



# Greenvale Lakes

## GREENVALE LAKES DESIGN GUIDELINES

REVISION 0 Issued for Client Review

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# a new address

## **INTRODUCTION AND PROCESS**

Greenvale Lakes estate has been master-planned to create a desirable location to live. Building Guidelines & Covenants have been prepared to assist purchasers in designing and building their homes to a high standard, maximising the value of their investment and enhancing the quality of the estate as a whole.

## Greenvale Lakes Vision

The focus is a community vision to create an inviting estate that caters for diversified residents and contributes positively to the immediate surrounds. Greenvale Lakes is to be a vibrant community with a strong sense of place and identity.

## The Master Plan

Greenvale Lakes is a prestigious master-planned community located 25km north of Melbourne CBD. This exclusive estate, which is planned around the Greenvale Reservoir, will be home to more than 3500 future residents.

## Design Approval (DA) Process

All house designs and landscape proposals have to be submitted to the vendor for Design Approval (DA). This simple process is designed to help purchasers achieve a suitable outcome that benefits the overall community.

The vendor shall advise of approval status within 15 working days following receipt of design submission. In some cases, additional information or amendments may be requested. The vendor shall indicate its decision within 5 working days after receiving any additional or requested documents.

## Requisites

There are two types of requirements embodied in this document:

“Restrictive Covenants” are mandatory and can be found in corresponding Certificate of Title. These requirements must be complied with.

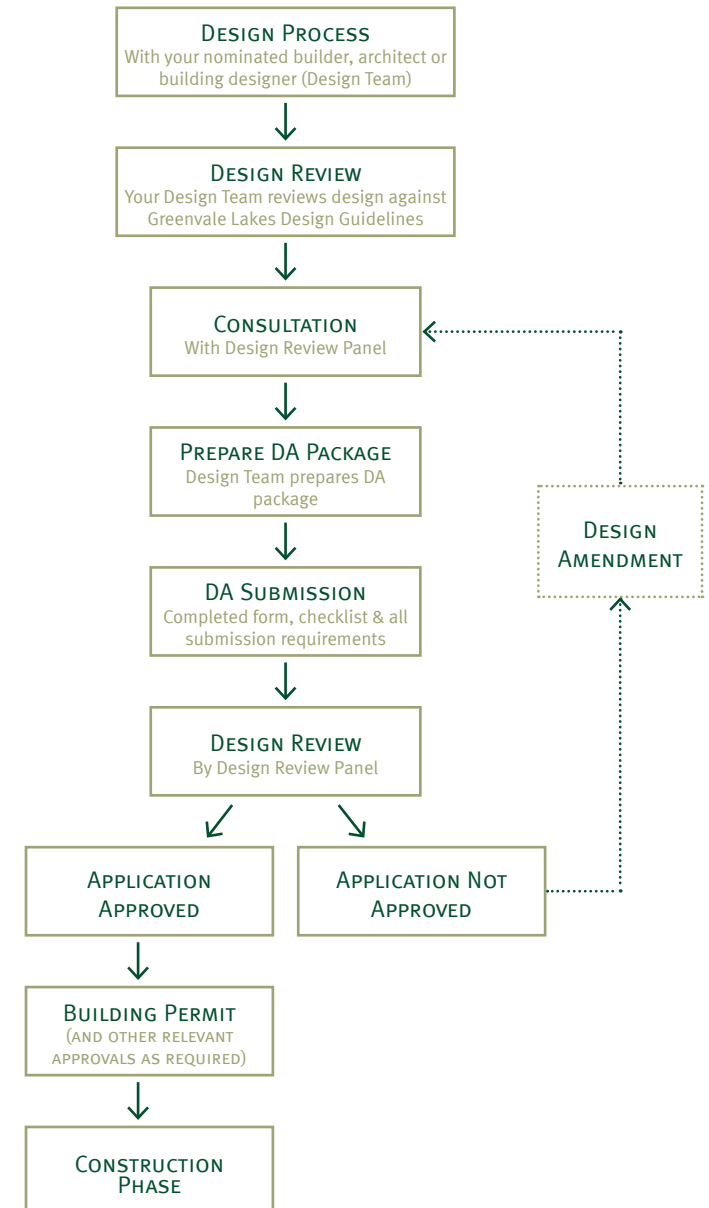
“Unrestricted Requirements” are evocative by character with the objective to incorporate good design principles into the home. These are not compulsory but highly encourage to promote positive design outcome.

## Non-conforming Designs

Objective of these guidelines is to assist purchasers, designers and builders in selecting or designing a home of reasonable standard to fit the character of Greenvale Lakes. In order to ensure that well considered designs and individual homes are encouraged, the vendor may approve homes on an individual basis that may not meet the standard criteria but which convey a high level of character.

To submit a non-conforming design, it is recommended that a concept sketch is lodged to the vendor prior to finalising the design to obtain initial consultation. Although this is not compulsory, it is highly encouraged to minimise design cost and time. At lodgement of final design, please ensure the “Non-conforming Design” section on the Design Approval Application Form is completed in detail.

All non-conforming designs will be assessed on their own merit, and the vendor reserves the right to approve or decline any non-conforming designs as they deem fit for the estate as a whole.





masterplanned  
community



## Submission Requirements

Three hardcopies of the following items must be submitted in full to the Design Review Panel for assessment:

A. Completed Design Approval Application Form (Refer to Forms)

B. Completed Design Checklist. (Refer to Checklist)

C. Site plan (Scale 1:200)

- Dimensions and areas of proposed building structures
- Setbacks to all boundaries
- Locate private open space, with dimensions and areas (m<sup>2</sup>)
- Original and proposed finished ground levels, including changes in levels
- Allotment boundaries (and easements if applicable), dimensions, areas and north point
- Proposed building footprint
- Locate on-site car parking, driveways and all hardstand surfaces (including paving and pools)
- Details of proposed retaining walls

D. All floor plans, roof plan, elevations & section (Scale 1:100)

- Provide fully-dimensioned drawings at required scale.
- Internal layout, including rooms, pergola, decks, terraces, balconies, verandahs, windows & doors, openings.
- Shadow diagrams
- Roof form and pitch
- All elevations and indicate proposed building heights
- Include at least one section
- Location of all ancillary items including (and not limited to) water tanks, solar panels, water storage units, TV antennas, air-conditioning units, evaporative cooling units, evaporative heating units, bin storage area, sheds and outbuildings.

E. Materials and Colours

- Clearly label all proposed external building materials
- Provide annotated scanned colour samples, put together as 'sample' board, to describe proposed external colour scheme

F. Landscape Plan (Scale 1:100)

- Locate all external structures
- Indicate extent of hardscape and softscape
- Planting schedule that list all species referenced on plan.

For further enquiries, please contact:

GREENVALE LAKES DESIGN REVIEW PANEL  
+61 3 9868 5900

Submit all applications to:

PEET LIMITED  
P.O. BOX 7225  
ST KILDA 3004

## Statutory Requirements

Please note that Design Approval (DA) does not constitute nor replace the need for a building permit. For building permit application, information is available at the local council office.

Design Approval from the Design Review Panel does not exempt any building or statutory regulations, and it is the builders' responsibility to ensure compliance with these regulations.





A

B

C



## YOUR HOME AND YOUR STREET



### A Casual Surveillance

Visual overlooking creates active and safe urban streets. Eyes on the streets may help reduce crime rates and promote social interaction within the community.

### B Building Setbacks

Building setbacks exist to control overshadowing and privacy to adjoining properties. Proper orientation of the house improves amenity as well as minimise impact on adjacent dwellings. Property front setbacks exist to improve the visual appeal of the built form from the street.

### C Sense of Entry

Prominence of front entry doors to street contributes to the private and public interface. Covered entries should be clearly and proportionally sized to deliver a strong identifiable address to each dwelling. Elements such as verandah, portico and porches are highly encouraged and should be an integral part of design.

### D Relationship To Existing Grade

Designs on elevated land must take into consideration the natural topography. By selecting a suitable design and appropriate construction methodology that works with the site levels, the land fall can offer many advantages such as more exposure to views, zoning of the house via split levels, better natural light access etc.



G & H

E & F

E & F

H

G & H

E & F

I

E & F

G & H

E & F





## **E Colours and Textures**

Colour and texture selection adds interest and variety to the house composition. Contemporary external colour scheme that is well considered can be timeless.

Consider the colours of adjacent properties and choose colours that set your house apart, yet complementary as a whole along the street. Upon request, the Design Review Panel can provide information on adjoining dwellings to assist the process.

## **F Appropriate Materials**

External material is the outer most protective skin of the house, as well as the most visible part of the house that is presented to the public. Long term performance and low maintenance are important factors to consider on top of aesthetics and local climatic conditions.

Built form primary facades should consist of a variety of materials to provide individuality as well as variety in the streetscape.

## **G Built Form Variety**

Individuality is highly promoted and gives each entity a unique characteristic that differentiates one from another.

In order to promote diversity and interest to the streetscapes, facade designs must be distinguishable between lots of close proximity. This is to avoid identical repetitions that contributes negatively to the street setting.

## **H Roof Design**

Roof forms can have an impact on the comfort levels of a home. Its shape and overhangs affect air movement patterns and in return has a direct impact on natural ventilation. Roof eaves can also be a means to enhance the amount of natural light access indoors.

## **I Driveways**

Driveways to front of homes should be kept to a minimum and not to dominate the street appearance. Consideration to colour, texture, material, location and extent can impact the overall appearance of the dwelling.

## **J Letterbox & Street Numbers**

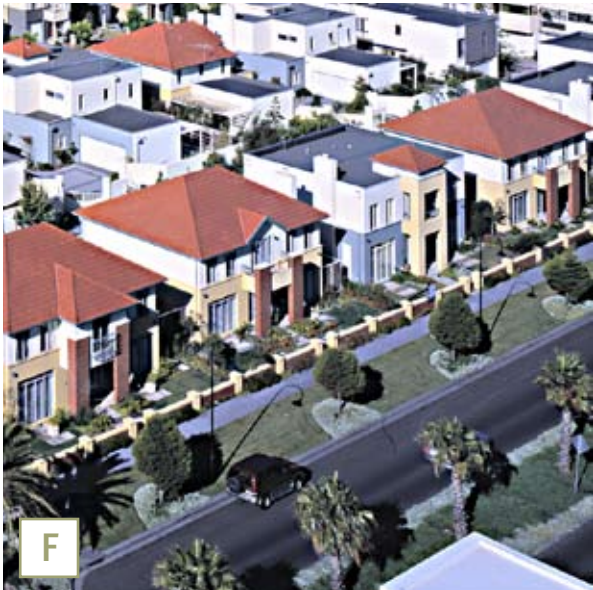
Letterbox and street number designs must be harmonious with the built form design and clearly identifiable. Refer to Section 5.2.





## EXTERIOR APPEAL

The home is an important asset and its street face is the public image. Appealing and timeless street frontage contributes positively to the street.



### A On-Site Car Accommodation

Car accommodation in the form of garage or carport should not visually dominate the street. Colour and material selection should be in harmony with the rest of the home. This applies to garage door selection as well.

Each dwelling should provide for two car parking spaces on-site. This can be in the form of garage or carport.

### B Height Restrictions

Building height restrictions are in place to ensure the scale and quality of the streetscape is uniform and well-balanced.

Height controls also exist to minimise over-shadowing of adjoining lots.

### C Double Storey Component

Double storey elements along the streetscape provides variation and help articulate the front facade.

Adequate setbacks and use of articulation elements are essential to avoid bulk and large blank walls. It is also essential to control the building envelope to prevent overshadowing and overlooking.

### D External Glazing

Window configurations and proportions is another important element to the architectural composition of a home. A few key factors to take into consideration:

- Suitable access to natural light of the room
- Amount of openable area for ventilation
- Privacy level to suit the space usage
- Access to outdoor
- On-going maintenance
- Amount of heat lost or gain

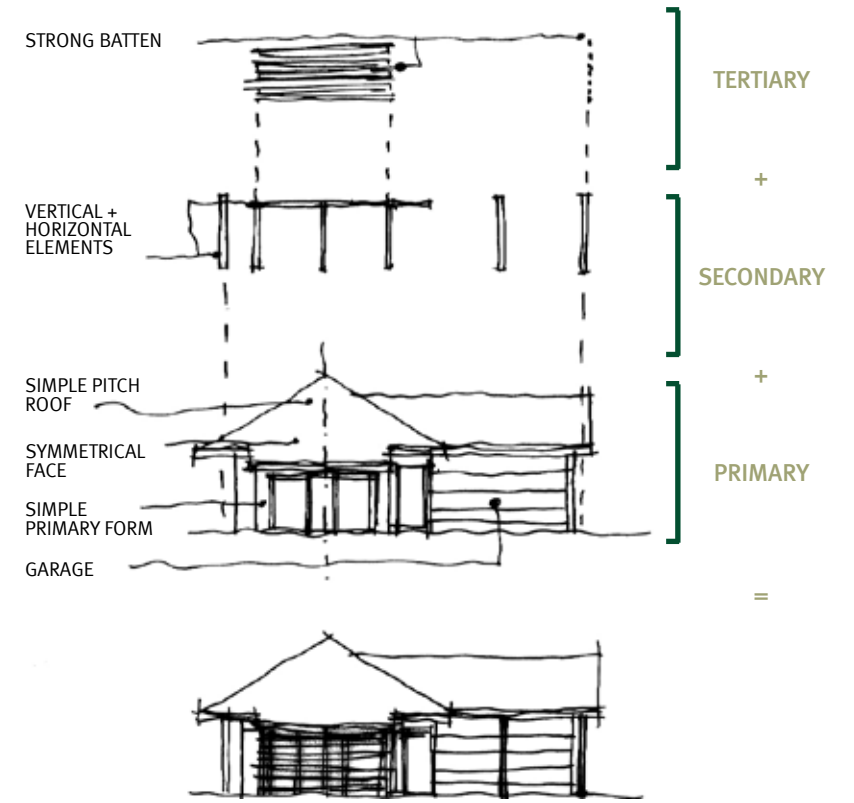
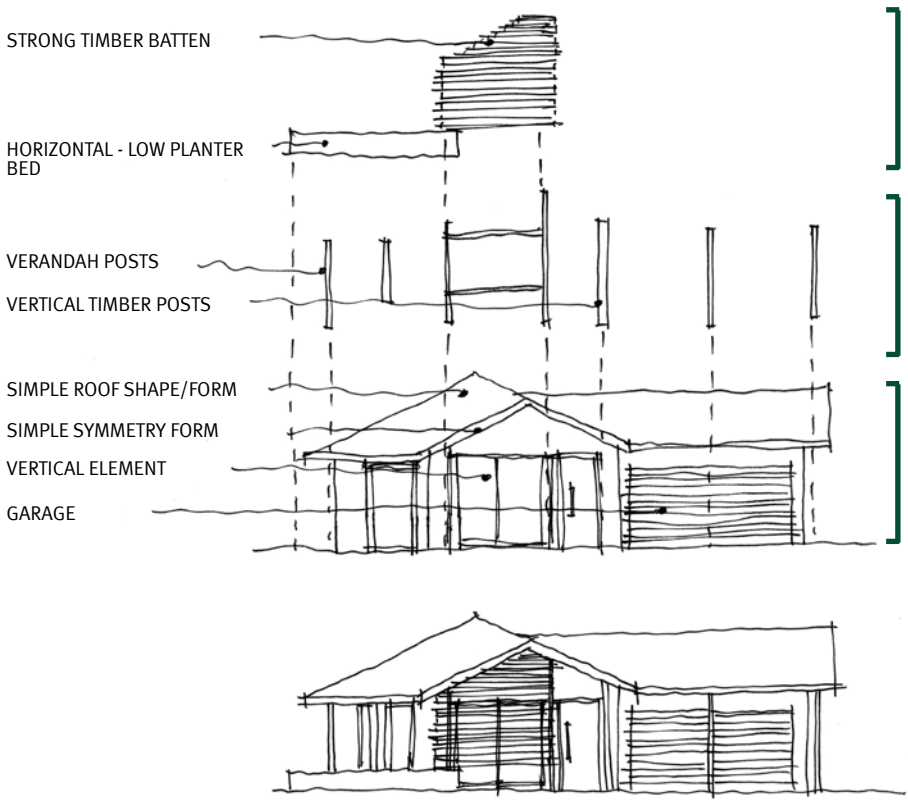
### E Outbuildings and Ancillary Items

In order to maintain a uncluttered street of high quality, unsightly service elements and detached out buildings are to be out of sight from public realm.

### F Corner Blocks

Dwellings on corner land blocks have the advantage of dual frontage to the street. The house design should address both primary and secondary street frontages to ensure a quality house prominence is presented to the public realm.

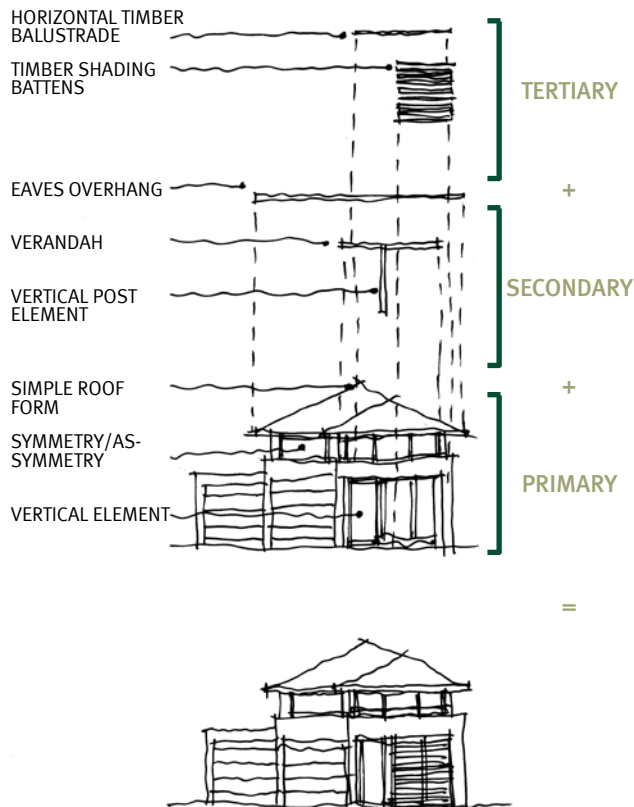




# ARCHITECTURAL CHARACTER

Acknowledgement of change and consideration of the location's history are important factors that affect the development's future character. The overall character of Greenvale Lakes is a response to the unique water views, vast open green spaces, and existing family of established trees in the region.

Architectural response of the built forms must take a contemporary interpretation of these privileged place making elements and further enhance the attributes that respects and relates to this region. A combination of a respectful approach and innovative architectural features will deliver the Greenvale Lakes vision.



## Articulation Elements

A number of key elements make up the front facade composition. Good design is an outcome of a balanced approach to the interplay of these elements, with suitable materials, colours, landscape component etc.

### A Primary Elements

#### A.01 Basic Form of the Home

- Treat this as the blank canvas to start with
- Keep simple
- Allow interest to be added by other elements

#### A.02 Entry

- Prominence of front entry doors to street contributes to the private and public interface.

#### A.03 Symmetry or Asymmetry

- Panel lift door of timber or steel finish
- Slatted timber batten screen

#### A.04 Roof Form

- Simple combination of pitched, gable or parapet fall roof
- Refer to Section 5.3 for further information

#### A.05 'Ins' and 'Outs'

- Push and pull internal layouts to avoid flat facade
- Consider privacy and visibility of rooms that faces main streets.

#### A.06 Garage / Carports

- Set garages back of main building line

### B Secondary Elements

#### B.01 Covered Entry Component

- Elements such as verandah, porticos and porches are highly encouraged.
- Should be integral part of the house design
- Clearly and proportionally sized to deliver a strong identifiable address to each dwelling.

#### B.02 Vertical Post Elements

- Typically structural to support balconies or the like.
- Helps to break up the bulk of the home.
- Another example is chimney as a vertical feature.

#### B.03 Eaves

- Wide eaves gives the effect of a floating roof.
- Has solar control benefits as well.

#### B.04 Upper Floor Elements

- Balconies, upper floor overhangs and windows are dominating elements and effective in adding articulation.
- Creates functional living areas for upper levels of the home.
- Provides outlook and passive surveillance to encourage 'eyes on the street'.

### C Tertiary Elements

#### C.01 Shading Devices

- Devices such as metal and timber batten sunscreens and awnings are encouraged, especially to protect northern and western openings.
- Should be integral part of the house design.

#### C.02 Pergola

- Appear as an extension of the home.
- Can be used to provide a semi-shaded area that is practical
- Also add interest and definition to the form.

#### C.03 Horizontal Elements

- Well detailed horizontal members adds intricacy to the overall composition.
- Timber or metal screening and balustrade, horizontal light weight cladding materials, expressed joints and low long planter boxes are some examples.







## LIVE WORK PLAY

For many, the home is not only a place to live. With modern technology and changing lifestyle, a home needs to function as a work place, as well as a play space to entertain, relax and unwind.



### A Open Space

Various forms of public open space provision within the development caters for recreational needs, and serves as social environment for the community.

Adequate private open space to individual dwellings should be located logically, preferably adjacent to main living areas, for entertainment and recreational uses. Ideally it should have a level of privacy from main streets and adjoining buildings, and ample solar access.

### B Solar Access

Good solar access benefits the function and value of the house design in many ways:

- Ample natural light provides comfort and makes a space more inviting.
- Lessen the use of heating systems by allowing the sun in to provide thermal comfort in winter.
- Reduce dependency on artificial lighting, which in turn saves on energy bills and greenhouse emissions.
- Adequate sunlight for a solar hot water and/or photovoltaic system to function to its maximum capacity
- Reduce the use of clothes dryer by having a sunny area for clothes line.

### C Privacy

Proper function of certain zones within the home require a certain level of both acoustic and visual privacy. This can be achieved through secondary elements such as insulation and barriers, but early planning can achieve a better outcome.

Private open space should be located where privacy from neighbours and the public is maximised.

### D Spatial Planning

A separate zone with private access can help keep work and home zones distinguished.

Plan for the future: consider 'adaptable' rooms to accommodate future lifestyle changes. Large 'movable walls' can be used to divide or open up large rooms.

Large covered outdoor rooms suits entertainer's home and functions all year round.



A



D



B & E



E



## YOUR COMFORT

Sustainable approach to a house design utilises a combination of passive design methodologies to respond to the local conditions and climatic setting.

House design with features of lasting value and timelessness is also a sustainable feature. A well-constructed and high quality workmanship that can withstand local environmental factors also has tremendous benefits in prolonging its lifetime and minimise future maintenance.



### A Orientation and Site Planning

Good orientation and spatial planning contributes to the on-going running costs and comfort of the home. A well orientated building, that sits integrated with topography and environmental conditions, adds value to the property, as well as its adjacent neighbours.

### B Spatial Planning

Open-plan layout promotes natural ventilation by providing non-interrupted passage for breeze paths. Another advantage is better access to natural light, creating a spacious and inviting space.

Zone the home according to spatial usage through the day to suit required comfort levels. For instance place service areas such as bathroom, laundry and garages on the west or south where minimal time is spent. Place family rooms, kitchen and dining rooms on the north where most of the time is spent during day time and natural light is utilised.

### C Site Coverage and Permeability

A suitable size house on each allotment is important and contributes to sustainability as well. This contributes to well proportioned and functional outdoor spaces, as well as allow for access to adequate natural light.

Adequate site coverage is also important to allow for absorption of stormwater back into the ground within each allotment. If site coverage is exceeded, storm sewer backups could occur.

### D Passive Heating

Passive heating means using the sun as a 'free' energy source for keeping the house warm in winter. For instance thermal mass to 'collect' heat in the day that is used to keep the house warm at night.

Utilise window shading devices to control solar access, especially on the east and west. Adjustable shading device is best suited for north facing windows to control unwanted summer heat gain and invite entry of low winter rays.

### E Passive Cooling

Passive cooling deploys methods to keep unwanted sun heat out in summer and utilises breezes for cross ventilation. For instance appropriate use of eaves let winter sun in and keep summer sun out.

Natural cross ventilation is a 'free' and effective way to cool a space. Good ventilation also removes unwanted odors, volatile organic compounds (VOC) and other toxic. Another benefit is reduction of potential moulding. In all, better indoor air quality improves comfort level.

### F Energy & Water Efficiency

Smart house design decisions from the start can contribute to overall savings through the life of the home. Refer to Appendices for some suggestions.

On-going dry conditions in the past couple of years have risen the awareness of importance of water conservation. Incorporating water efficiency at early stages of a new home construction saves time, money and energy in comparison to a future retrofit. Permanent water saving initiatives can be put in place from day one.





## LANDSCAPE

The architecture of the dwelling can be reinforced by strategic landscape designs such as defined flow of entry path, use of similar materials in elements (such as rendered fencing piers), placement of planting for privacy control and play of textures.



### A Front Garden

This is the zone between the built form's main building line and its front boundary and is the most publicly visible zone. Simple and clever ideas put into front gardens can greatly enhance the home's appeal, as well as create a sense of identity and individuality.

Limit the amount of hard surfaces and utilise 'soft' coverings such as garden beds, shrubs, ground cover and trees.

Landscape elements can also have functional aspects. Consider using foliage in appropriate locations and heights to provide screening to windows and openings.

### B Rear and Side Yards

Rear yards mainly serve as your outdoor entertainment, play and relaxation space. Provide covered areas that can be used in all seasons.

Side yards serves more functional purposes such as housing service units and for utility purposes. It is important to ensure that unsightly items are not visible from the public.

### C Sustainability

Consideration should be given to water-sensitive initiatives in selecting appropriate landscape elements. For instance, native species are encouraged because they generally require less water. Organic mulch can lower maintenance.

### D Retaining Walls

Designs on sloping lots must take into consideration the natural topography. By selecting a suitable design and appropriate construction methodology, the land fall can offer many advantages. Land cut and fill must be kept to a minimum.

### E Fencing & Screening

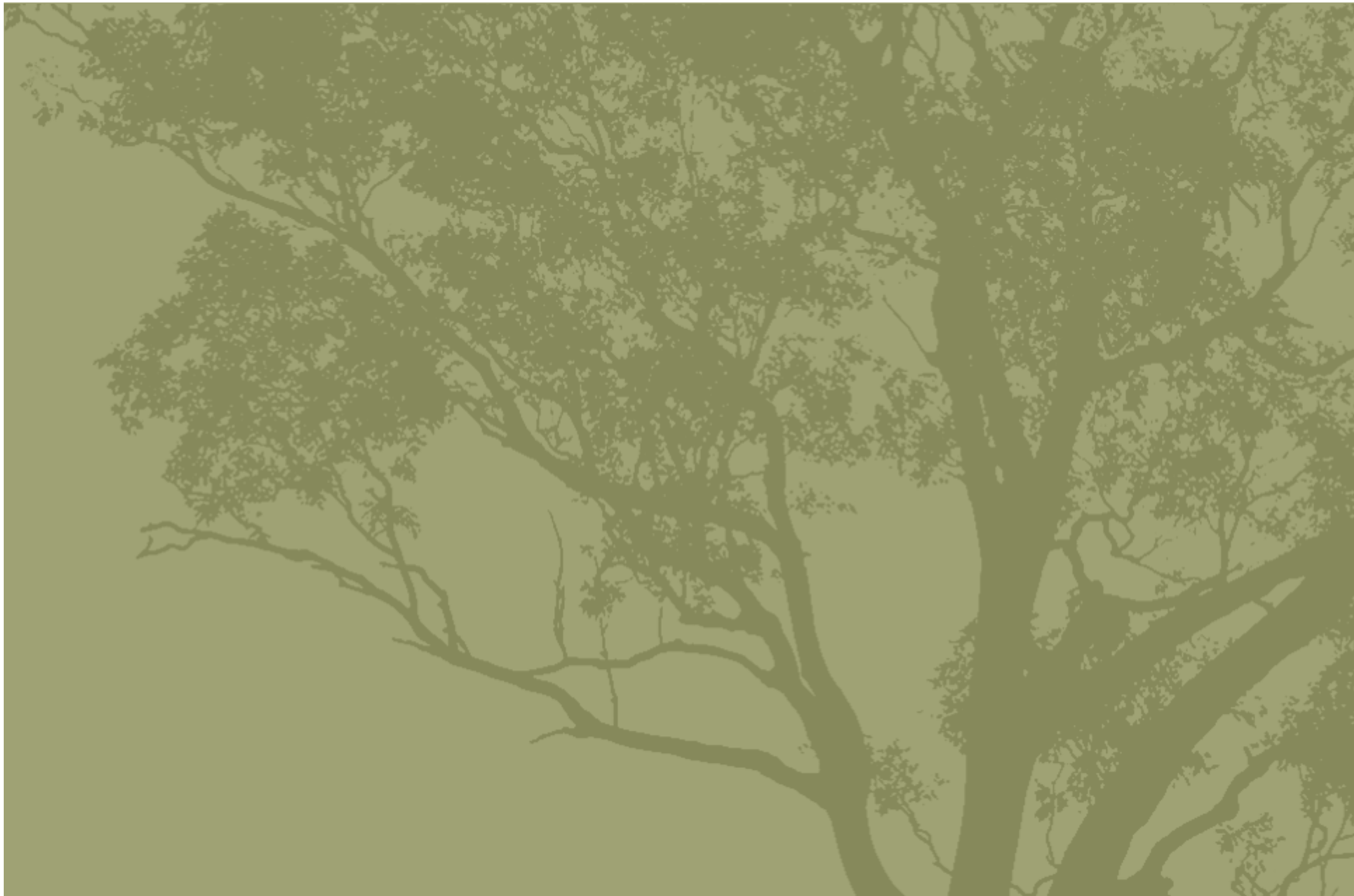
#### Side & Rear Fencing:

Height and material selection will be in accordance with design covenants.

Side boundary fence is not allowed forward of main building line. This is only permitted where side boundary forms the rear boundary of adjacent lot.

#### Fences on Slope:

Slope must be taken into consideration and fences must be stepped accordingly.







# Greenvale Lakes

## **DESIGN APPROVAL CHECKLIST**

Design Guidelines outlined in this document are put in place to create a consistency throughout the development. Individuality in every house design is promoted, but at the same time, a well-balance streetscape and safe public surrounds is fundamental. These Design Guidelines are not a statutory approval but the vendor's initiative in ensuring a quality community is delivered. If home design do not adhere to these guidelines or its intent, it will be assessed based on its architectural merits and positive contribution to Greenvale Lakes estate.

## STREETSCAPE CHECKLIST

### Architectural Character

Dwelling design contributes positively to the overall streetscape.

Built form is to be consistent with existing neighbourhood character and contemporary in style.

Design proposal does not include any external period reproduction detail or ornaments.

### Building Setbacks

Ensure setbacks comply with Building Envelope Plans (if applicable).

Buildings must comply with minimum setbacks outlined in Table A.

### Casual Surveillance

Locate windows to street frontage.

Plan the house with living zones that address the streets.

### Colours and Textures

(Refer to Appendix A)

Proposed external colour scheme is in line with that outlined in Appendix A.

The external colours and finishes palette is a combination of a variety of finishes, textures and shades.

All external surfaces are to be in a finished state (i.e. painted or coated where required) prior to occupation.

	< 14m Frontage		14-15m Frontage		15.01-16m Frontage		> 16m Frontage		Notes
	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	Ground Floor	First Floor	
Front Boundary (Living Zone)	4.0m	3.0m	4.0m	3.0m	4.5m	3.5m	4.5m	3.5m	Eaves, gutters, fascia, porticos, porches, verandahs and balconies may encroach 1.5m into setback.
Front Boundary (Garage)	5.5m	NA	5.5m	NA	5.5m	NA	5.5m	NA	Garage must be setback 840mm min. behind main building line
Rear Boundary	3.0m	6.0m	3.0m	6.0m	3.0m	6.0m	3.0m	6.0m	Eaves, gutters, fascia, porticos, porches, verandahs and balconies may encroach into setback, but must not be less than 1.5m from rear property boundary
Corner Lots (Secondary Frontage)	2.0m	2.0m	2.0m	2.0m	2.0m	3.0m	2.0m	3.0m	-
Side Boundary - Built-to-Boundary Wall	0.0m	1.0m	0.0m	1.0m	0.0m	1.5m	NA	NA	Take into consideration solar access.
Non Built-to-Boundary Wall	1.0m	2.0m	1.0m	2.0m	1.5m	2.5m	1.5m	2.5m	Take into consideration solar access.
Garage Location	Where appropriate, locate garage along built-to-boundary wall.								

TABLE A: BUILDING SETBACKS

Some setbacks are also subject to restrictions on the Plan of Subdivision and building regulations. In such cases, the latter will govern the setback.





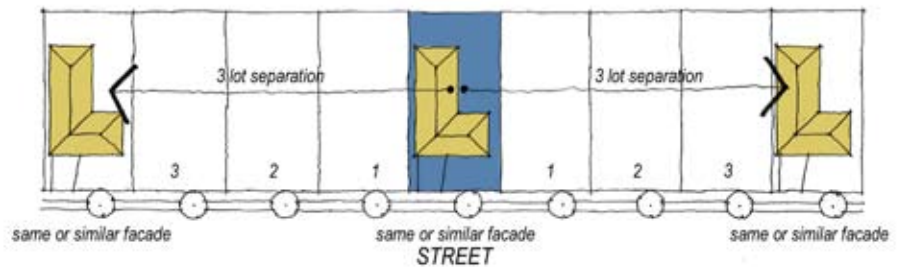


IMAGE 3: BUILT FORM VARIETY ALONG THE SAME SIDE OF STREET

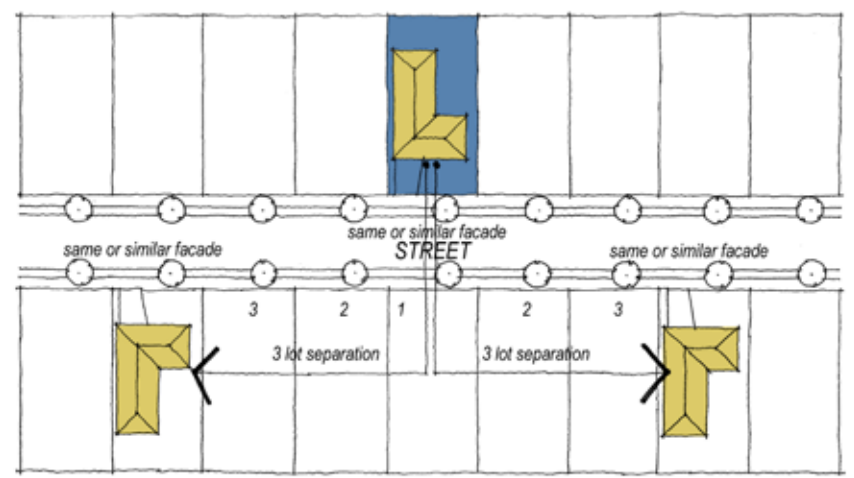


IMAGE 3: BUILT FORM VARIETY TO OPPOSITE SIDE OF STREET

**Letterbox**

(Refer to Appendix D)

Letterbox must be located forward of building and clearly visible.

Letterbox is housed in a purpose built low masonry structure. The design, colour and material should be complimentary to the dwelling and landscape design.

Letterbox size and position is in compliance with local council requirements.

**Built Form Variety**

Identical facade designs is not be repeated within three housing lots along the same street. Refer to Image 3 explanation.

In cases where similar home design is duplicated, the primary street facade is modified to an extent such that the homes are distinguishable from each other.



IMAGE 5: VARIETY ALONG STREETScape



IMAGE 4: DIVERSITY AND INTEREST WITH COMPLIMENTARY COLOURS AND MATERIALS



# EXTERIOR APPEAL CHECKLIST

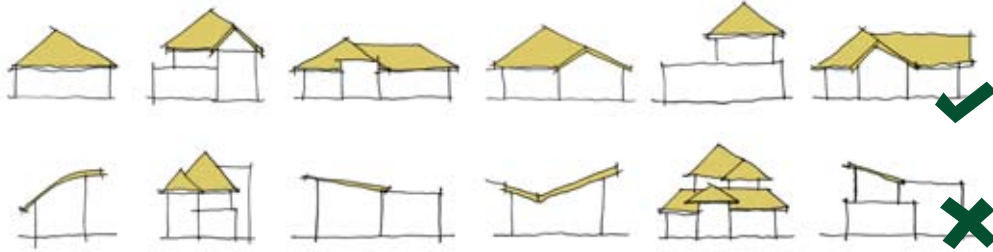


IMAGE 6: ROOF TYPES

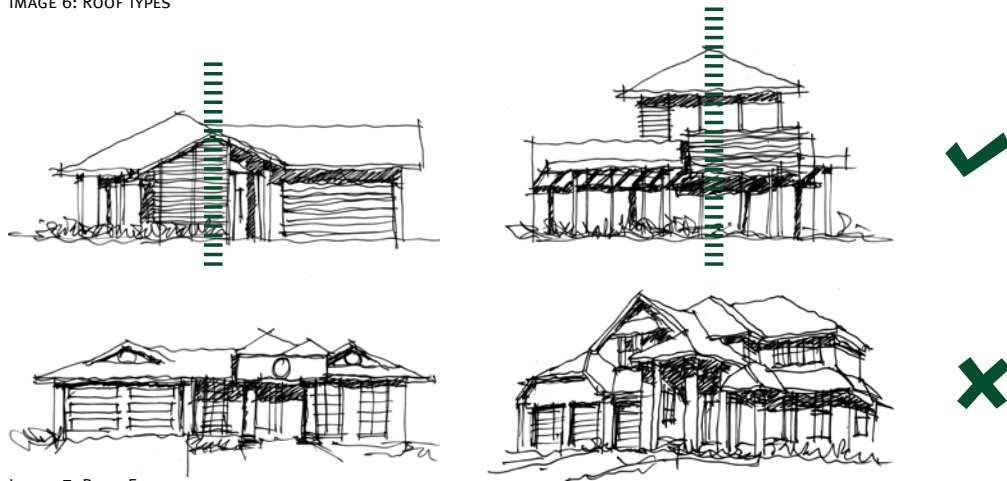


IMAGE 7: ROOF FORM



IMAGE 7: TREATMENT TO GABLE ENDS

## Roof Design

Roof form is simple and sympathetic to the overall built form design.

Material selection is in accordance to Design Guidelines. Refer to Appendix B.

Corner lots must have minimum 450mm eaves. Larger eaves are supported.

Pitched roof is no less than 22°.

Roofing elements such as downpipes, gutters, rainwater head etc are consistent with the rest of the dwelling design.

Treatments to gable ends must not have ornate decorations or period detail. Light weight cladding such as timber batten or panel, flat profile metal sheeting or fibre cement boards are encouraged.

## On-Site Car Accommodation

Provision of two on-site car parking has been included per lot.

To minimise street impact, garages and carport are to be a visually integrated part of the overall house design.

Garages/Carport are not to dominate the street frontage and must be setback minimum 840mm from main building line. Larger garage setbacks are encouraged.

External overall width of garage is not more than 6m wide.

Tandem garages are permitted.

Triple car garage are not permissible.

Colour and Style of garage/carport door must be complimentary to the overall house external colour scheme.

Roller doors are not permissible as garage door selection.

UPPER FLOOR COMPONENT TO BE MIN. 60% AND MAX. 80% OF OVERALL HOUSE WIDTH TO ITS PRIMARY STREET FRONTAGE

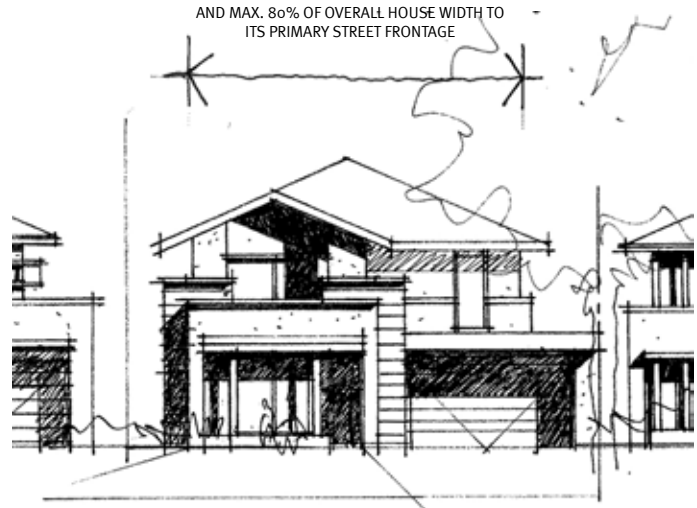
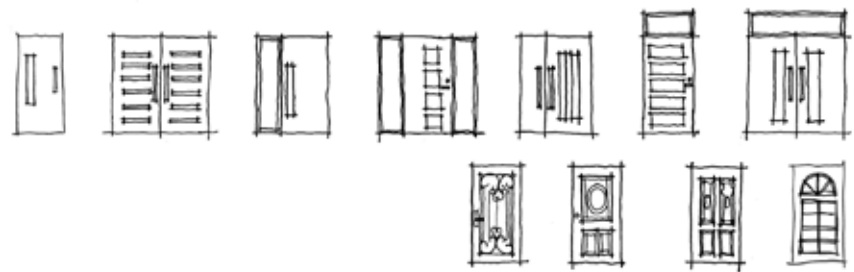
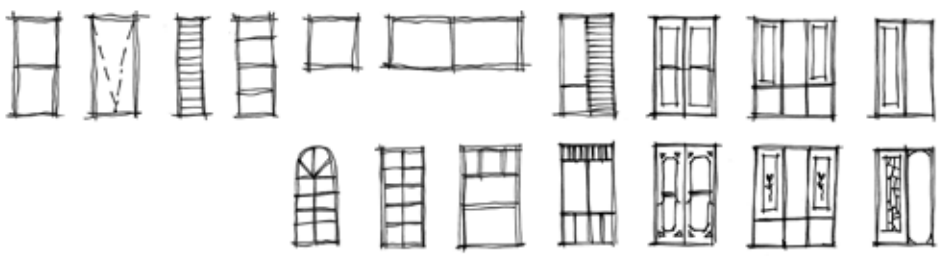


IMAGE 8: OVERALL UPPER FLOOR WIDTH



FRONT DOOR CONFIGURATIONS



WINDOW CONFIGURATIONS

IMAGE 9: TYPES OF EXTERNAL GLAZING  
Checklist page 6

**Height Restrictions**

Proposal is not more than two storey.

Overall building height is less than 9m.

**Double Storey Component**

Width of second storey component of the house must be:

- minimum 60% of its primary street frontage and;
- maximum 80% of primary street frontage.

Refer to Table A for setback requirements. Merits will be given to a well-proportioned facade.

**Shading/Screening Devices**

Provide window shading devices where sun control is required. Review northern and western glazing sections.

Windows with potential over-looking onto existing or proposed window of adjacent allotment needs to be screened.

All external screening devices should be one of the following materials:

- Powder coated aluminium
- Stainless steel profiles
- Colorbond sections
- Stain timber batten

**External Glazing**

Window frame and glazing selection is complimentary to the overall colour palette. Contrasting colours are not acceptable.

Sliding windows are not allowed to the any street frontages.

No leadlight or stained glass features are permissible.

## LIVE WORK PLAY CHECKLIST

### Outbuildings and Ancillary Items

(Refer to Appendix E)

Ancillary items which includes and not limited to clothes line, rainwater tank, solar hot water panels, hot water services, heating & cooling plants, bin storage areas (not limited to) must not be visible from the street. Care must be taken to screen these items.

Outbuildings must be located such that they are not visible from the street. The design, colour and materials used must be consistent with the rest of the house design. Outbuildings must not be more than 20 m<sup>2</sup> and 3.6 m high.

Location, design and colour of meter enclosures must be complimentary to the overall design, and minimise impact on the streetscape.

External plumbing and electrical services must not be visible from the street. This excludes roof drainage elements such as gutters and downpipe.

Minimise visual impact of downpipes and rainwater heads to the street facade.

Location, design and colour of meter enclosures must be complimentary to the overall design, and minimise visual impact on the streetscape.

### Corner Blocks

Use elements such as wrap-around verandahs, detailing, feature windows, continuous material, setbacks, upper floor overhang etc to ensure both frontage carries the same architecture language.

High fences (greater than 1.2m) are limited to a maximum 60% of overall allotment length.

### Open Space

Include well located outdoor space with good amenity supports a healthy active lifestyle.

Consider covered or semi-covered outdoor area, with good relationship to indoor living zone, for all-year-round use.

Provide no less than 40m<sup>2</sup> of private open space within the allotment. This can be made up of a combination of areas.

Provide at least one principal zone that is part of private open space:

- No less than 25m<sup>2</sup> in area.
- Have dimensions no less than 4m.
- Has direct access from living zone.
- Has good solar access.
- Maximum grade is 5%.

Driveways, car parking, drying courts and service areas are not considered as private open space, and should be omitted from the area calculation.

Principal private open space area is to receive minimum 5 hours of sunlight between 9am and 3pm on September 22.

### Solar Access

Consider siting the house closer to the south, east or west boundaries

Locate major glazing to the northern orientation. Ensure glazing is appropriately sized and shading devices are used to control summer heat load whilst allowing entry of winter sun.

Keep north-facing walls and windows away from large obstructions to be clear of overshadowing

Care is to be taken to avoid reducing solar access to adjacent properties.

Use skylights where it is not possible to have windows.



# COMFORT CHECKLIST

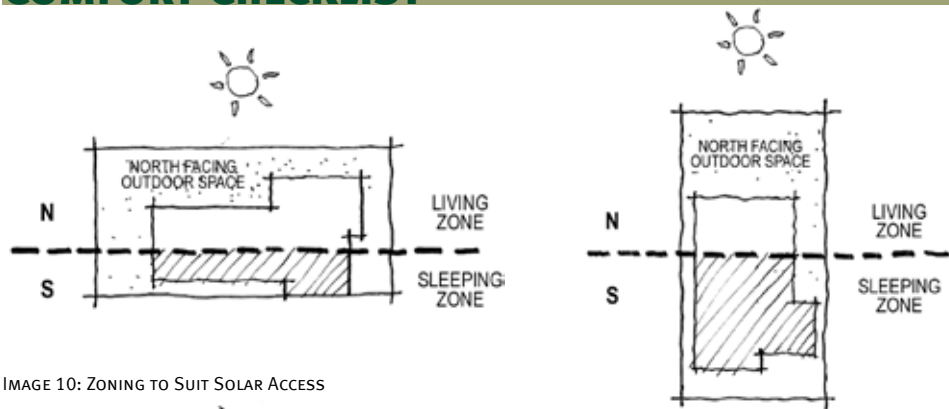


IMAGE 10: ZONING TO SUIT SOLAR ACCESS

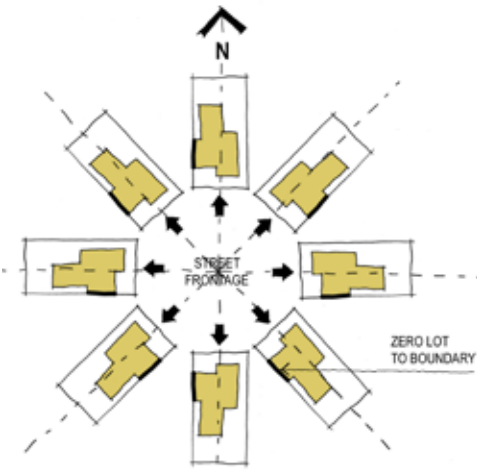


IMAGE 11: ZERO LOTTING PRINCIPLE

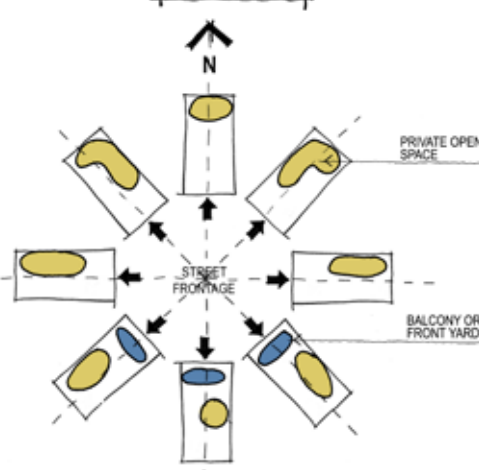


IMAGE 12: LOCATION OF PRIVATE OPEN SPACE

## Orientation and Site Planning

Locate living zones and outdoor spaces to northern aspects.

Minimise west facing glazing where possible.

Position windows and openings to promote natural ventilation. Reduce barriers to air paths through the house and provide paths for warm air to escape.

Minimise amount of external walls.

Adopt window shading devices to control solar access.

Provide shadow diagrams to check potential over-shadowing onto neighboring allotment, especially on east-west lots.

## Site Coverage and Permeability

Maximum site coverage is 60%

20% of the allotment has to be of permeable surface.

Minimum floor area must comply with relevant covenants.

## Passive Heating & Cooling

Select and use suitable building materials appropriately. For instance thermal mass to 'collect' heat in the day that is used to keep the house warm at night.

Appropriate roof, ceiling & wall insulation and draught sealing.

Appropriate use of eaves to let winter sun in and keep summer sun out.

Light colour roof reflect more radiation and has less heat gain.

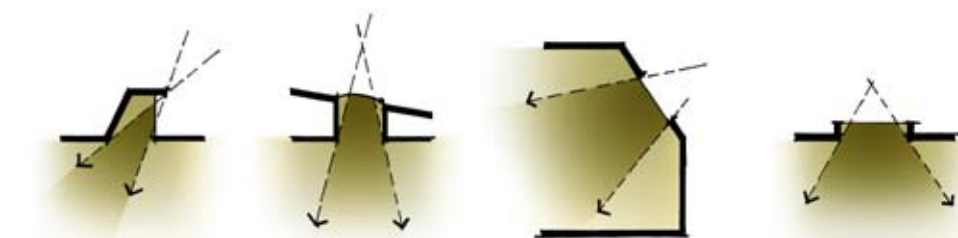


IMAGE 13: TYPES OF ROOF LIGHTS AND EFFECT ON SOLAR ACCESS

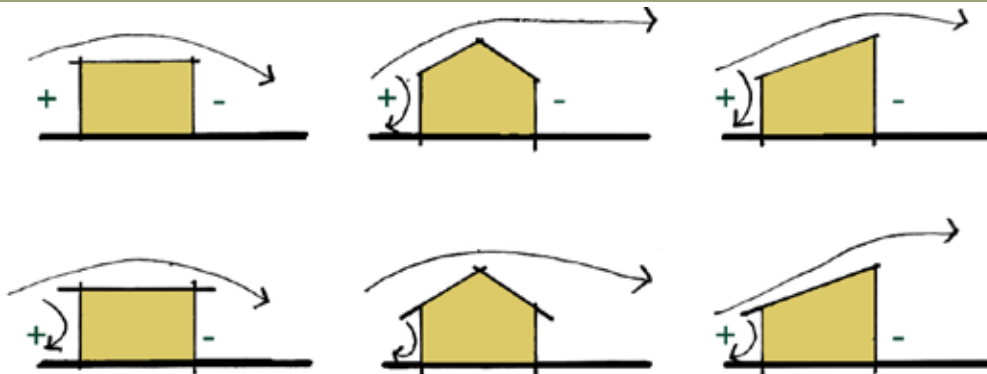


IMAGE 14: EFFECTS OF BASIC ROOF FORMS ON NATURAL VENTILATION

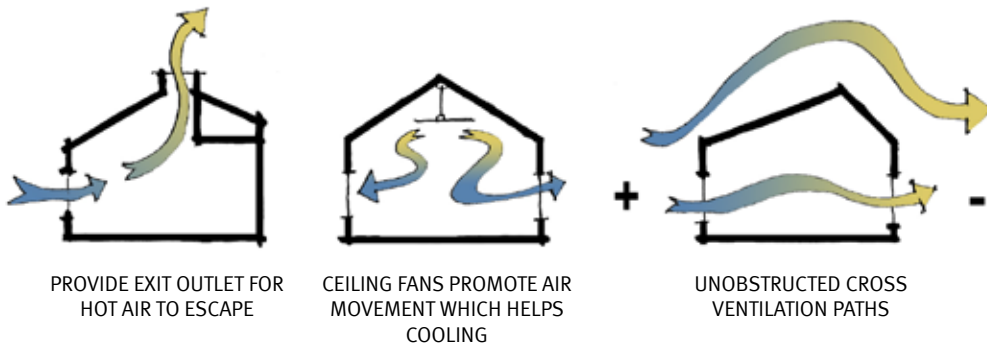


IMAGE 15: WAYS TO PROMOTE NATURAL VENTILATION



IMAGE 16: SAMPLE ENERGY RATING AND WELS WATER RATING LABELS (EXTRACTED FROM WWW.WATERRATING.GOV.AU)

**Energy Efficiency**

Access to natural lighting reduces use of artificial lights.

Passive heating and cooling methods lessen the dependency on heating and cooling systems.

Install skylights to room that does not have access to window.

Ceiling fans is a relatively affordable method to promotes air flow through the room for cooling.

Zone the house so that heating/cooling can be applied only where required.

Photovoltaic system produces electricity for the home's use.

Solar hot water system with panels correctly position to maximise capacity.

Locate hot water using appliances together and close to heating unit to reduce heat loss in long distances travel.

Reconsider use of high maintenance materials that contributes to on-going running cost of the building.

**Water Efficiency**

Install higher WELS factor water efficient appliances and tapware accordingly.

Install a suitable sized rainwater tank. Ensure its location facilitate maximum rainwater collection. Also consider proximity to areas for water use i.e. watering front garden, toilet flushing, laundries etc.

Use suitable permeable ground coverings to allow rainwater to infiltrate the soil rather than drainoff. Reducing extent of hard paved areas will benefit.

Mulching around plants conserves water by preventing evaporation and reducing run-off.

# LANDSCAPE CHECKLIST



IMAGE 17: DEFINITION OF FRONT GARDEN



IMAGE 15: FRONT GARDEN



IMAGE 18: EXAMPLES OF WELL-DESIGNED RETAINING WALLS

## Front Garden

Landscape works to the front garden must be completed within 3 months of occupancy of dwelling.

At least 50% of front garden must be covered in softscape such as garden beds, shrubs, ground cover and trees.

Consideration should be given to water-sensitive initiatives in selecting appropriate landscape elements. For instance, native species are encouraged because they generally require less water. Organic mulch can lower maintenance.

Utilise foliage and its location to provide screening to windows and opening.

Include at least one large native tree, with minimum 6m mature height.

Letter box and street numbering is in place at the same time the house construction is completed.

## Retaining Walls

Minimise the use of retaining wall and excessive earthworks that creates a visual impact, especially where visible to public.

Add interest and minimise bulky plain walls by choosing appropriate material, adding softscape, tapering heights, breaking up and staggering the wall etc.

Retaining walls to the front of the house must be tapered to work with the natural ground levels.

Some approved materials are as follows:

- Timber Sleepers
- Masonry block work, render or paint finish
- Natural stone i.e. sandstone, stack stone or boulders

## Side & Rear Fencing

1.8 metre high Colorbond fencing in Grey Ridge (colour) with black columns and capping.









# Greenvale Lakes

## **APPENDIX**

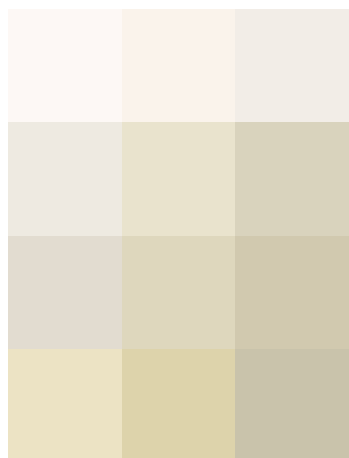
Additional information is available [here](#).



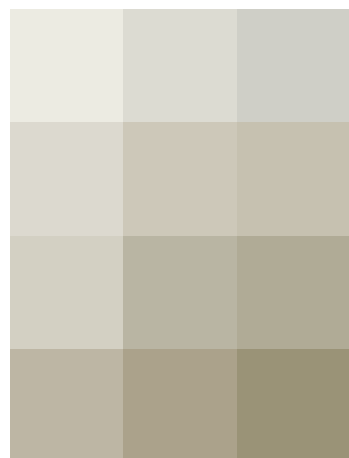
# APPENDIX A: COLOURS & TEXTURES

## BASE COLOURS:

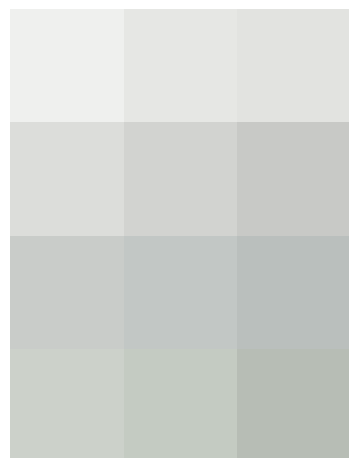
Use light, natural and earthy hues that are harmonious with the open parkland setting.



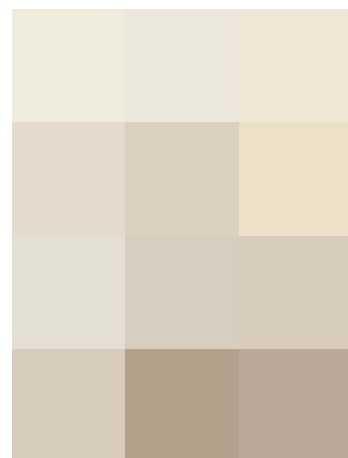
Whites to beiges



Warm greys to taupes



Cool greys to greyish green



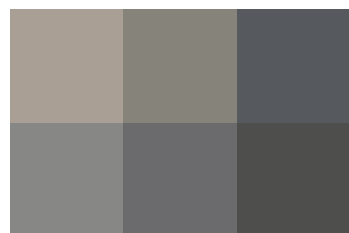
Neutral and earthy tones

## ASCENT COLOURS:

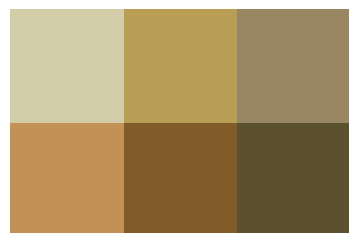
Use this as a highlight element to help articulation as well as create contrast, but should compliment base colour. Strive to balance colours over the entire building.



Warm to deep reds



Bluish greys



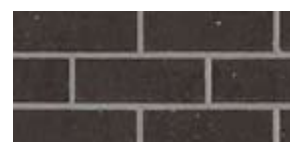
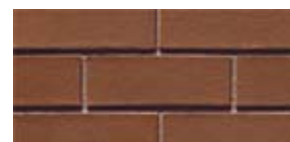
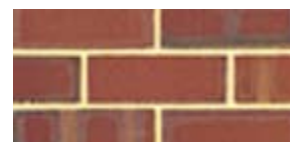
Earthy to ochres



Deep warm greys to charcoal

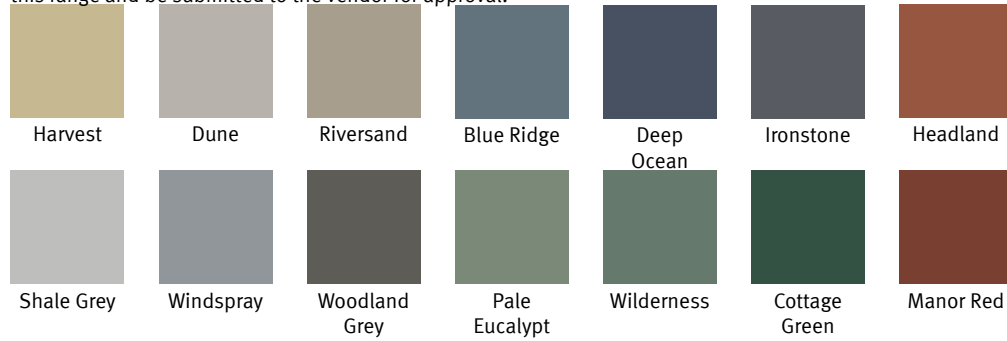
## FACE BRICK:

Treat face brick on front facade as a feature to provide texture and variation. Alternatives are subject to approval by the vendor.



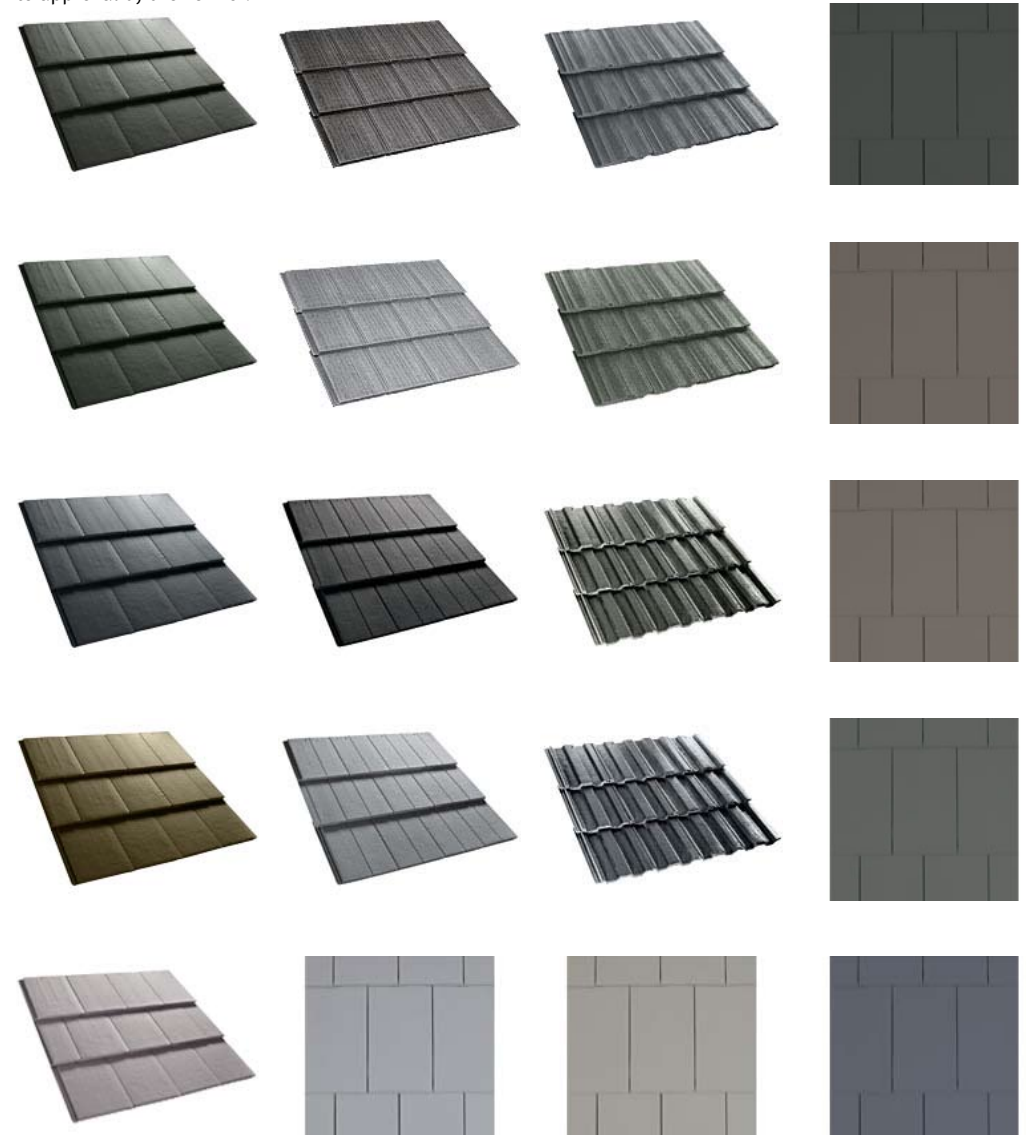
**METAL SHEET ROOFING:**

The selected colour range is from Colorbond's standard roofing range. Alternative manufacturers must be within this range and be submitted to the vendor for approval.



**ROOF TILES**

Preferred roof tiles are low-profile terra-cotta or concrete roof tile, slates and shingles. Alternatives are subject to approval by the vendor.

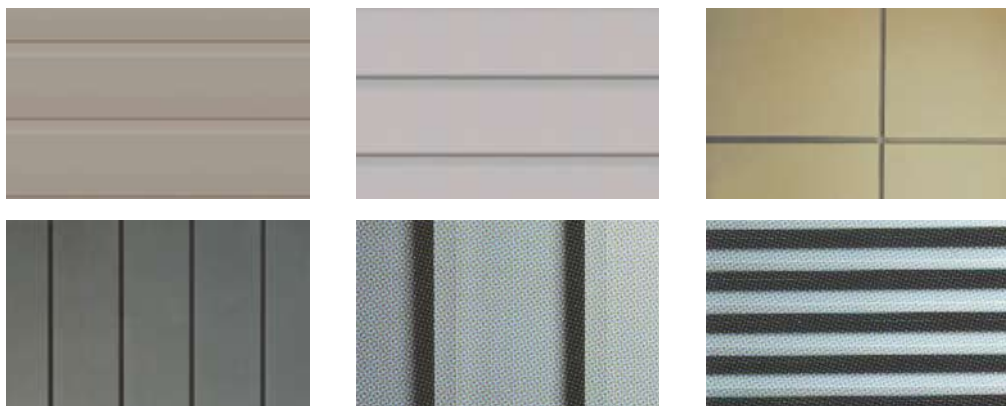


## APPENDIX B: APPROPRIATE MATERIALS

Approved materials include:

- Feature brickwork or blockwork
- Masonry blocks, sandstone and stack stone
- Lightweight cladding panels (e.g. weatherboards, plywood, zinc)
- Fibre cement sheet, rendered or textured finish
- Painted or stained surfaces
- Timber cladding

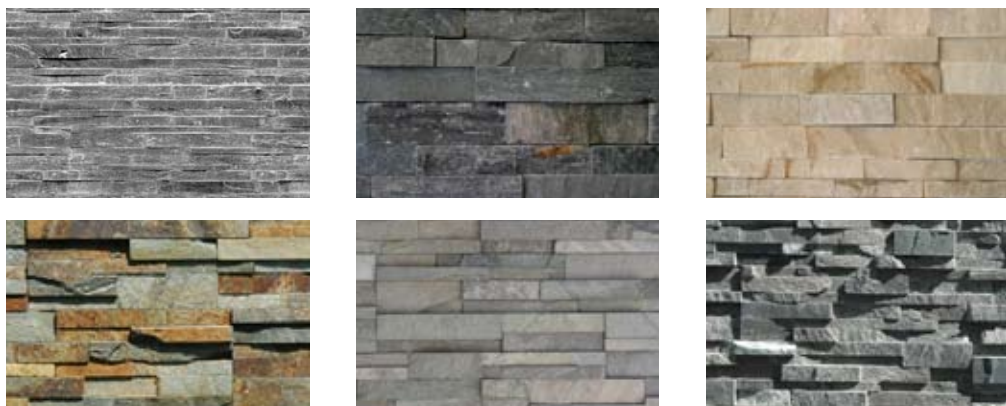
### LIGHTWEIGHT CLADDING



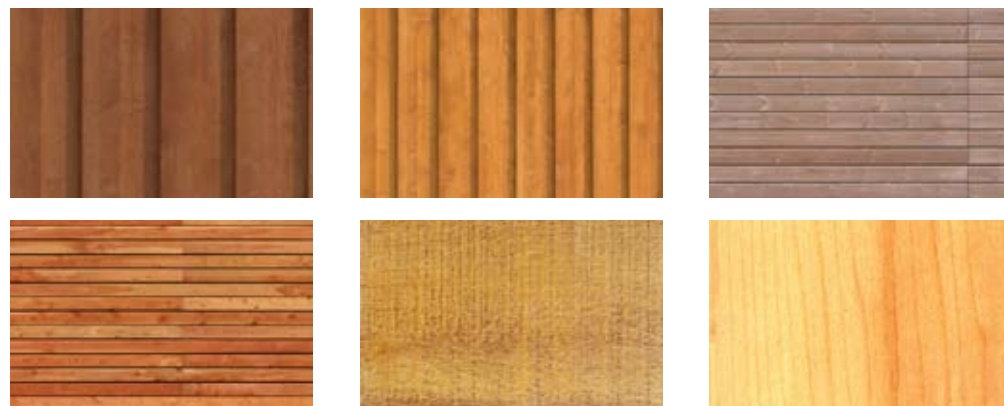
### RENDER / STUCCO



### NATURAL STONE



### TIMBER CLADDING







## APPENDIX C: DRIVEWAY

Refer to below approved driveway material selection. Other alternative material/finish is subject to approval by the vendor. Please provide coloured photograph or sample with DA submission.



### Type A: Brick Pavers

Colour selection to be complimentary to building design and external colour scheme.



### Type B: Exposed Aggregate

Colour selection to be complimentary to building design and external colour scheme.



### Type C: Coloured Concrete

Colour selection to be complimentary to building design and external colour scheme.



## APPENDIX D: LETTERBOX

Letterbox must be housed in a purpose built structure located forward of the building. Here are some approved types to base individual designs on:



### Type A: Facebrick or Render Finish Pier

With brick-in letterbox, mill aluminium finish. Alternative finishes must be approved by the vendor.



### Type B: Timber Free-standing Pier

With brick-in letterbox, mill aluminium finish. Alternative finishes must be approved by the vendor.



### Type C: Custom Design

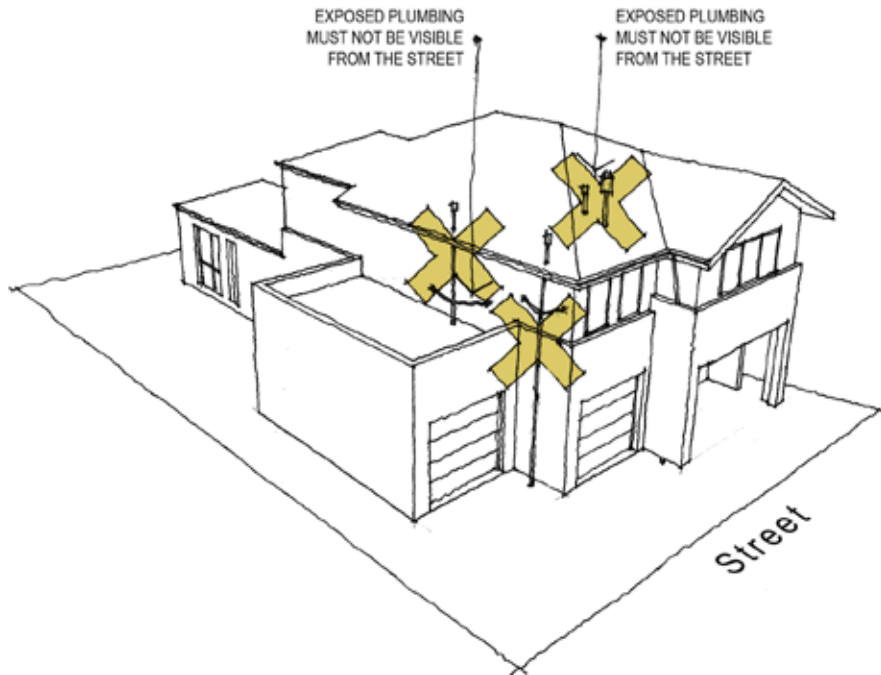
Custom design units that are complimentary to the house design is highly recommended. These are subject to approval by the vendor.



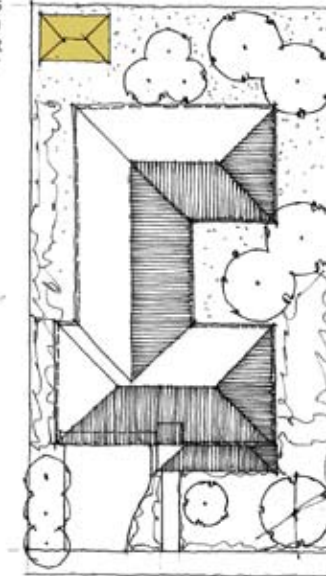


## APPENDIX E: OUTBUILDINGS & ANCILLARY ITEMS

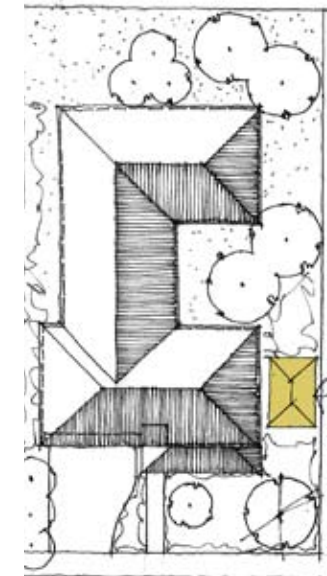
These diagrams and images sets out restrictions to visibility of outbuildings and ancillary items from the public realm.



OUTBUILDING LOCATED TO MINIMISE THEIR VISUAL IMPACT



STREET



OUTBUILDING VISIBLE FROM STREET

STREET



EXPOSED PLUMBING



EXPOSED AND OVERSIZED SERVICES ON ROOF



VISIBLE CONDENSER UNITS TO THE STREET FRONT



SERVICES CLEARLY VISIBLE FROM STREET



SERVICES LOCATED ON THE SIDE OF FRONT FACADE





Disclaimer:

This is indicative only and believed to be correct at the time of printing. This should not be relied upon by purchasers, as no warranty or representation is given or to be constructed. Areas and dimensions are subject to survey and all other matters (including but not limited to price, availability, dates and proposed facilities) are subject to change without notice at Peet's absolute discretion. This does not form part of any contract and purchasers should review the contract carefully, make their own inquiries and obtain independent advice before proceeding.







# Greenvale Lakes

**FORMS**



# GREENVALE LAKES DESIGN APPROVAL APPLICATION FORM

## ALLOTMENT DETAILS

Lot Number: .....  
Street: .....

## OWNER DETAILS

Name: .....  
Mailing Address: .....  
.....  
.....  
Contact Number: .....  
Email: .....

## BUILDER DETAILS

Name: .....  
Company: .....  
Mailing Address: .....  
.....  
.....  
Contact Number: .....  
Email: .....

## ATTACHMENTS

- Completed checklist
- 3 copies of Site Plan
- 3 copies of proposed Floorplans, Roof plans and Elevations
- 3 copies of Materials and Colours schedule
- 3 copies of Landscape design

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## NON-CONFORMING DESIGNS

(TO BE COMPLETED FOR DESIGNS THAT DO NOT COMPLY WITH DESIGN GUIDELINES)

List measures taken to ensure that standards are being upheld or improved:

.....  
.....  
.....  
.....  
.....

List reasons why this home design will add character to the overall estate:

.....  
.....  
.....  
.....  
.....

- Where colour selections or materials differ from pre-approved palette, please provide samples or images of your selection for assessment.

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SUBMITTED BY: .....

PRINT NAME: ..... DATE: .....