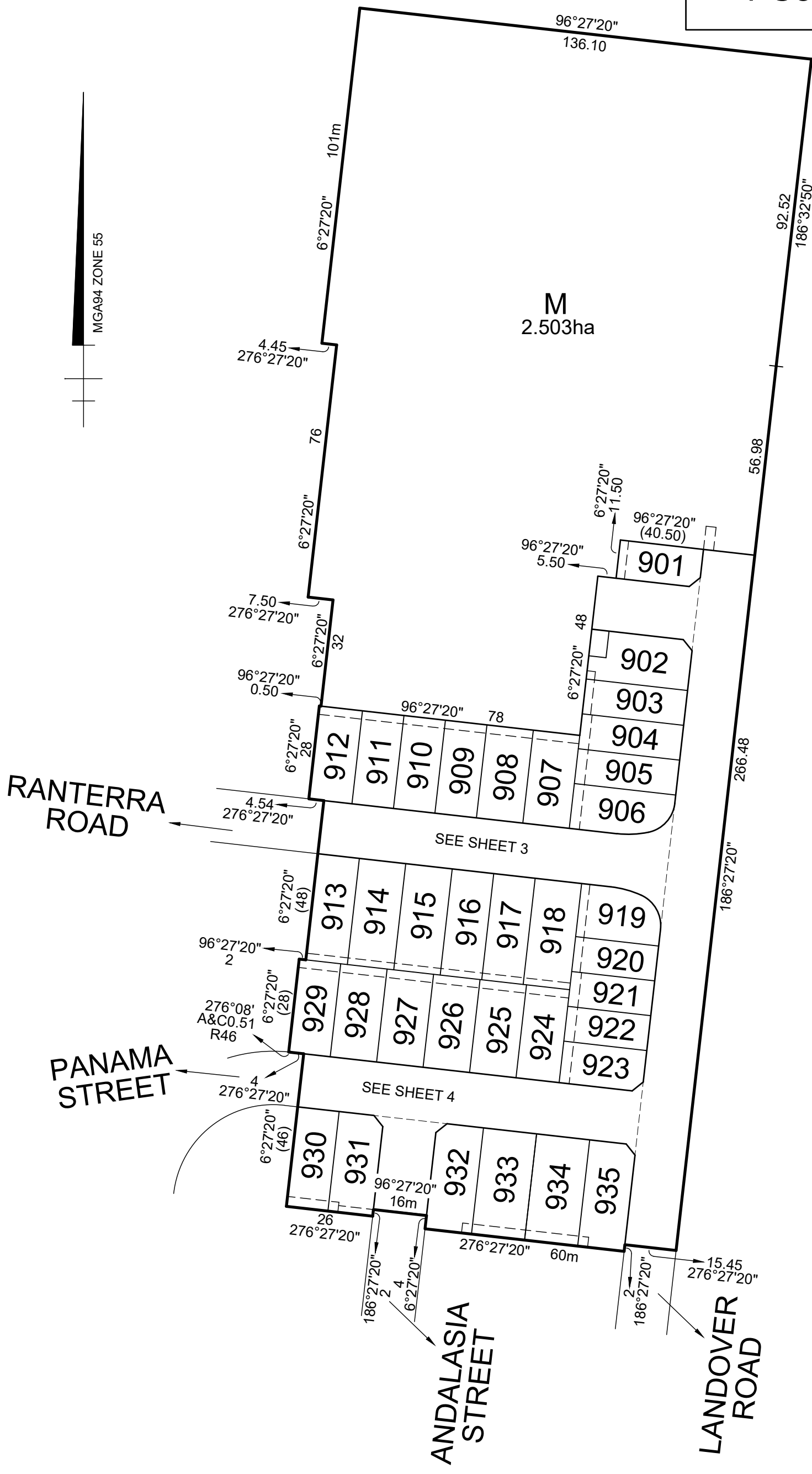
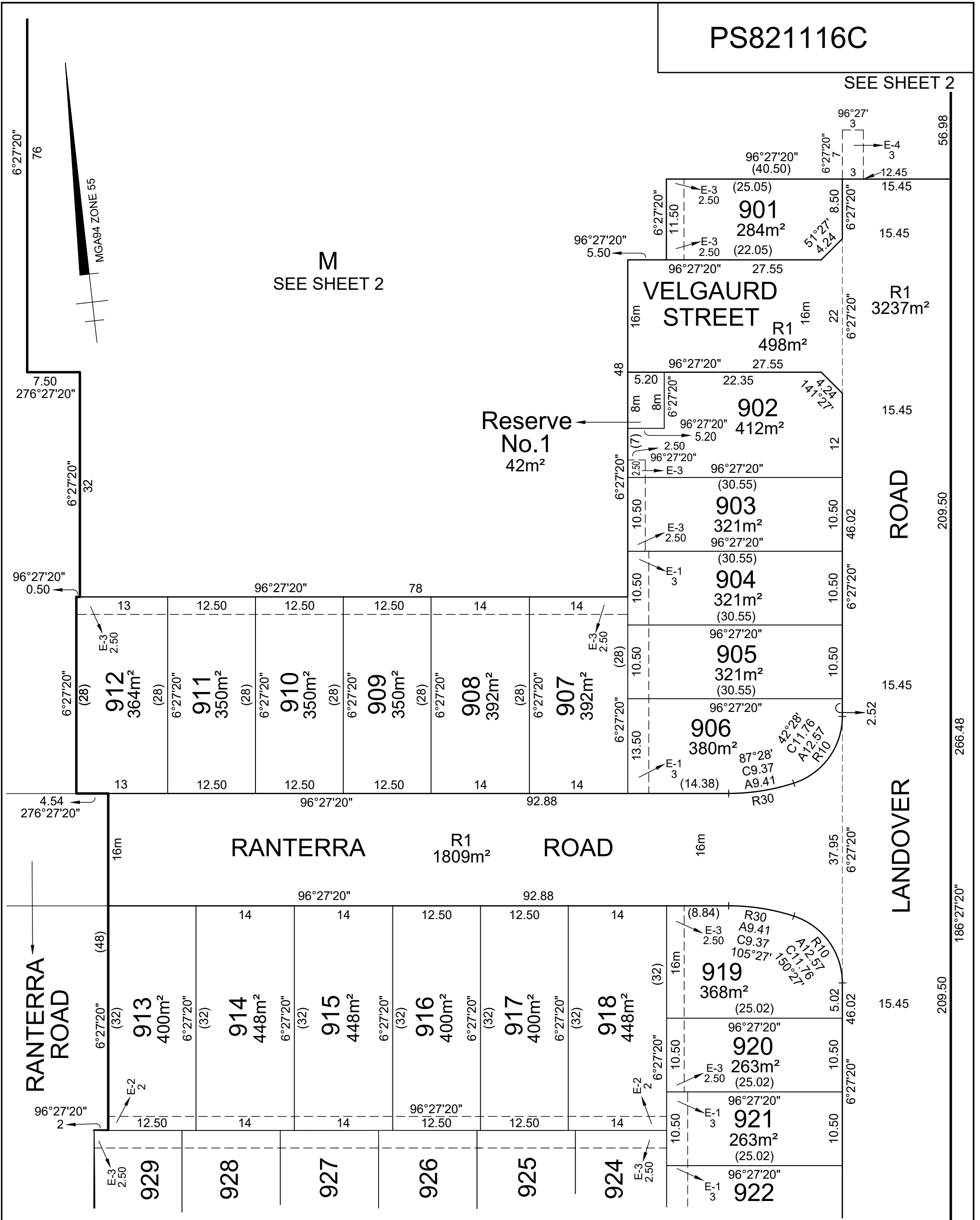


PLAN OF SUBDIVISION		EDITION 1	PS821116C	
LOCATION OF LAND PARISH: WOLLERT TOWNSHIP: --- SECTION: 18 CROWN ALLOTMENT: 2 (PART) CROWN PORTION: --- TITLE REFERENCE: Vol. Fol. LAST PLAN REFERENCE: Lot L on PS813241U POSTAL ADDRESS: Landover Road (at time of subdivision) Wollert VIC 3750 MGA 94 CO-ORDINATES: E: 325 850 ZONE: 55 (of approx centre of land in plan) N: 5 836 750		COUNCIL NAME: Whittlesea City Council		
VESTING OF ROADS AND/OR RESERVES		NOTATIONS		
IDENTIFIER	COUNCIL/BODY/PERSON		Lots 901 to 935 on this plan may be affected by one or more restrictions. Refer to Creation of Restrictions A, B, C & D on Sheets 5, 6 and 7 of this plan for details. OTHER PURPOSE OF PLAN To remove that part of easement E-11 created on PS839306W in so far as it lies within Road R1 herein. GROUND FOR REMOVAL: By agreement between all interested parties pursuant to Section 6(1)(k)(iv) of the Subdivision Act 1988.	
Road R1 Reserve No. 1	Whittlesea City Council AusNet Electricity Services Pty Ltd			
NOTATIONS		DEPTH LIMITATION: Does Not Apply SURVEY: This plan is based on survey. STAGING: This is not a staged subdivision. Planning Permit No. 716420		
ELLERY - RELEASE No.9 Area of Release: 2.082ha No. of Lots: 35 Lots and Balance Lot M				
EASEMENT INFORMATION				
LEGEND: A - Appurtenant Easement E - Encumbering Easement R - Encumbering Easement (Road)				
Easement Reference	Purpose	Width (Metres)	Origin	Land Benefited/In Favour Of
E-1	Drainage	See Diag.	This Plan	Whittlesea City Council
	Sewerage			Yarra Valley Water Corporation
E-2	Drainage	See Diag.	This Plan	Whittlesea City Council
E-3	Sewerage	See Diag.	This Plan	Yarra Valley Water Corporation
E-4	Sewerage	See Diag.	PS839306W	Yarra Valley Water Corporation
 Urban Development Built Environments Infrastructure 8 / 270 Ferntree Gully Road, Notting Hill, Victoria, 3168 Tel: 61 3 9501 2800 Web: taylorstds.com.au		SURVEYORS FILE REF: Ref. 20197-S9 Ver. 16 Licensed Surveyor: MARK PETER GREY / Version No 16	ORIGINAL SHEET SIZE: A3 SHEET 1 OF 7	





SEE SHEET 4

SEE SHEET 3

PANAMA STREET

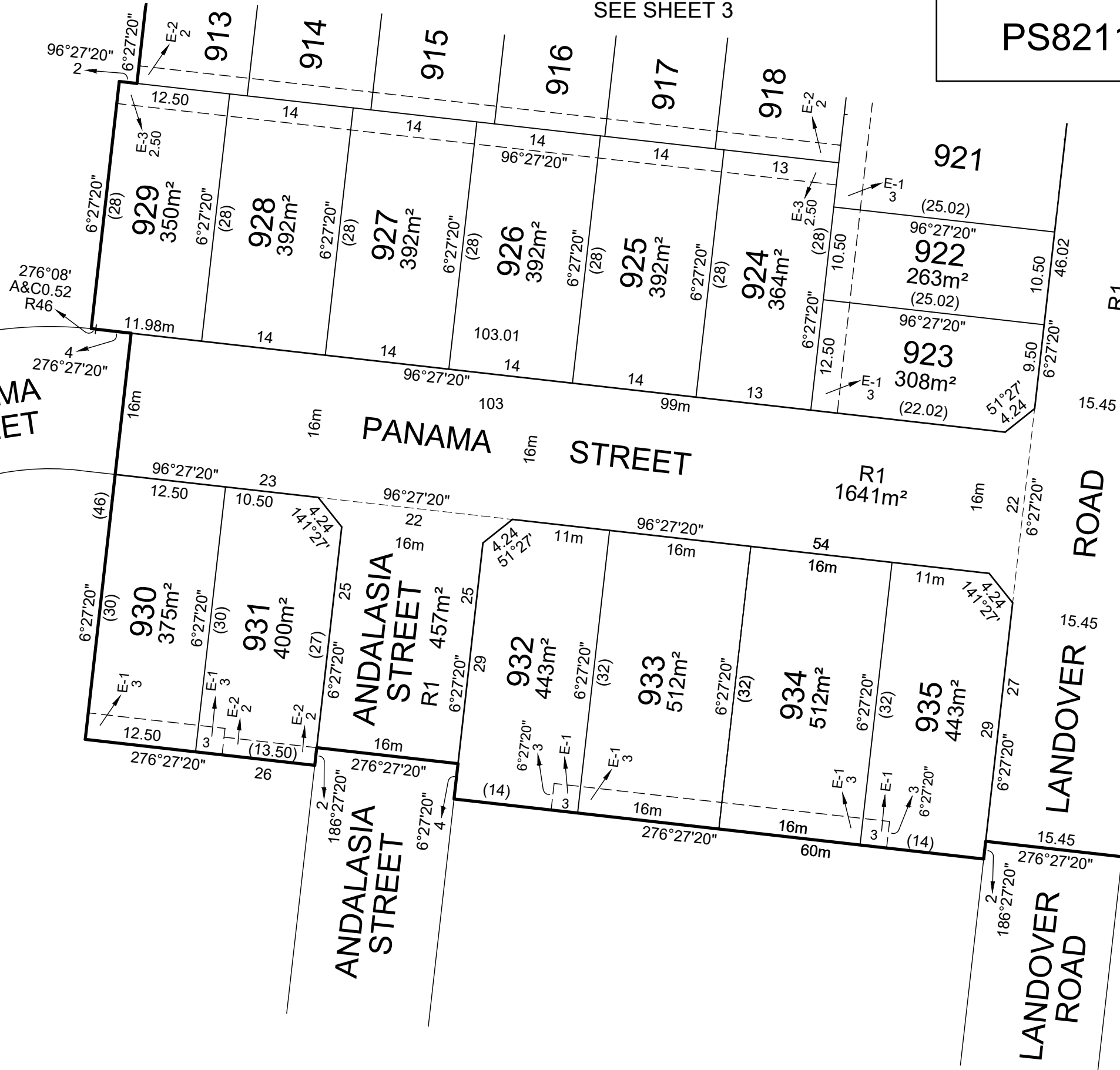
PANAMA STREET

ANDALASIA STREET

ANDALASIA STREET

LANDOVER ROAD

LANDOVER ROAD



MGA94 ZONE 55

CREATION OF RESTRICTION 'A'

The registered proprietors of the burdened land covenant with the registered proprietors of the benefited land as set out in the restriction with the intent that the burden of the restriction runs with and binds the burdened land and the benefit of the restriction is annexed to and runs with the benefited land.

BURDENED LAND: See table 1 below.
 BENEFITED LAND: See table 1 below.

RESTRICTION:

The registered proprietor or proprietors for the time being of any burdened lot to which this restriction applies must not:

1. Construct or allow to be constructed or remain on the lot or any part of it, any garage with a setback less than 5 metres from the front boundary of the lot.
2. Construct or allow to be constructed or remain on the lot or any part of it, any garage on the lot other than a single car garage where the width of the lot is 10 metres or less when measured at the front wall of the dwelling, where access is proposed from the lot frontage.
3. Construct or allow to be constructed or remain on the lot or any part of it, any dwelling house or commercial building other than any dwelling house or commercial building which incorporates dual plumbing for the use of recycled water in toilet flushing and garden watering.
4. Construct or allow to be constructed or remain on a corner lot or any part of it, any dwelling with the side wall of the first level which is constructed:
 - (i) less than 900mm from the ground level wall that faces a side street; or
 - (ii) with less than 30% glazing for the area of the wall and the remainder of the wall must be constructed in contrasting material finishes.

NOTE:

Restrictions A(1, 2 & 4) satisfy Planning Permit No. 716420 Condition 7
 Restriction A(3) satisfies Planning Permit No. 716420 Condition 6(b)

TABLE 1

BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN
902	903
903	902, 904
904	903, 905, 907
905	904, 906, 907
906	905, 907
907	904, 905, 906, 908
908	907, 909
909	908, 910
910	909, 911
911	910, 912
912	911
913	914, 928, 929
914	913, 915, 927, 928
915	914, 916, 926, 927
916	915, 917, 925, 926
917	916, 918, 925

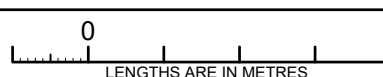
TABLE 1 Continued

BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN
918	917, 919, 920, 921, 924, 925
919	918, 920
923	922, 924
924	918, 921, 922, 923, 925
925	916, 917, 918, 924, 926
926	915, 916, 925, 927
927	914, 915, 926, 928
928	913, 914, 927, 929
929	913, 928
930	931
931	930
932	933
933	932, 934
934	933, 935
935	934



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SHEET 5

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CREATION OF RESTRICTION 'B'

The registered proprietors of the burdened land covenant with the registered proprietors of the benefited land as set out in the restriction with the intent that the burden of the restriction runs with and binds the burdened land and the benefit of the restriction is annexed to and runs with the benefited land.

BURDENED LAND: Lots 901 - 935 on this plan.
 BENEFITED LAND: Lots 901 - 935 on this plan.

RESTRICTION:

The registered proprietor or proprietors for the time being of any burdened lot to which this restriction applies must not :-

1. Construct or allow to be constructed or remain on the lot or any part of it, any building other than one private dwelling house with usual outbuildings without prior written consent from Peet No.123 Pty Ltd and further development approval from Whittlesea City Council, unless such development is exempt from the Whittlesea Planning Scheme.
2. Construct or allow to be constructed or remain on the lot or any part of it any dwelling house or outbuilding without applicable plans and specifications first being submitted to and approved by Peet No.123 Pty Ltd and prepared in accordance with the Ellery Estate Design Guidelines and then only in compliance with any condition imposed by Peet No.123 Pty Ltd in respect of that approval.

Expiry Date : 11th September 2027.

CREATION OF RESTRICTION 'C'

The registered proprietors of the burdened land covenant with the registered proprietors of the benefited land as set out in the restriction with the intent that the burden of the restriction runs with and binds the burdened land and the benefit of the restriction is annexed to and runs with the benefited land.

BURDENED LAND: See Table 2 below
 BENEFITED LAND: See Table 2 below

RESTRICTION:

The registered proprietor or proprietors for the time being of any burdened lot to which this restriction applies must not :-

1. Construct or allow to be constructed or remain on the lot or any part of it, any dwelling house or garage other than a dwelling house or garage which has been built in accordance with the Small Lot Housing Code Type A incorporated into the Whittlesea Planning Scheme unless a planning permit is granted by the responsible authority for a dwelling house or garage that does not conform with the Small Lot Housing Code.
2. Construct or allow to be constructed or remain on the lot or any part of it, any dwelling house or commercial building other than any dwelling house or commercial building which incorporates dual plumbing for the use of recycled water in toilet flushing and garden watering.

NOTE:

Restriction C(1) satisfies Planning Permit No. 716420 Condition 9
 Restriction C(2) satisfies Planning Permit No. 716420 Condition 6(b)

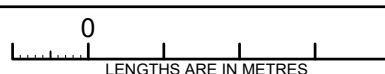
TABLE 2

BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN
901	902
920	918, 919, 921
921	918, 920, 922, 924
922	921, 923, 924



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SHEET 6

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CREATION OF RESTRICTION 'D'

The registered proprietors of the burdened land covenant with the registered proprietors of the benefited land as set out in the restriction with the intent that the burden of the restriction runs with and binds the burdened land and the benefit of the restriction is annexed to and runs with the benefited land.

BURDENED LAND: Lot 930
 BENEFITED LAND: Lot 931

RESTRICTION:

The registered proprietor or proprietors for the time being of any lot on this plan to which the following restriction applies must not :-

1. Construct or allow to be constructed or remain on the lot or any part of it any dwelling house presenting sideage directly adjoining any form of open space other than a double storey dwelling house with passive surveillance features such as large windows and balconies at the first storey level to overlook the adjoining open space.
2. Erect or allow to be erected any fence to the front yard adjoining any form of open space other than a fence which is feature style with a minimum 25% transparency and has a maximum height of 1.5metres.

NOTE:

Restriction D satisfies Planning Permit No. 716420 Condition 6(a).

CREATION OF RESTRICTION 'E'

The registered proprietors of the burdened land covenant with the registered proprietors of the benefited land as set out in the restriction with the intent that the burden of the restriction runs with and binds the burdened land and the benefit of the restriction is annexed to and runs with the benefited land.

BURDENED LAND: See Table 3
 BENEFITED LAND: See Table 3

RESTRICTION:

The registered proprietor or proprietors for the time being of any lot on this plan to which the following restriction applies must not :-

Build or permit to be built or remain on the lot any building or garage on a side boundary of a lot unless the building or garage is set back a minimum of one metre from the other side boundary of that lot in order to provide the required reasonable access for maintenance of any sewer assets at the rear of the lot, by the relevant authority.

TABLE 3

BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN
902	903
903	902, 904
904	903, 905, 907
905	904, 906, 907
907	904, 905, 906, 908
908	907, 909
909	908, 910
910	909, 911
911	910, 912
912	911
921	918, 920, 922, 924

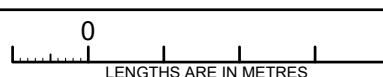
TABLE 3 Continued

BURDENED LOT No.	BENEFITING LOTS ON THIS PLAN
924	918, 921, 922, 923, 925
925	916, 917, 918, 924, 926
926	915, 916, 925, 927
927	914, 915, 926, 928
928	913, 914, 927, 929
929	913, 928
930	931
932	933
933	932, 934
934	933, 935
935	934



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