acoustic Fence (Installed by Developer)</li> </ul>
	(initialitied by Developer)
Notes:	
1. This note is an i	integral part of this plan.
	contours, depth of fill contours, retaining posed services provided by Peak Urban
on 18-02-2020. 3. Location of retair	ning walls are indicative only. Site
conditions will dictat	e construction limits to the material,
4. This plan has be	nickness of these walls. een prepared under the current legislation
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	uld not be used for any detailed designs. I to be completed in accordance with
AS3798-2007 und	er Level 1 supervision.
<ol> <li>This plan has bee Ltd, Cadastral Survey</li> </ol>	n prepared by Wolter Consulting Group Pty or to satisfy Section 11 of the Land Sales
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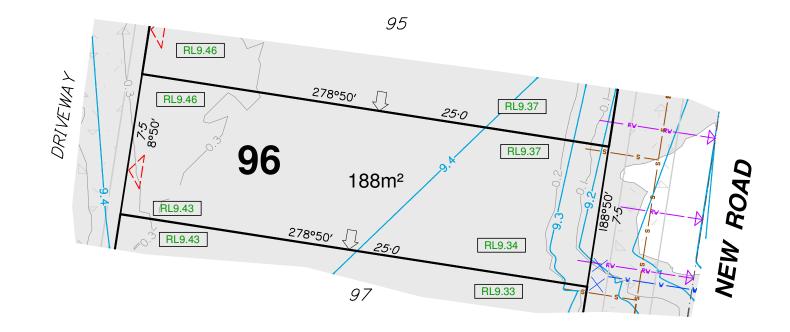
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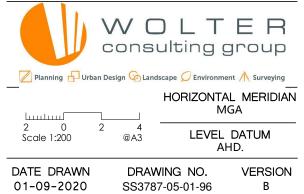
DISCL	OSURE PLAN
For Pr	oposed Lot 95
	e Green - Stage 5
Currently Described	
RPD: Locality:	Part of Lot 1 on SP288657 Palmview
Local Authority:	Sunshine Coast Regional
Legend:	
	Finished Surface Contours (0.1m Interval)
I.0	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
· · · ·	Kerb Line
ss	Sewer/Sewer Manhole
sv sv - <del>  </del>	Stormwater/Stormwater Manhole/Pit
$-$ v $-$ v $\rightarrow$	Water/Water Meter
	Stormwater Gully Trap
RV RV	Roofwater
$\rightarrow$	Kerb Adapter
	Area to be Filled
RL57.32	Design Pad Level
~_~~	Proposed Driveway
<	Zero Lot Line Boundary
	. 1.8m High Acoustic Fence
	(Installed by Developer)
Notes:	nternel most of this plan
2. Finished surface	ntegral part of this plan. contours, depth of fill contours, retaining
wall details and prop on 18-02-2020.	posed services provided by Peak Urban
	ing walls are indicative only. Site e construction limits to the material,
location, length & th	ickness of these walls.
<ol> <li>This plan has be for the purpose of p</li> </ol>	en prepared under the current legislation resales and should not be used for any
other purpose. This	plan may not contain all services which
	and is based on design information Id not be used for any detailed designs.
5. Compaction of fill	to be completed in accordance with
6. This plan has been	er Level 1 supervision. n prepared by Wolter Consulting Group Pty
Ltd, Cadastral Surveyo Act QLD 1984 (as a	or to satisfy Section 11 of the Land Sales
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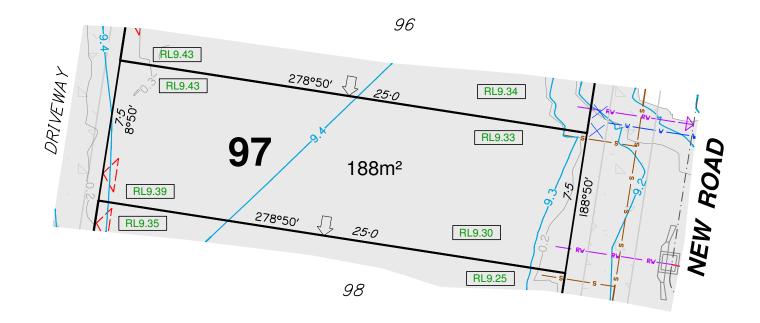


DISCL	OSURE PLAN		
	roposed Lot 96		
	e Green - Stage 5		
Currently Described	As		
RPD: Locality:	Part of Lot 1 on SP288657 Palmview		
Local Authority:	Sunshine Coast Regional		
Legend:			
46.0	Finished Surface Contours (0.1m Interval)		
I.0	Depth of Fill Contours (0.1m Interval)		
	Easement Boundary		
	Kerb Line		
ss	Sewer/Sewer Manhole		
sv sv - <del>O  </del>	Stormwater/Stormwater Manhole/Pit		
	Water/Water Meter		
	Stormwater Gully Trap		
RV RV	Roofwater		
$\rightarrow$	Kerb Adapter		
	Area to be Filled		
RL57.32	Design Pad Level		
	Proposed Driveway		
$\langle \square$	Zero Lot Line Boundary		
	<ul> <li>1.8m High Acoustic Fence (Installed by Developer)</li> </ul>		
Notes:			
1. This note is an i	ntegral part of this plan. contours, depth of fill contours, retaining		
wall details and prop	posed services provided by Peak Urban		
on 18-02-2020. 3. Location of retair	ning walls are indicative only. Site		
	e construction limits to the material, nickness of these walls.		
4. This plan has be	en prepared under the current legislation		
for the purpose of p other purpose. This	presales and should not be used for any plan may not contain all services which		
affect the subject lo	t and is based on design information		
only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with			
AS3798-2007 under Level 1 supervision.			
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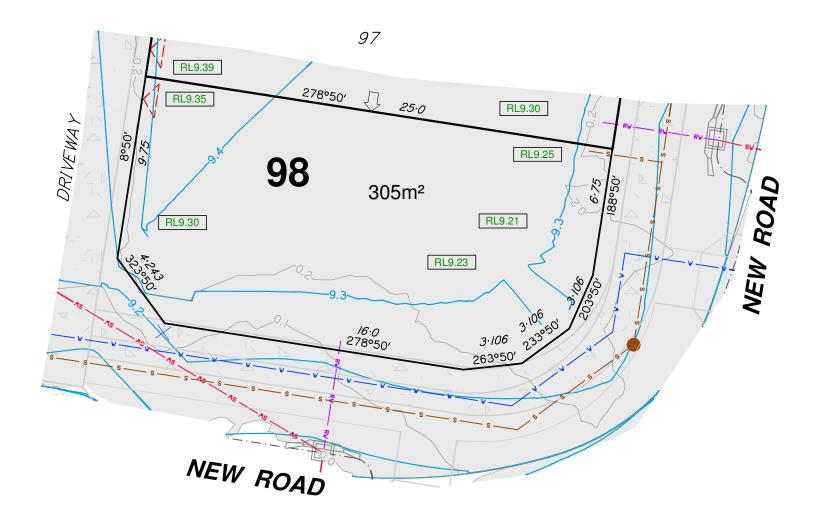
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E DRAWN	DRAWING NO.	
09-2020	SS3787-05-01-96	



DISCL	OSURE PLAN
	roposed Lot 97
	e Green - Stage 5
Currently Described	
RPD: Locality:	Part of Lot 1 on SP288657 Palmview
Local Authority:	Sunshine Coast Regional
Legend:	
— 46.0 ——	Finished Surface Contours (0.1m Interval)
l.0	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
ss	Sewer/Sewer Manhole
sv sv <del>() [</del>	Stormwater/Stormwater Manhole/Pit
	Water/Water Meter
	Stormwater Gully Trap
RV RV	Roofwater
	Kerb Adapter
RL57.32	Area to be Filled
RL37.32	Design Pad Level
~~~~	Proposed Driveway
$\langle \neg$	Zero Lot Line Boundary
	<ul> <li>1.8m High Acoustic Fence (Installed by Developer)</li> </ul>
Notes:	
1. This note is an i	ntegral part of this plan.
wall details and prop	contours, depth of fill contours, retaining posed services provided by Peak Urban
on 18-02-2020. 3. Location of retain	ning walls are indicative only. Site
conditions will dictate	e construction limits to the material, nickness of these walls.
4. This plan has be	en prepared under the current legislation
	presales and should not be used for any plan may not contain all services which
affect the subject lo	t and is based on design information
5. Compaction of fil	Ild not be used for any detailed designs. I to be completed in accordance with
AS3798-2007 und	er Level 1 supervision.
Ltd, Cadastral Surveyo	n prepared by Wolter Consulting Group Pty or to satisfy Section 11 of the Land Sales
Act QLD 1984 (as a	amended).
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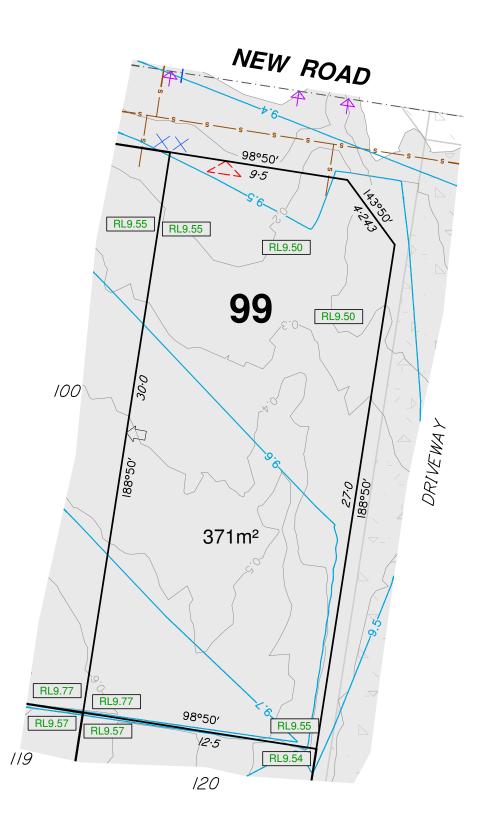
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💋 Planning 🗗 Urban De	sign 🌀 Landscape 反 Enviro	nment 州 Surveying
	HORIZON	TAL MERIDIAN MGA
2 0 2 Scale 1:200	@A3 LEVE	EL DATUM AHD.
DATE DRAWN	DRAWING NO.	VERSION



DISCLOSURE PLAN
For Proposed Lot 98
Village Green - Stage 5
Currently Described As RPD: Part of Lot 1 on SP288657
Locality: Palmview
Local Authority: Sunshine Coast Regional
Legend: <u>46.0</u> Finished Surface Contours (0.1m Interval)
Easement Boundary
— · · · Kerb Line
s s s Sewer Manhole
Water/Water Meter
Stormwater Gully Trap
Kerb Adapter
Area to be Filled
RL57.32 Design Pad Level
Proposed Driveway
Zero Lot Line Boundary
1.8m High Acoustic Fence
(Installed by Developer)
Notes:
<ol> <li>This note is an integral part of this plan.</li> <li>Finished surface contours, depth of fill contours, retaining</li> </ol>
wall details and proposed services provided by Peak Urban on 18-02-2020.
<ol> <li>Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material.</li> </ol>
location, length & thickness of these walls. 4. This plan has been prepared under the current legislation
for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which
affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.
5. Compaction of fill to be completed in accordance with
AS3798-2007 under Level 1 supervision. 6. This plan has been prepared by Wolter Consulting Group Pty
Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).
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WOLTER consulting group

Planning 🗗 Urban Design 🗞 Landscape 💭 Environment ٨ Surveying

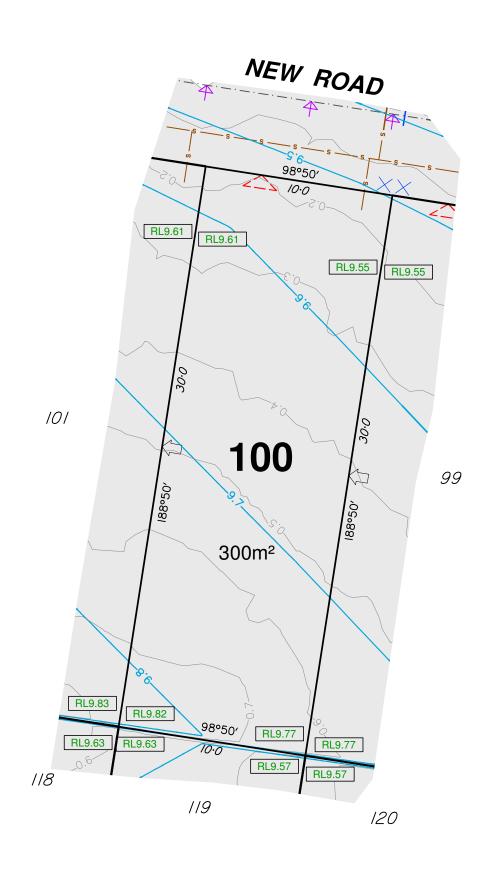
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2 0 2 Scale 1:200	4 @A3	LEVEL DATUM AHD.	
DATE DRAWN	DRA	WING NO.	VERSION
01-09-2020	SS378	87-05-01-98	В





DISCL	OSURE PLAN		
For Proposed Lot 99			
	e Green - Stage 5		
Currently Described			
RPD: Locality:	Part of Lot 1 on SP288657 Palmview		
Local Authority:	Sunshine Coast Regional		
Legend:			
<u> </u>	Finished Surface Contours (0.1m Interval)		
I.0	Depth of Fill Contours (0.1m Interval)		
	Easement Boundary		
· · · · · · · ·	Kerb Line		
ss	Sewer/Sewer Manhole		
sv sv - <del>  </del>	Stormwater/Stormwater Manhole/Pit		
v	Water/Water Meter		
	Stormwater Gully Trap		
RV RV	Roofwater		
$\rightarrow$	Kerb Adapter		
	Area to be Filled		
RL57.32	Design Pad Level		
~~~~	Proposed Driveway		
$\langle \neg$	Zero Lot Line Boundary		
	. 1.8m High Acoustic Fence (Installed by Developer)		
Notes:			
1. This note is an in	ntegral part of this plan.		
2. Finished surface wall details and prop	contours, depth of fill contours, retaining posed services provided by Peak Urban		
on 18-02-2020.	ing walls are indicative only. Site		
conditions will dictate	e construction limits to the material,		
location, length & thickness of these walls. 4. This plan has been prepared under the current legislation			
for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which			
affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.			
5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.			
6. This plan has been	n prepared by Wolter Consulting Group Pty		
Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).			
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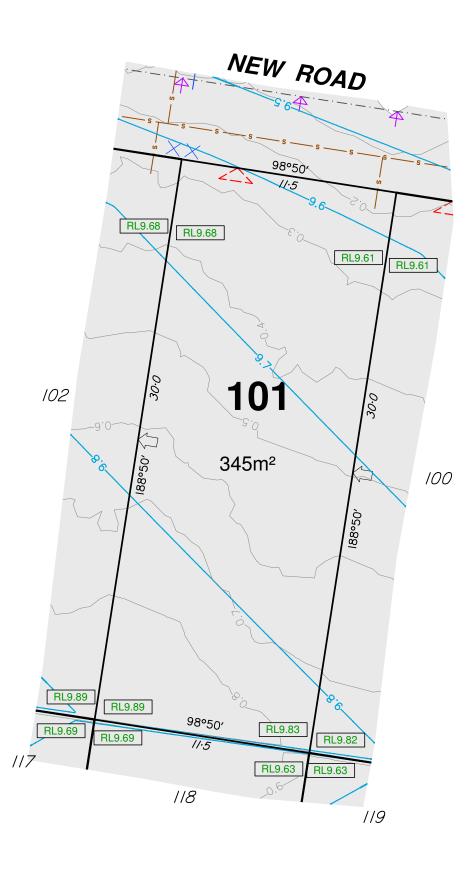
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	N O	L T ting g	E R group
💋 Planning 🗗 Urban De	sign 🕝 Landscape	e 💭 Environme	nt 州 Surveying
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2 0 2 Scale 1:200	4 @A3		DATUM ID.
DATE DRAWN 27-02-2020	DRAWIN SS3787-0		VERSION A





DISCL	OSURE PLAN	
For Pr	oposed Lot 100	
Village	e Green – Stage 5	
Currently Described RPD: Locality:	As Part of Lot 1 on SP288657 Palmview	
Local Authority:	Sunshine Coast Regional	
Legend:		
— <b>46.0</b> —	Finished Surface Contours (0.1m Interval)	
	Depth of Fill Contours (0.1m Interval)	
	Easement Boundary	
	Kerb Line	
ss	Sewer/Sewer Manhole	
sv sv <del></del>	Stormwater/Stormwater Manhole/Pit	
	Water/Water Meter	
	Stormwater Gully Trap	
RV RV	Roofwater	
$\rightarrow$	Kerb Adapter	
	Area to be Filled	
RL57.32	Design Pad Level	
~~~~	Proposed Driveway	
$\langle \Box$	Zero Lot Line Boundary	
	- 1.8m High Acoustic Fence	
	(Installed by Developer)	
<ol> <li>Finished surface wall details and prop on 18-02-2020.</li> </ol>	ntegral part of this plan. contours, depth of fill contours, retaining posed services provided by Peak Urban	
conditions will dictate location, length & th	ning walls are indicative only. Site e construction limits to the material, nickness of these walls.	
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information		
5. Compaction of fill	Ild not be used for any detailed designs. I to be completed in accordance with	
	er Level 1 supervision. n prepared by Wolter Consulting Group Pty	
	or to satisfy Section 11 of the Land Sales	
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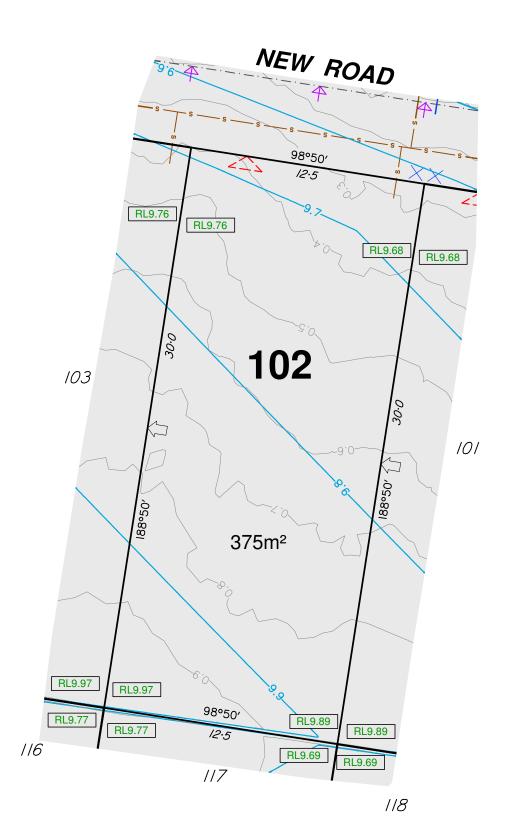






DISCL	OSURE PLAN
	oposed Lot 101
	e Green - Stage 5
Currently Described	
Locality: Local Authority:	Palmview Sunshine Coast Regional
Legend:	
<u> </u>	Finished Surface Contours (0.1m Interval)
I.0	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
· · · · ·	Kerb Line
ss	Sewer/Sewer Manhole
sv sv	Stormwater/Stormwater Manhole/Pit
$-$ v $-$ v $\rightarrow$	Water/Water Meter
	Stormwater Gully Trap
RV RV	Roofwater
$\rightarrow$	Kerb Adapter
	Area to be Filled
RL57.32	Design Pad Level
~~~~	Proposed Driveway
$\langle \Box$	Zero Lot Line Boundary
	1.8m High Acoustic Fence (Installed by Developer)
Notes:	
1. This note is an in 2. Finished surface	ntegral part of this plan. contours, depth of fill contours, retaining posed services provided by Peak Urban
conditions will dictate	ing walls are indicative only. Site e construction limits to the material, ickness of these walls.
<ol> <li>This plan has be for the purpose of p</li> </ol>	en prepared under the current legislation presales and should not be used for any plan may not contain all services which
affect the subject lot only. This plan shou	t and is based on design information Id not be used for any detailed designs. I to be completed in accordance with
AS3798-2007 unde	er Level 1 supervision. n prepared by Wolter Consulting Group Pty
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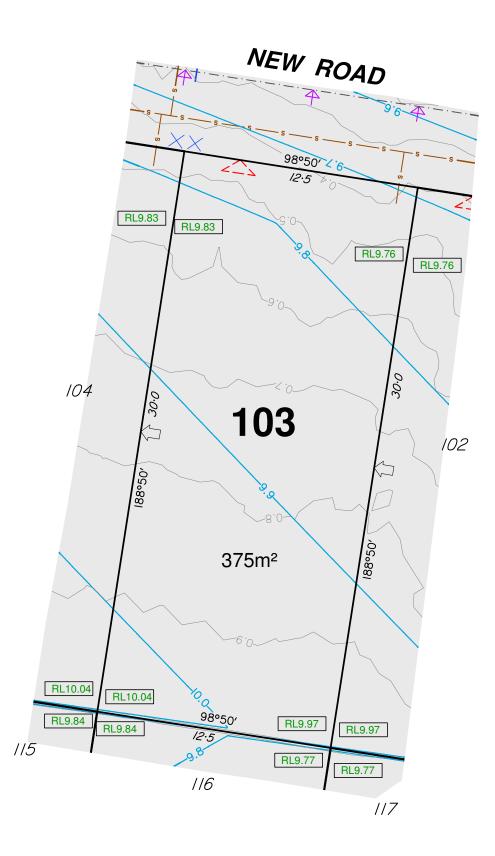
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	NOL consulting	T E R g group
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DATE DRAWN 27-02-2020	DRAWING NO SS3787-05-01-10	





For Pr	OSURE PLAN
Village	e Green – Stage 5
Currently Described RPD: Locality: Local Authority:	As Part of Lot 1 on SP288657 Palmview Sunshine Coast Regional
Legend:	
<u> </u>	Finished Surface Contours (0.1m Interval)
I.0	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
ss	Sewer/Sewer Manhole
sv sv - <del></del>	Stormwater/Stormwater Manhole/Pit
$-$ v $-$ v $\rightarrow$	Water/Water Meter
	Stormwater Gully Trap
RV RV	Roofwater
$\rightarrow$	Kerb Adapter
	Area to be Filled
RL57.32	Design Pad Level
~~~~	Proposed Driveway
$\langle \neg$	Zero Lot Line Boundary
	<ul> <li>1.8m High Acoustic Fence (Installed by Developer)</li> </ul>
Natas	
<ol> <li>Finished surface wall details and proof on 18-02-2020.</li> <li>Location of retair conditions will dictat location, length &amp; th</li> <li>This plan has be for the purpose. This affect the subject lo only. This plan shout 5. Compaction of fil AS3798-2007 und</li> <li>This plan has bee</li> </ol>	ntegral part of this plan. contours, depth of fill contours, retaining posed services provided by Peak Urban hing walls are indicative only. Site e construction limits to the material, hickness of these walls. een prepared under the current legislation presales and should not be used for any plan may not contain all services which t and is based on design information uld not be used for any detailed designs. I to be completed in accordance with er Level 1 supervision. n prepared by Wolter Consulting Group Pty or to satisfy Section 11 of the Land Sales amended).

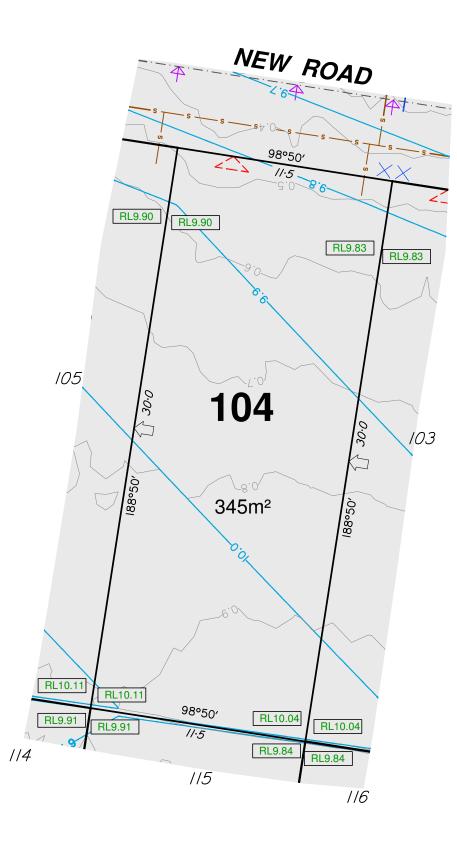
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DATE DRAWN 27-02-2020	DRAWING SS3787-05		VERSION A



PRELIMINARY

	OSURE PLAN	
	oposed Lot 103	
Village	e Green - Stage 5	
Currently Described RPD:	As Part of Lot 1 on SP288657	
Locality:	Palmview	
Local Authority:	Sunshine Coast Regional	
Legend:		
— 46.0 —	Finished Surface Contours (0.1m Interval)	
I.0	Depth of Fill Contours (0.1m Interval)	
	Easement Boundary	
	Kerb Line	
ss	Sewer/Sewer Manhole	
5V 5V	Stormwater/Stormwater Manhole/Pit	
	Water/Water Meter	
	Stormwater Gully Trap	
KW KW	Roofwater Kerb Adapter	
	Area to be Filled	
RL57.32		
NL37.32	Design Pad Level	
	Proposed Driveway	
$\langle \neg$	Zero Lot Line Boundary	
	<ul> <li>1.8m High Acoustic Fence (Installed by Developer)</li> </ul>	
<ol> <li>Finished surface wall details and prop on 18-02-2020.</li> <li>Location of retain</li> </ol>	ntegral part of this plan. contours, depth of fill contours, retaining posed services provided by Peak Urban ning walls are indicative only. Site	
<ul> <li>conditions will dictate construction limits to the material, location, length &amp; thickness of these walls.</li> <li>4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.</li> <li>5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.</li> <li>6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).</li> </ul>		
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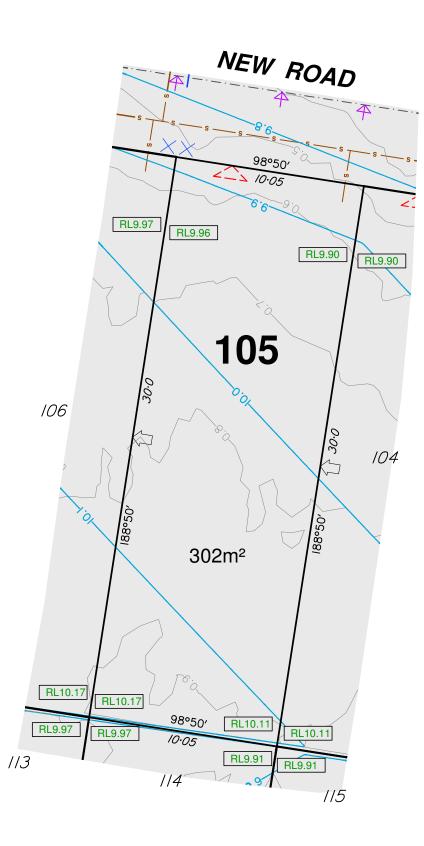
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🖉 Planning 🗗 Urban De	sign 🌀 Landscape 📿	Environment ٨	Surveying
		IZONTAL N MGA	IERIDIAN
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DATE DRAWN 27-02-2020	DRAWING SS3787-05-0		ERSION



PRELIMINARY

DISCL	OSURE PLAN	
	oposed Lot 104	
	e Green - Stage 5	
Currently Described RPD: Locality:	As Part of Lot 1 on SP288657 Palmview	
Local Authority:	Sunshine Coast Regional	
Legend:		
— <b>46.0</b> —	Finished Surface Contours (0.1m Interval) Depth of Fill Contours (0.1m Interval)	
	Easement Boundary	
	Kerb Line	
s s	Sewer/Sewer Manhole	
	Stormwater/Stormwater Manhole/Pit	
	Water/Water Meter	
	Stormwater Gully Trap	
	Roofwater	
$\rightarrow$	Kerb Adapter	
	Area to be Filled	
RL57.32	Design Pad Level	
~~~~	Proposed Driveway	
$\langle \Box$	Zero Lot Line Boundary	
	1.8m High Acoustic Fence (Installed by Developer)	
Notes:		
1. This note is an in 2. Finished surface wall details and prop on 18-02-2020.	ntegral part of this plan. contours, depth of fill contours, retaining posed services provided by Peak Urban	
conditions will dictate location, length & th	ing walls are indicative only. Site e construction limits to the material, ickness of these walls.	
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which		
only. This plan shou 5. Compaction of fill	t and is based on design information Id not be used for any detailed designs. I to be completed in accordance with er Level 1 supervision.	
6. This plan has been	n prepared by Wolter Consulting Group Pty or to satisfy Section 11 of the Land Sales	
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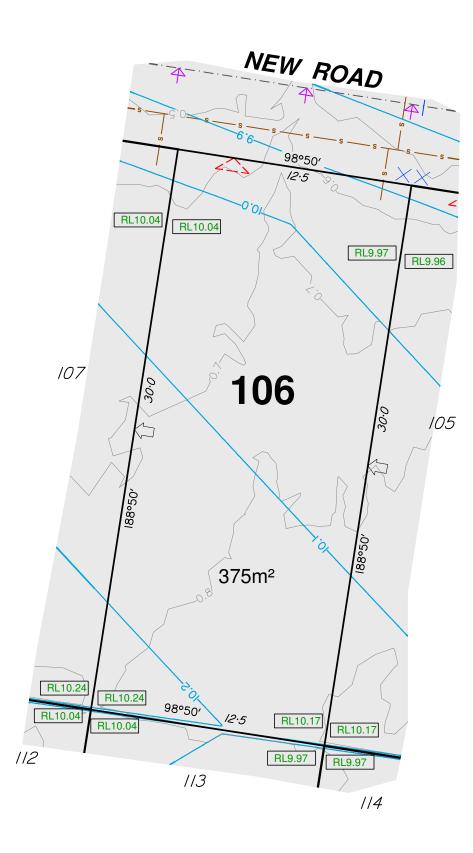
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	NOL <sup>-</sup>	T E R I group
💋 Planning 🗗 Urban De	sign 🕝 Landscape 💭 Enviro	onment <u> </u> Surveying
		ITAL MERIDIAN MGA
2 0 2 Scale 1:200	@A3 LEV	EL DATUM AHD.
DATE DRAWN 27-02-2020	DRAWING NO. SS3787-05-01-104	





DISCL	OSURE PLAN	
	oposed Lot 105	
	e Green - Stage 5	
Currently Described RPD:	As Part of Lot 1 on SP288657	
Locality: Local Authority:	Palmview Sunshine Coast Regional	
Legend:		
<u> </u>	Finished Surface Contours (0.1m Interval)	
I.0	Depth of Fill Contours (0.1m Interval)	
	Easement Boundary	
· · · ·	Kerb Line	
ss	Sewer/Sewer Manhole	
sv sv - <del>O  </del>	Stormwater/Stormwater Manhole/Pit	
$-$ v $-$ v $\rightarrow$	Water/Water Meter	
	Stormwater Gully Trap	
RV RV	Roofwater	
$\rightarrow$	Kerb Adapter	
	Area to be Filled	
RL57.32	Design Pad Level	
~ <b>~</b> ~	Proposed Driveway	
$\langle \neg$	Zero Lot Line Boundary	
	<ul> <li>1.8m High Acoustic Fence (Installed by Developer)</li> </ul>	
Notes:		
1. This note is an i 2. Finished surface	ntegral part of this plan. contours, depth of fill contours, retaining posed services provided by Peak Urban	
conditions will dictate	ing walls are indicative only. Site e construction limits to the material, ickness of these walls.	
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which		
only. This plan shou 5. Compaction of fill	t and is based on design information Id not be used for any detailed designs. I to be completed in accordance with	
6. This plan has been	er Level 1 supervision. n prepared by Wolter Consulting Group Pty or to satisfy Section 11 of the Land Sales amended).	
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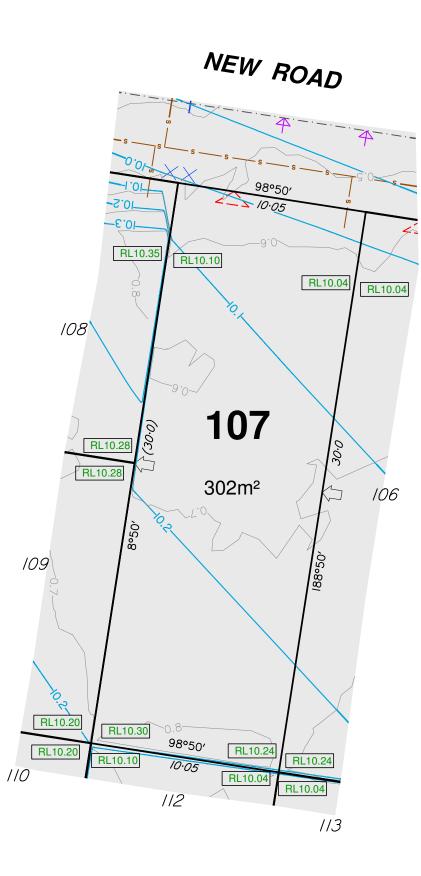
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	N O	L T Iting g	E R group
💋 Planning 🗗 Urban De	esign 🕝 Landsca	ape 💋 Environme	nt 州 Surveying
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DATE DRAWN 27-02-2020		NG NO. 05-01-105	VERSION A





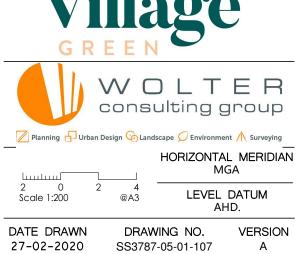
DISCL	OSURE PLAN	
For Pr	oposed Lot 106	
Village	e Green - Stage 5	
Currently Described	As	
RPD: Locality:	Part of Lot 1 on SP288657 Palmview	
Local Authority:	Sunshine Coast Regional	
Legend:		
<u> </u>	Finished Surface Contours (0.1m Interval)	
I.0	Depth of Fill Contours (0.1m Interval)	
	Easement Boundary	
· · · ·	Kerb Line	
ss	Sewer/Sewer Manhole	
sv sv - <del></del>	Stormwater/Stormwater Manhole/Pit	
v >	Water/Water Meter	
	Stormwater Gully Trap	
RV RV	Roofwater	
$\rightarrow$	Kerb Adapter	
	Area to be Filled	
RL57.32	Design Pad Level	
~ <b>~</b> ~	Proposed Driveway	
$\langle \Box$	Zero Lot Line Boundary	
	1.8m High Acoustic Fence (Installed by Developer)	
Notes:		
1. This note is an i	ntegral part of this plan.	
<ol><li>Finished surface</li></ol>	contours, depth of fill contours, retaining posed services provided by Peak Urban	
on 18-02-2020.		
conditions will dictate	ing walls are indicative only. Site e construction limits to the material,	
	ickness of these walls. en prepared under the current legislation	
for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which		
affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.		
5. Compaction of fill	to be completed in accordance with	
	er Level 1 supervision. n prepared by Wolter Consulting Group Pty	
Ltd, Cadastral Surveyo Act QLD 1984 (as a	or to satisfy Section 11 of the Land Sales	
	lage	







DISCL	OSURE PLAN
	oposed Lot 107
Village Green - Stage 5	
Currently Described As	
RPD: Locality:	Part of Lot 1 on SP288657 Palmview
Local Authority:	Sunshine Coast Regional
Legend:	
— 46.0 —	Finished Surface Contours (0.1m Interval)
I.0	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
ss	Sewer/Sewer Manhole
sw sw	Stormwater/Stormwater Manhole/Pit
$ ^{\vee} ^{\vee}$ $\rightarrow$	Water/Water Meter
	Stormwater Gully Trap
RV RV	Roofwater
$\rightarrow$	Kerb Adapter
	Area to be Filled
RL57.32	Design Pad Level
~~~~	Proposed Driveway
$\langle \neg$	Zero Lot Line Boundary
	<ul> <li>1.8m High Acoustic Fence (Installed by Developer)</li> </ul>
Notes: 1. This note is an integral part of this plan. 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Peak Urban on 18-02-2020.	
<ol> <li>Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length &amp; thickness of these walls.</li> </ol>	
4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which	
affect the subject lot and is based on design information only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with	
AS3798-2007 under Level 1 supervision. 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).	
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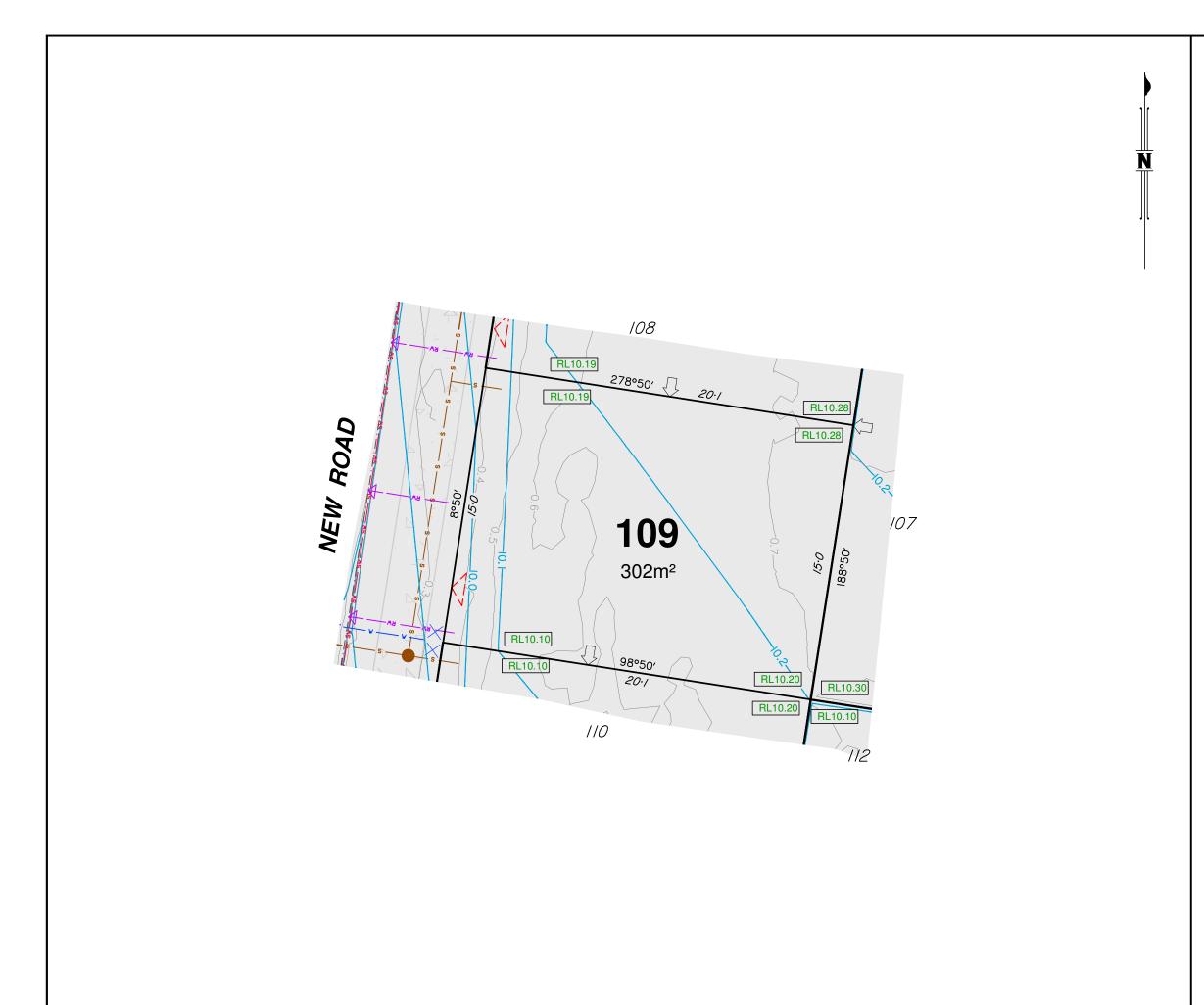


DISCL	OSURE PLAN
For Pr	oposed Lot 108
Village	e Green - Stage 5
Currently Described RPD:	As Part of Lot 1 on SP288657
Locality: Local Authority:	Palmview Sunshine Coast Regional
Legend:	
<u> </u>	Finished Surface Contours (0.1m Interval)
I.0	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
· · · ·	Kerb Line
s s	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole/Pit
v	Water/Water Meter
	Stormwater Gully Trap
	Roofwater
4	Kerb Adapter
	Area to be Filled
RL57.32	Design Pad Level
	Proposed Driveway
$\langle \square$	Zero Lot Line Boundary
	<ul> <li>1.8m High Acoustic Fence (Installed by Developer)</li> </ul>
Notes:	
1. This note is an i	ntegral part of this plan.
	contours, depth of fill contours, retaining posed services provided by Peak Urban
on 18-02-2020.	ing walls are indicative only. Site
conditions will dictate	e construction limits to the material,
4. This plan has be	ickness of these walls. en prepared under the current legislation
for the purpose of p	presales and should not be used for any plan may not contain all services which
affect the subject lo	t and is based on design information
	Id not be used for any detailed designs. I to be completed in accordance with
	er Level 1 supervision. n prepared by Wolter Consulting Group Pty
Ltd, Cadastral Surveyo	or to satisfy Section 11 of the Land Sales
Act QLD 1984 (as a	amended).
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🖉 Planning 🗗 Urban De	esign 🌀 Lands	cape 💭 Environme	ent 州 Surveying
			AL MERIDIAN GA
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DATE DRAWN 01-09-2020		ING NO. -05-01-108	VERSION B

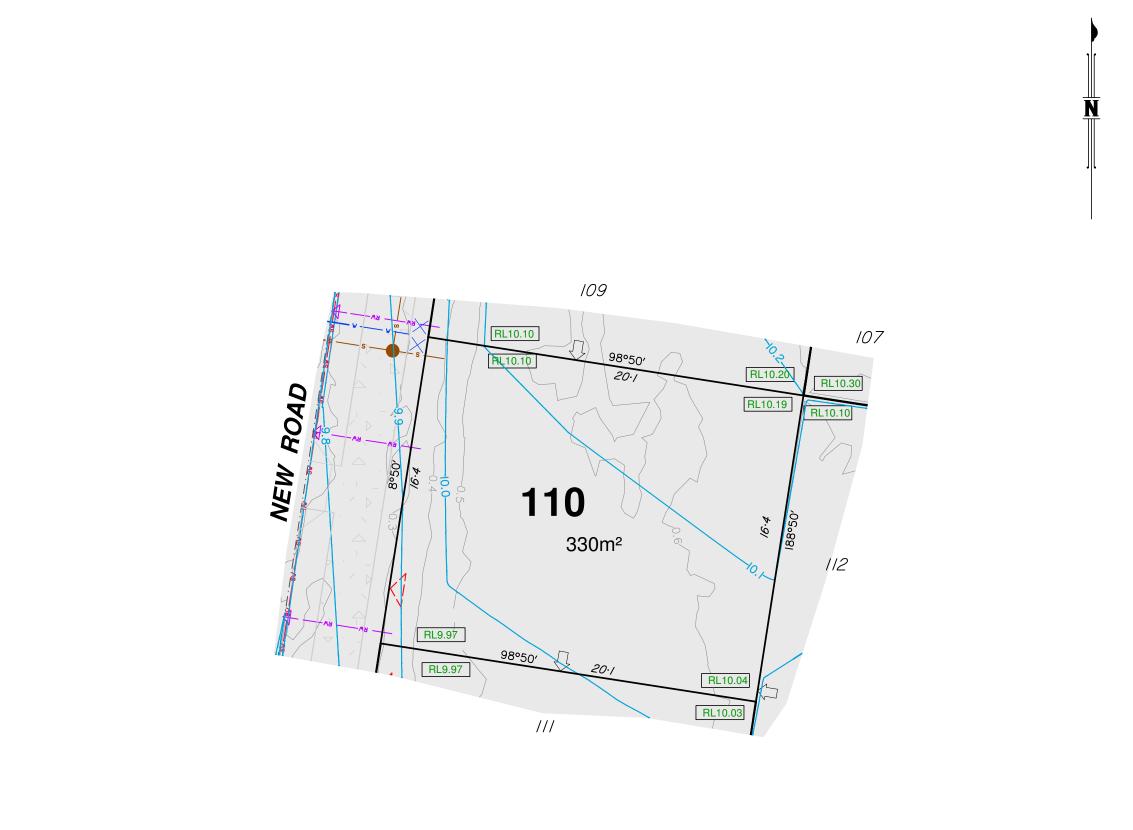
WING NO. 01-09-2020 SS3787-05-01-108



PRELIMINARY

DISCL	OSURE PLAN	
For Pr	oposed Lot 109	
Village	e Green - Stage 5	
Currently Described RPD: Locality: Local Authority:	Part of Lot 1 on SP288657 Palmview	
Legend:	Sunshine Coast Regional	
<u>46.0</u>	Finished Surface Contours (0.1m Interval)	
	Depth of Fill Contours (0.1m Interval)	
	Easement Boundary Kerb Line	
s s	Sewer/Sewer Manhole	
	Stormwater/Stormwater Manhole/Pit	
	Water/Water Meter	
	Stormwater Gully Trap	
	Roofwater	
$\rightarrow$	Kerb Adapter	
	Area to be Filled	
RL57.32	Design Pad Level	
~~~~	Proposed Driveway	
$\langle \Box$	Zero Lot Line Boundary	
	1.8m High Acoustic Fence (Installed by Developer)	
Notes:		
<ol> <li>Finished surface wall details and prop on 18-02-2020.</li> </ol>	ntegral part of this plan. contours, depth of fill contours, retaining posed services provided by Peak Urban ing walls are indicative only. Site	
<ul> <li>conditions will dictate construction limits to the material, location, length &amp; thickness of these walls.</li> <li>4. This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.</li> </ul>		
AS3798-2007 unde 6. This plan has been	I to be completed in accordance with er Level 1 supervision. In prepared by Wolter Consulting Group Pty or to satisfy Section 11 of the Land Sales amended).	
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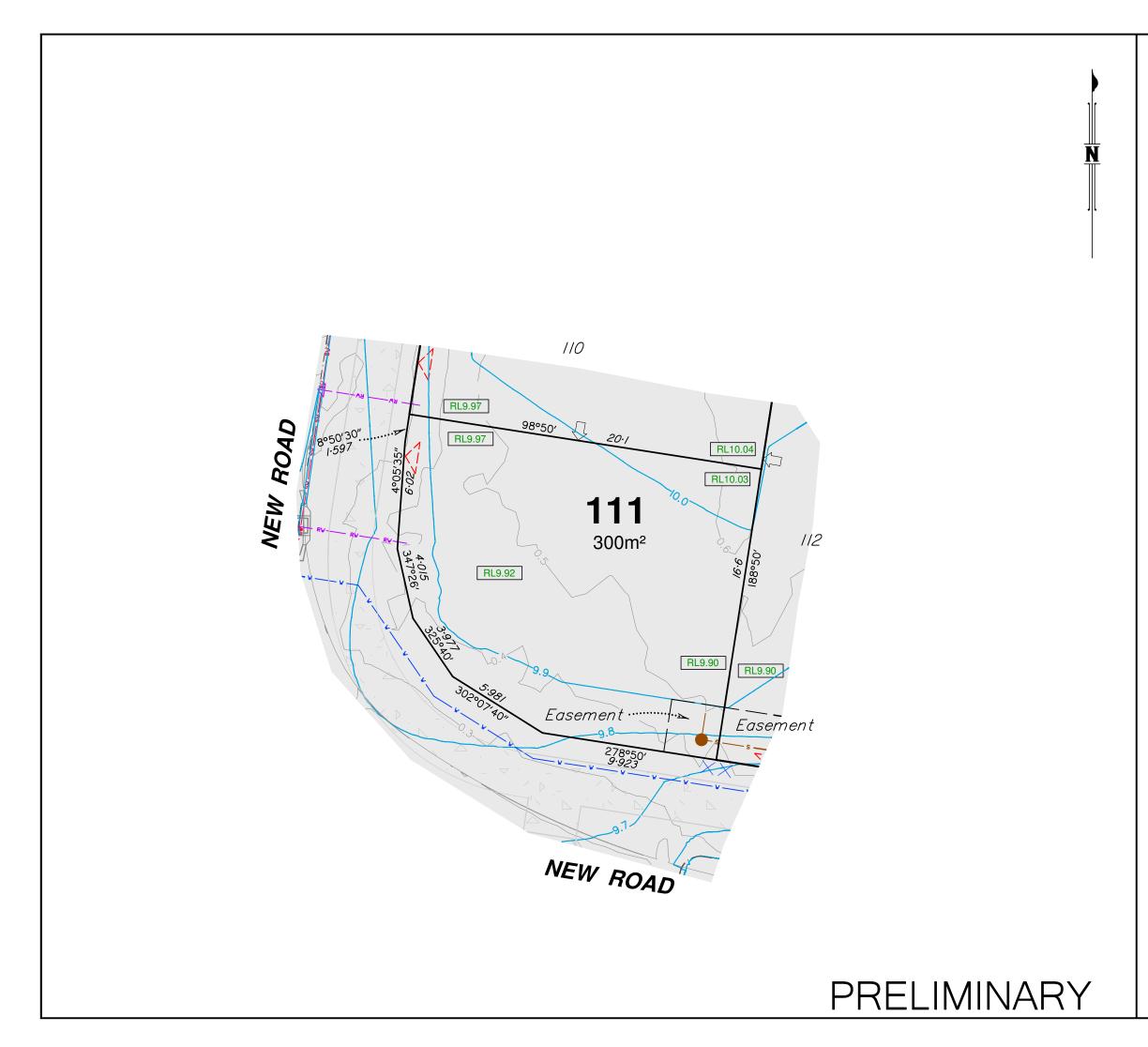




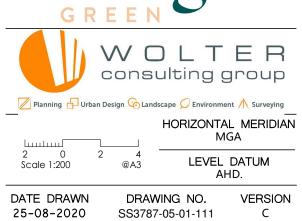
DISCL	OSURE PLAN
For Pr	oposed Lot 110
	e Green - Stage 5
Currently Described RPD: Locality:	Part of Lot 1 on SP288657 Palmview
Local Authority:	Sunshine Coast Regional
<u>Legend:</u> 46.0	Fisished Outers Oceaning (Older Isteral)
	Finished Surface Contours (0.1m Interval)
l.0	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
ss	Sewer/Sewer Manhole
sv sv	Stormwater/Stormwater Manhole/Pit
	Water/Water Meter
	Stormwater Gully Trap
RV RV	Roofwater
<del>_</del> →	Kerb Adapter
	Area to be Filled
RL57.32	Design Pad Level
~~~~	Proposed Driveway
$\langle \Box$	Zero Lot Line Boundary
	1.8m High Acoustic Fence
	(Installed by Developer)
2. Finished surface	ntegral part of this plan. contours, depth of fill contours, retaining posed services provided by Peak Urban
3. Location of retain conditions will dictate	ning walls are indicative only. Site e construction limits to the material, nickness of these walls.
<ol> <li>This plan has be for the purpose of p other purpose. This affect the subject lo only. This plan shou</li> <li>Compaction of fil AS3798-2007 unde</li> <li>This plan has bee</li> </ol>	en prepared under the current legislation presales and should not be used for any plan may not contain all services which t and is based on design information uld not be used for any detailed designs. I to be completed in accordance with er Level 1 supervision. n prepared by Wolter Consulting Group Pty or to satisfy Section 11 of the Land Sales
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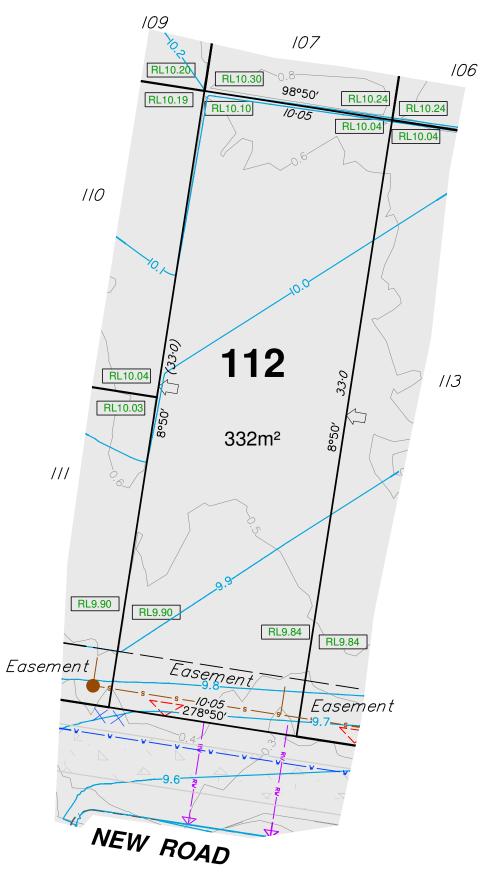
SS3787-05-01-110



DISCL	OSURE PLAN	
	roposed Lot 111	
	e Green - Stage 5	
Currently Described		
RPD: Locality:	Part of Lot 1 on SP288657 Palmview	
Local Authority:	Sunshine Coast Regional	
Legend:		
— 46.0 ——	Finished Surface Contours (0.1m Interval)	
l.0	Depth of Fill Contours (0.1m Interval)	
	Easement Boundary	
· · · ·	Kerb Line	
ss	Sewer/Sewer Manhole	
sv sv - <del>()</del>	Stormwater/Stormwater Manhole/Pit	
~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~~	Water/Water Meter	
	Stormwater Gully Trap	
RV RV	Roofwater	
<del>`</del>	Kerb Adapter	
	Area to be Filled	
RL57.32	Design Pad Level	
~~~~	Proposed Driveway	
$\langle \Box$	Zero Lot Line Boundary	
	<ul> <li>1.8m High Acoustic Fence (Installed by Developer)</li> </ul>	
Natas		
<u>Notes:</u> 1. This note is an i	ntegral part of this plan.	
2. Finished surface	contours, depth of fill contours, retaining posed services provided by Peak Urban	
on 18-02-2020.		
conditions will dictate	ning walls are indicative only. Site e construction limits to the material,	
	nickness of these walls. The prepared under the current legislation	
for the purpose of p	presales and should not be used for any plan may not contain all services which	
affect the subject lo	t and is based on design information	
only. This plan should not be used for any detailed designs. 5. Compaction of fill to be completed in accordance with		
	er Level 1 supervision. n prepared by Wolter Consulting Group Pty	
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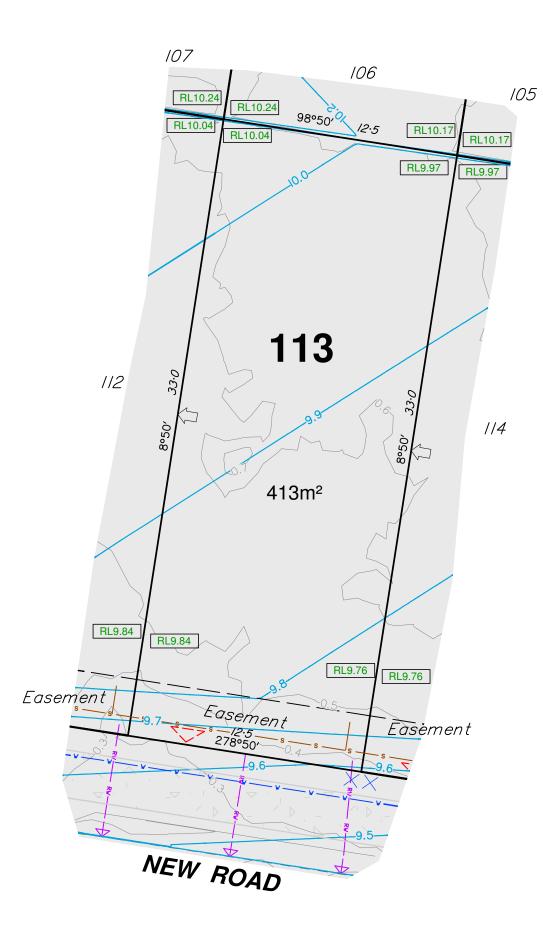




DISCL	OSURE PLAN
For Pr	oposed Lot 112
	Green - Stage 5
Currently Described RPD: Locality:	Part of Lot 1 on SP288657 Palmview
Local Authority:	Sunshine Coast Regional
Legend:	
— 46.0 —	Finished Surface Contours (0.1m Interval)
I.0	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
ss	Sewer/Sewer Manhole
sv sv .	Stormwater/Stormwater Manhole/Pit
	Water/Water Meter
	Stormwater Gully Trap
RV RV	Roofwater
$\rightarrow$	Kerb Adapter
	Area to be Filled
RL57.32	Design Pad Level
~~~~	Proposed Driveway
$\langle \neg$	Zero Lot Line Boundary
	1.8m High Acoustic Fence
	(Installed by Developer)
2. Finished surface wall details and propon 18-02-2020.	ntegral part of this plan. contours, depth of fill contours, retaining posed services provided by Peak Urban
conditions will dictate location, length & th 4. This plan has be	ing walls are indicative only. Site e construction limits to the material, ickness of these walls. en prepared under the current legislation
for the purpose of p other purpose. This affect the subject loo only. This plan shou 5. Compaction of fill AS3798-2007 unde 6. This plan has been	presales and should not be used for any plan may not contain all services which t and is based on design information and not be used for any detailed designs. I to be completed in accordance with er Level 1 supervision. In prepared by Wolter Consulting Group Pty for to satisfy Section 11 of the Land Sales
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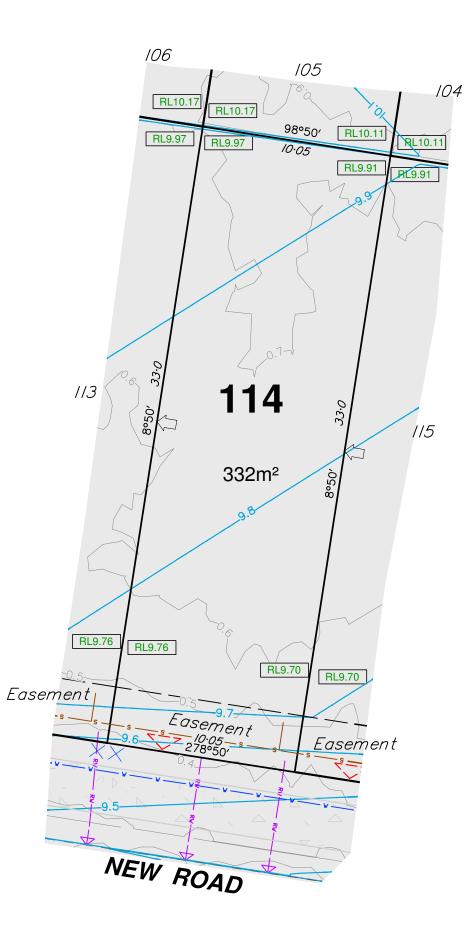
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DATE DRAWN 25-08-2020 DRAWING NO. SS3787-05-01-112



DISCL	OSURE PLAN
For Pr	oposed Lot 113
	Green - Stage 5
Currently Described RPD:	As Part of Lot 1 on SP288657
Locality: Local Authority:	Palmview Sunshine Coast Regional
Legend:	
<u> </u>	Finished Surface Contours (0.1m Interval)
I.0	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
· · · ·	Kerb Line
ss	Sewer/Sewer Manhole
sv sv - <del>()</del>	Stormwater/Stormwater Manhole/Pit
v v	Water/Water Meter
	Stormwater Gully Trap
RV RV	Roofwater
$\rightarrow$	Kerb Adapter
	Area to be Filled
RL57.32	Design Pad Level
~~~~	Proposed Driveway
$\langle \neg$	Zero Lot Line Boundary
	1.8m High Acoustic Fence
	(Installed by Developer)
<u>Notes:</u> 1. This note is an i 2. Finished surface	ntegral part of this plan. contours, depth of fill contours, retaining
	posed services provided by Peak Urban
3. Location of retain conditions will dictate	ing walls are indicative only. Site e construction limits to the material,
4. This plan has be	ickness of these walls. en prepared under the current legislation
for the purpose of p	presales and should not be used for any plan may not contain all services which
affect the subject lot	and is based on design information
	Id not be used for any detailed designs. I to be completed in accordance with
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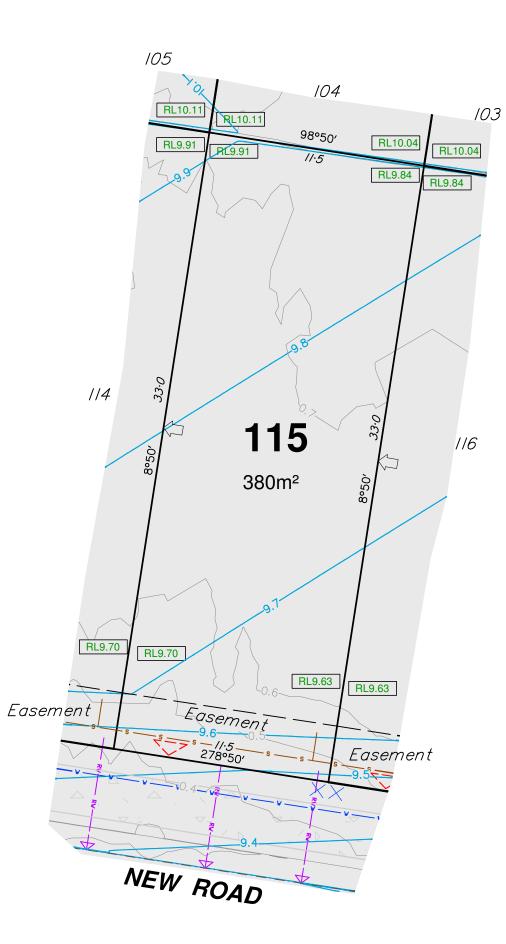
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DATE DRAWN 01-09-2020		NG NO. 05-01-113	VERSION D





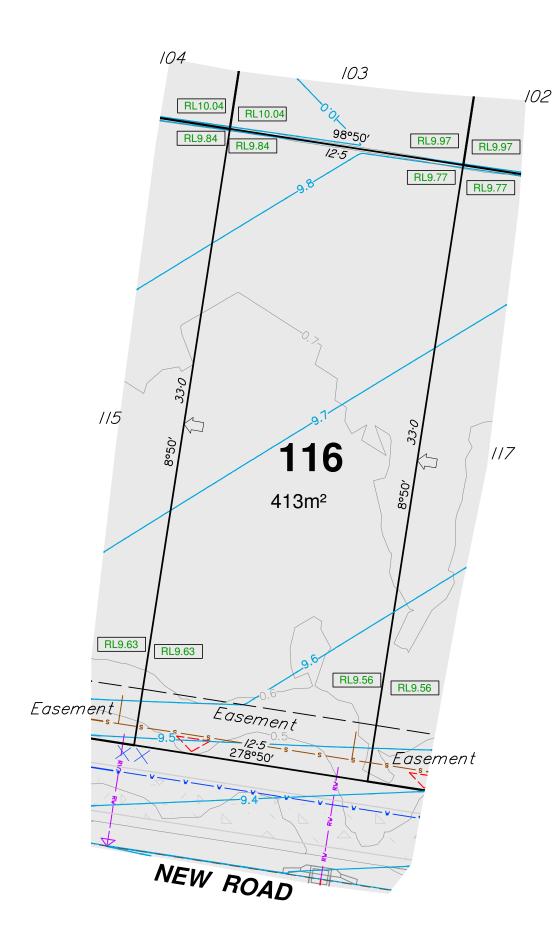
DISCL	OSURE PLAN
For Pr	oposed Lot 114
Village	e Green - Stage 5
Currently Described RPD:	As Part of Lot 1 on SP288657
Locality: Local Authority:	Palmview Sunshine Coast Regional
Legend:	
<u> </u>	Finished Surface Contours (0.1m Interval)
I.0	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
· · · ·	Kerb Line
s s	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole/Pit
	Water/Water Meter
	Stormwater Gully Trap
	Roofwater
4	Kerb Adapter
	Area to be Filled
RL57.32	Design Pad Level
11207.02	Design Fad Level
	Proposed Driveway
$\langle \Box$	Zero Lot Line Boundary
	<ul> <li>1.8m High Acoustic Fence (Installed by Developer)</li> </ul>
Notes:	
1. This note is an i	ntegral part of this plan.
	contours, depth of fill contours, retaining posed services provided by Peak Urban
on 18-02-2020.	ing walls are indicative only. Site
conditions will dictate	e construction limits to the material,
4. This plan has be	nickness of these walls. The prepared under the current legislation
for the purpose of p	presales and should not be used for any plan may not contain all services which
affect the subject lo	t and is based on design information
	Ild not be used for any detailed designs. I to be completed in accordance with
	er Level 1 supervision. n prepared by Wolter Consulting Group Pty
Ltd, Cadastral Surveyo	or to satisfy Section 11 of the Land Sales
Act QLD 1984 (as a	
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DATE DRAWN 25-08-2020	DRAWIN SS3787-0		VERSION C



DISCL	OSURE PLAN
For Pr	oposed Lot 115
	e Green - Stage 5
Currently Described RPD:	As Part of Lot 1 on SP288657
Locality: Local Authority:	Palmview Sunshine Coast Regional
Legend:	
— 46.0 ——	Finished Surface Contours (0.1m Interval)
l.0	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
	Kerb Line
ss	Sewer/Sewer Manhole
sv sv	Stormwater/Stormwater Manhole/Pit
$ \vee$ $ \vee$ $\rightarrow$	Water/Water Meter
	Stormwater Gully Trap
RV RV	Roofwater
$\rightarrow$	Kerb Adapter
	Area to be Filled
RL57.32	Design Pad Level
~~~~	Proposed Driveway
$\langle \square$	Zero Lot Line Boundary
	<ul> <li>1.8m High Acoustic Fence (Installed by Developer)</li> </ul>
Notes:	
1. This note is an i 2. Finished surface wall details and prop on 18-02-2020.	ntegral part of this plan. contours, depth of fill contours, retaining posed services provided by Peak Urban
conditions will dictate location, length & th	ning walls are indicative only. Site e construction limits to the material, nickness of these walls.
for the purpose of p	en prepared under the current legislation presales and should not be used for any
other purpose. This affect the subject lo	plan may not contain all services which t and is based on design information
only. This plan shou	Ild not be used for any detailed designs. I to be completed in accordance with
AS3798-2007 und	er Level 1 supervision.
<ol> <li>This plan has bee Ltd, Cadastral Surveyo Act QLD 1984 (as a</li> </ol>	n prepared by Wolter Consulting Group Pty or to satisfy Section 11 of the Land Sales
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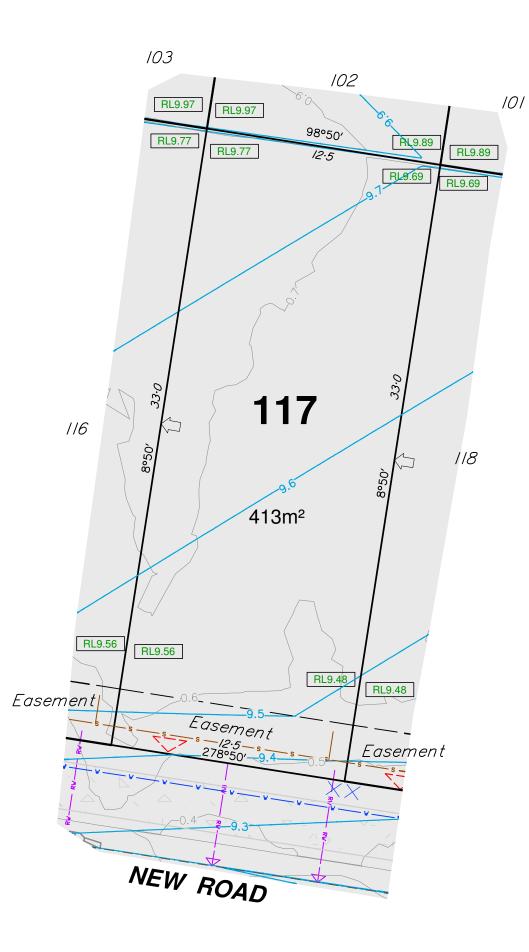






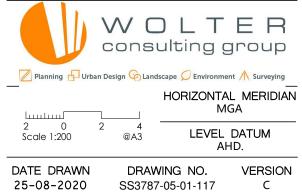
DISCL	OSURE PLAN
For Pr	oposed Lot 116
Village	e Green - Stage 5
Currently Described RPD:	As Part of Lot 1 on SP288657
Locality: Local Authority:	Palmview Sunshine Coast Regional
Legend:	
<u> </u>	Finished Surface Contours (0.1m Interval)
I.0	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
· · · ·	Kerb Line
s s	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole/Pit
v	Water/Water Meter
	Stormwater Gully Trap
	Roofwater
4	Kerb Adapter
	Area to be Filled
RL57.32	Design Pad Level
11207.02	
	Proposed Driveway
$\langle \Box$	Zero Lot Line Boundary
	<ul> <li>1.8m High Acoustic Fence (Installed by Developer)</li> </ul>
Notos	
<u>Notes:</u> 1. This note is an i	ntegral part of this plan.
	contours, depth of fill contours, retaining posed services provided by Peak Urban
on 18-02-2020.	
conditions will dictat	ing walls are indicative only. Site e construction limits to the material,
location, length & th 4. This plan has be	ickness of these walls. en prepared under the current legislation
for the purpose of p	presales and should not be used for any plan may not contain all services which
affect the subject lo	t and is based on design information
	Id not be used for any detailed designs. I to be completed in accordance with
AS3798-2007 und	er Level 1 supervision.
Ltd, Cadastral Survey	n prepared by Wolter Consulting Group Pty or to satisfy Section 11 of the Land Sales
Act QLD 1984 (as	amended).
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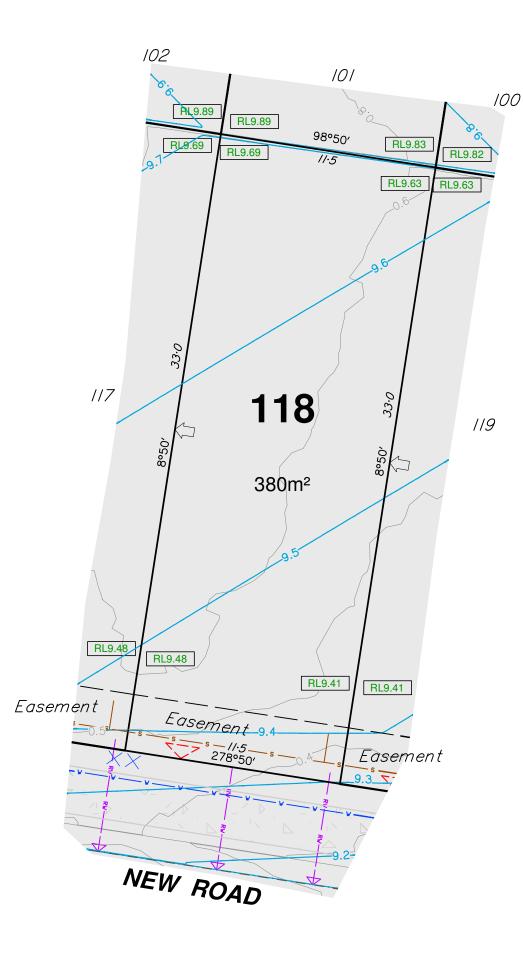


DISCL	OSURE PLAN	
For Pr	oposed Lot 117	
	e Green - Stage 5	
Currently Described	As	
RPD: Locality:	Part of Lot 1 on SP288657 Palmview	
Local Authority:	Sunshine Coast Regional	
Legend:		
<u> </u>	Finished Surface Contours (0.1m Interval)	
I.0	Depth of Fill Contours (0.1m Interval)	
	Easement Boundary	
· · · · · ·	Kerb Line	
ss	Sewer/Sewer Manhole	
sv sv - <del></del>	Stormwater/Stormwater Manhole/Pit	
v v	Water/Water Meter	
	Stormwater Gully Trap	
RV RV	Roofwater	
$\rightarrow$	Kerb Adapter	
	Area to be Filled	
RL57.32	Design Pad Level	
~_~~	Proposed Driveway	
$\langle \neg$	Zero Lot Line Boundary	
	<ul> <li>1.8m High Acoustic Fence (Installed by Developer)</li> </ul>	
2. Finished surface	ntegral part of this plan. contours, depth of fill contours, retaining posed services provided by Peak Urban	
<ol> <li>Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length &amp; thickness of these walls.</li> <li>This plan has been prepared under the current legislation for the purpose of presales and should not be used for any other purpose. This plan may not contain all services which affect the subject lot and is based on design information only. This plan should not be used for any detailed designs.</li> <li>Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.</li> <li>This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).</li> </ol>		
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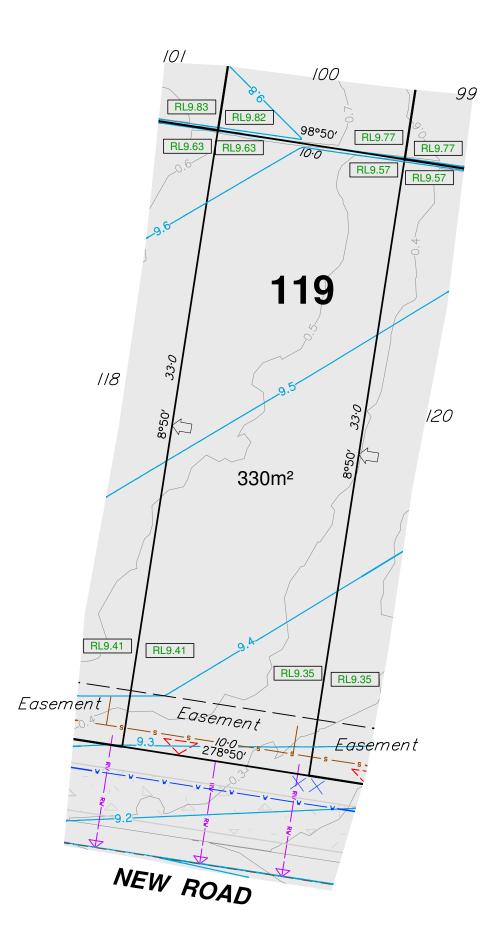
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08-2020	SS3787-05-01-117





DISCL	OSURE PLAN
For Pr	oposed Lot 118
Village	e Green - Stage 5
Currently Described RPD:	As Part of Lot 1 on SP288657
Locality: Local Authority:	Palmview Sunshine Coast Regional
Legend:	
<u> </u>	Finished Surface Contours (0.1m Interval)
I.0	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
· · · ·	Kerb Line
s s	Sewer/Sewer Manhole
	Stormwater/Stormwater Manhole/Pit
v	Water/Water Meter
	Stormwater Gully Trap
	Roofwater
4	Kerb Adapter
	Area to be Filled
RL57.32	Design Pad Level
11207.02	Design Fad Level
	Proposed Driveway
$\langle \Box$	Zero Lot Line Boundary
	<ul> <li>1.8m High Acoustic Fence (Installed by Developer)</li> </ul>
Notes:	
1. This note is an i	ntegral part of this plan.
	contours, depth of fill contours, retaining posed services provided by Peak Urban
on 18-02-2020.	ing walls are indicative only. Site
conditions will dictat	e construction limits to the material,
4. This plan has be	nickness of these walls. The prepared under the current legislation
for the purpose of p	presales and should not be used for any plan may not contain all services which
affect the subject lo	t and is based on design information
	Ild not be used for any detailed designs. I to be completed in accordance with
AS3798-2007 und	er Level 1 supervision.
Ltd, Cadastral Survey	n prepared by Wolter Consulting Group Pty or to satisfy Section 11 of the Land Sales
Act QLD 1984 (as	amended).
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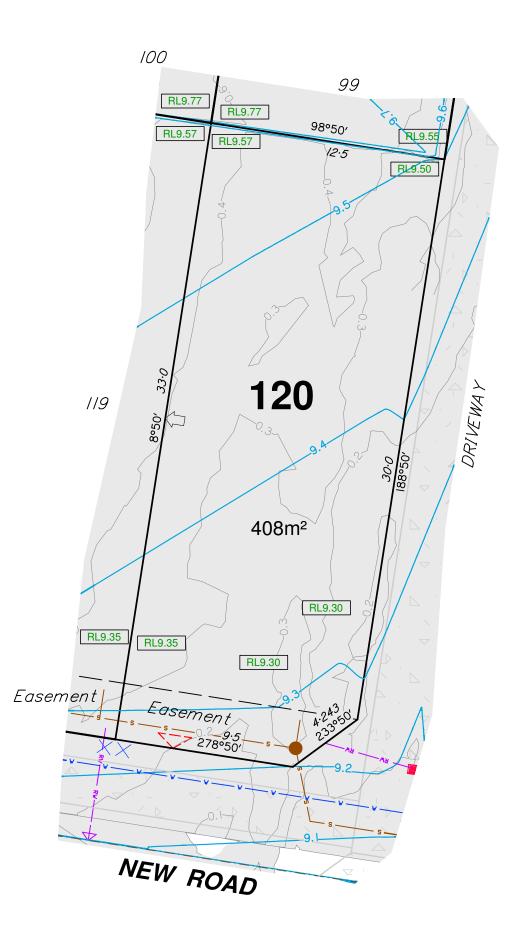




DISCL	OSURE PLAN
For Pr	oposed Lot 119
Village	e Green - Stage 5
Currently Described RPD:	As Part of Lot 1 on SP288657
Locality: Local Authority:	Palmview Sunshine Coast Regional
Legend:	
<u> </u>	Finished Surface Contours (0.1m Interval)
I.0	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
· · · ·	Kerb Line
s s	Sewer/Sewer Manhole
sv sv	Stormwater/Stormwater Manhole/Pit
$-$ v $-$ v $\rightarrow$	Water/Water Meter
	Stormwater Gully Trap
RV RV	Roofwater
$\rightarrow$	Kerb Adapter
	Area to be Filled
RL57.32	Design Pad Level
~~~~	Proposed Driveway
$\langle -$	Zero Lot Line Boundary
	<ul> <li>1.8m High Acoustic Fence (Installed by Developer)</li> </ul>
Notes: 1. This note is an i 2. Finished surface	ntegral part of this plan. contours, depth of fill contours, retaining
wall details and prop on 18-02-2020.	posed services provided by Peak Urban
	ing walls are indicative only. Site e construction limits to the material,
location, length & th	ickness of these walls. en prepared under the current legislation
for the purpose of p	presales and should not be used for any
affect the subject lot	plan may not contain all services which t and is based on design information
5. Compaction of fill	Id not be used for any detailed designs. I to be completed in accordance with
	er Level 1 supervision. n prepared by Wolter Consulting Group Pty
	or to satisfy Section 11 of the Land Sales
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5-08-2020	SS3787-05-01-119	





DISCL	OSURE PLAN
For Pr	oposed Lot 120
	e Green - Stage 5
Currently Described	
RPD: Locality:	Part of Lot 1 on SP288657 Palmview
Local Authority:	Sunshine Coast Regional
<u>Legend:</u> 46.0	Finished Surface Contours (0.1m Interval)
I.0	Depth of Fill Contours (0.1m Interval)
	Easement Boundary
· · · ·	Kerb Line
s s	Sewer/Sewer Manhole
sv sv - <del></del>	Stormwater/Stormwater Manhole/Pit
v	Water/Water Meter
	Stormwater Gully Trap
RV RV	Roofwater
$\rightarrow$	Kerb Adapter
	Area to be Filled
RL57.32	Design Pad Level
~~~~	Proposed Driveway
$\langle \Box$	Zero Lot Line Boundary
	<ul> <li>1.8m High Acoustic Fence (Installed by Developer)</li> </ul>
Notes:	
1. This note is an i	ntegral part of this plan.
wall details and prop	contours, depth of fill contours, retaining posed services provided by Peak Urban
on 18-02-2020. 3. Location of retain	ing walls are indicative only. Site
conditions will dictate	e construction limits to the material, ickness of these walls.
4. This plan has be	en prepared under the current legislation
other purpose. This	presales and should not be used for any plan may not contain all services which
	t and is based on design information Ild not be used for any detailed designs.
5. Compaction of fill	I to be completed in accordance with er Level 1 supervision.
6. This plan has been	n prepared by Wolter Consulting Group Pty
Act QLD 1984 (as a	or to satisfy Section 11 of the Land Sales amended).
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