

SURVEY PLAN

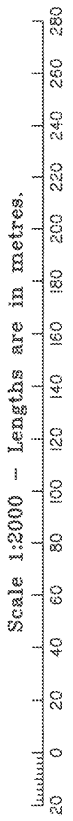
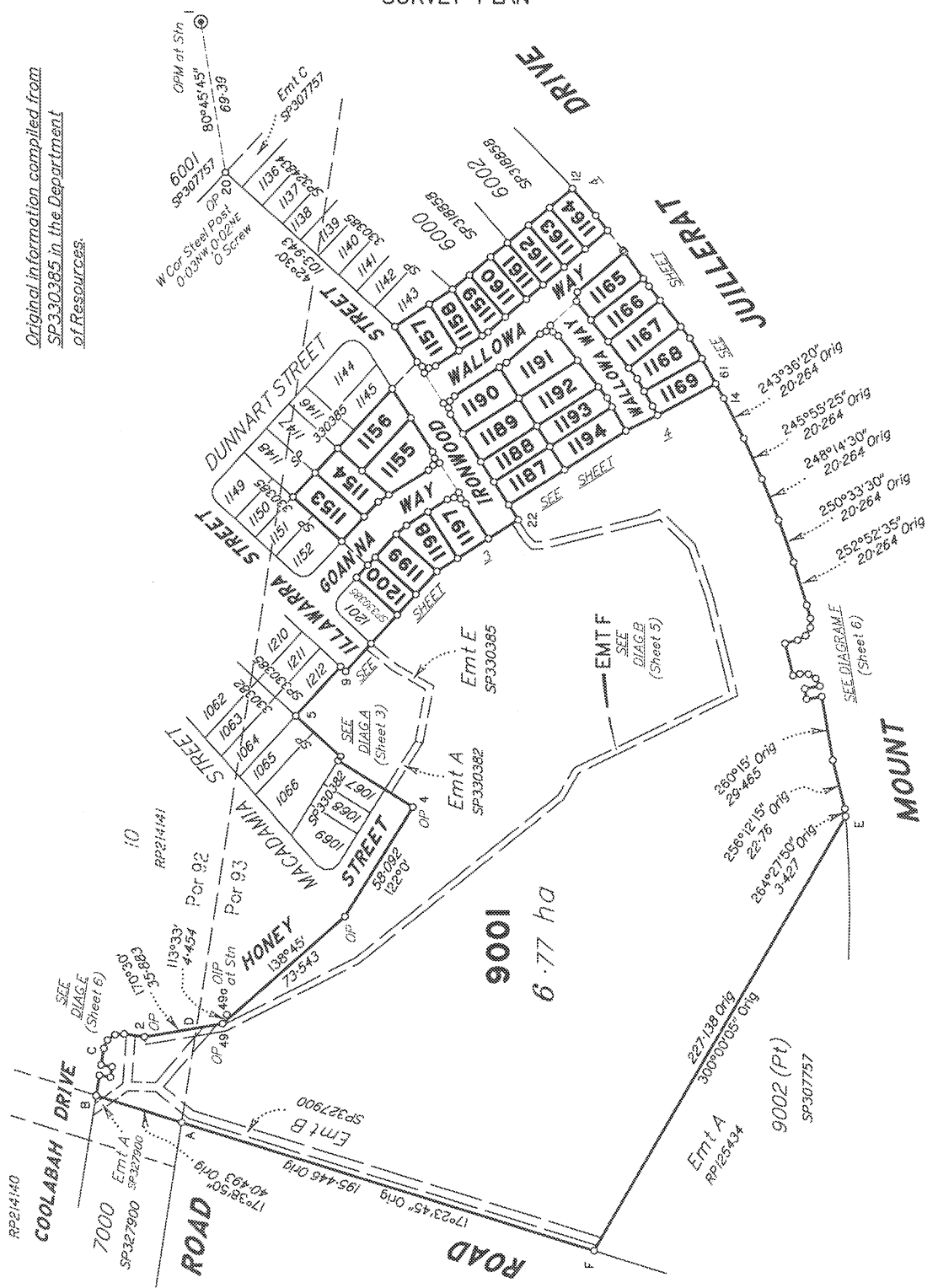
Sheet	of
1	6

See Sheet 6 for Reference Marks  
Permanent Marks & MGA Coordinates  
Tables.

See Sheet 6 for Reinstatement Report.

Original Information compiled from  
SP330385 in the Department  
of Resources.

In accordance with section 3.22 of the  
Cadastral Survey Requirements, corners  
have not been marked. For corner marks  
and reference marks see 15/1/2023.

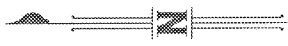


**DEPTH RESTRICTIONS**

Part of Lot 9001 as defined by stations (A-B-C-2-D-A) is restricted to a depth of 15.24m from the surface as defined by M3172.

Part of Lot 9001 as defined by stations (A-D-4-5-9-22-61-E-F-A) is unrestricted.

Lots 1153-1169, 1187-1194 & 1197-1200 are unrestricted.



SAUNDERS HAVILL GROUP PTY LTD (ACN 144 972 949) hereby certify that the land comprised in this plan was surveyed by the corporation, by Clinton Miles UROUHART, surveying graduate, for whose work the corporation accepts responsibility, under the supervision of Michael KLEINE, cadastral surveyor, and that the plan is accurate, that the said survey was performed in accordance with the Survey and Mapping Infrastructure Act 2003 and Surveyors Act 2003 and associated Regulations and Standards and that the said survey was completed on 15/11/2022



*M. Kleine*  
Authorised Signatory  
*[Signature]*  
Authorised Signatory  
Date: 19-01-2023

**Plan of Lot 9001 (Restricted)  
and Lots 1153-1169, 1187-1194  
& 1197-1200**

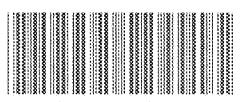
**and Easement F in Lot 9001  
Cancelling Lot 9001 (Restricted) on SP330385**

LOCAL GOVERNMENT: **IPSWICH CITY** LOCALITY: **REDBANK PLAINS**

Meridian: **MGA (Zone 56) vide PSMs** Survey Records: **No**

Scale: **1:2000**

Format: **STANDARD**



**SP330386**

**Area of New Road  
4821 m<sup>2</sup>**

**WARNING : Folded or Mutilated Plans will not be accepted.**  
Plans may be rolled.  
Information may not be placed in the outer margins.

**722295321**

**EL 400 \$3,755.60 W/RE 722281416**  
17/02/2023 10:16:38

(ing No.)

4. Lodged by

*Hwl Ebsworth Lawyers 88A*

(include address, phone number, email, reference, and Lodger Code)

Existing		Created		
Title Reference	Description	New Lots	Road	Secondary Interests
To Issue	Lot 900i on SP330385	1153-1169, 1187-1194, 1197-1200 & 900i	New Rd	Emt F

**MORTGAGE ALLOCATIONS**

Mortgage	Lots Fully Encumbered	Lots Partially Encumbered
717549920	1153-1169, 1187-1194, 1197-1200 & 900i	

**ENCUMBRANCE EASEMENT ALLOCATIONS**

Easement	Lots to be Encumbered
722176894 (Emt A on SP330382)	900i
721917694 (Emt B on SP327900)	900i
To Issue (Emt E on SP330385)	900i

**BENEFIT EASEMENT ALLOCATIONS**

Easement	Lots Fully Benefited	Lots Partially Benefited
719504890 (Emt C on SP307757)	1153-1169, 1187-1194, 1197-1200 & 900i	

**EXISTING ADMINISTRATIVE ADVICE ALLOCATIONS**

Administrative Advice	Lots to be Encumbered
713284985 (Veg Notice)	1153-1169, 1187-1194, 1197-1200 & 900i
713284986 (Veg Notice)	1153-1169, 1187-1194, 1197-1200 & 900i
713284987 (Veg Notice)	1153-1169, 1187-1194, 1197-1200 & 900i
713637526 (Veg Notice)	1153-1169, 1187-1194, 1197-1200 & 900i
713637527 (Veg Notice)	1153-1169, 1187-1194, 1197-1200 & 900i
713950283 (Veg Notice)	1153-1169, 1187-1194, 1197-1200 & 900i
714265689 (Veg Notice)	1153-1169, 1187-1194, 1197-1200 & 900i

To Issue (Easement D on SP330385) is fully absorbed by new road.

**6. Building Format Plans only.**

I certify that :  
\* As far as it is practical to determine, no part of the building shown on this plan encroaches onto adjoining lots or road.  
\* Part of the building shown on this plan encroaches onto adjoining \* lots and road

Cadastral Surveyor/Director \* Date  
\* delete words not required

**7. Lodgement Fees :**

Survey Deposit	\$ .....
Lodgement	\$ .....
..... New Titles	\$ .....
Photocopy	\$ .....
Postage	\$ .....
TOTAL	\$ .....

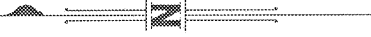
8. Insert Plan Number **SP330386**

1153-1169, 1187-1194 & 1197-1200	Por 93
900i	Ports 92 & 93
Lots	Orig

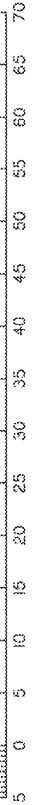
2. Orig Grant Allocation :

3. References :  
Dept File :  
Local Govt :  
Surveyor : 9304 - Stage 25B  
Survey Advice: 2015-0930

5. Passed & Endorsed :  
By: SAUNDERS HAVILL GROUP PTY LTD  
Date: 19-01-2023  
Signed: *[Signature]*  
Designation: Endorsing Officer



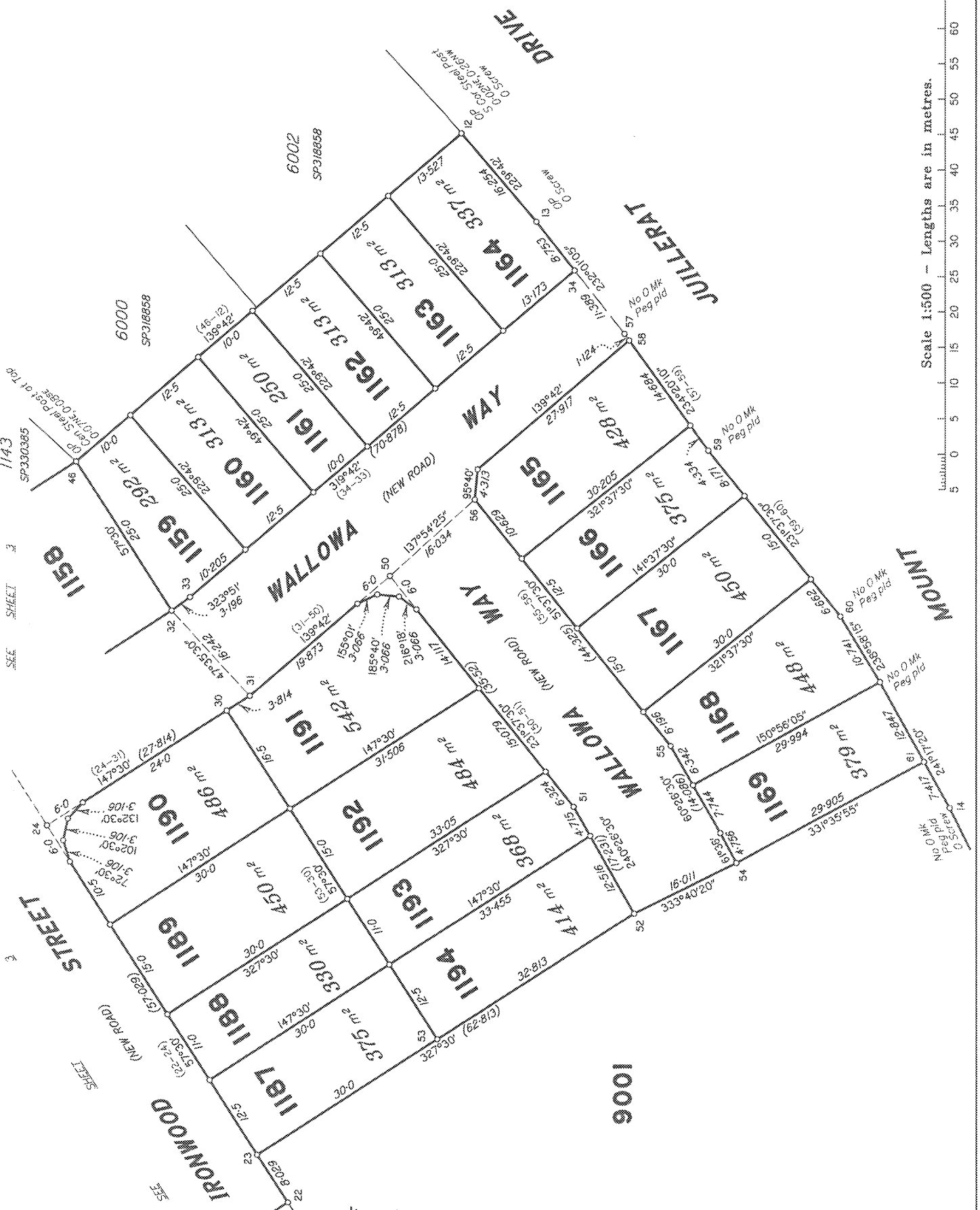
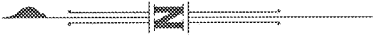
Scale 1:500 - Lengths are in metres.



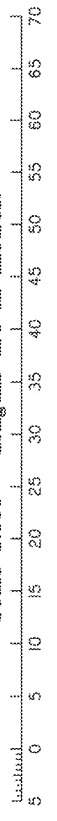
State copyright reserved.

Insert Plan Number **SP330386**





Scale 1:500 - Lengths are in metres.



SEE SHEET 4

SEE SHEET 3

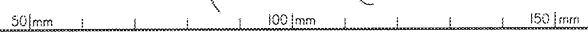
SEE SHEET 5

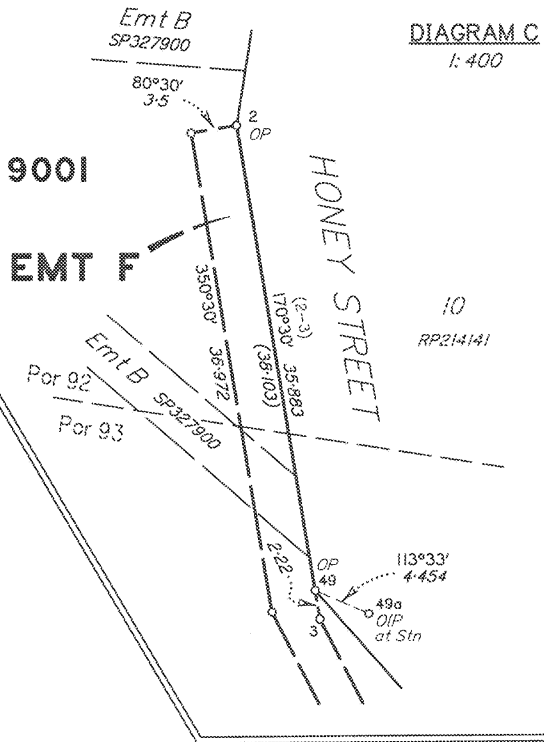
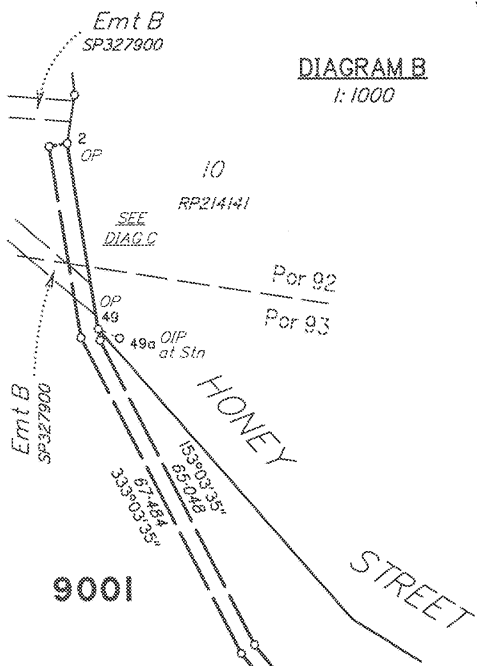
SEE SHEET 3

EMTF  
SEE  
DIAGRAM  
(Sheet 5)

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Insert Plan Number SP330386





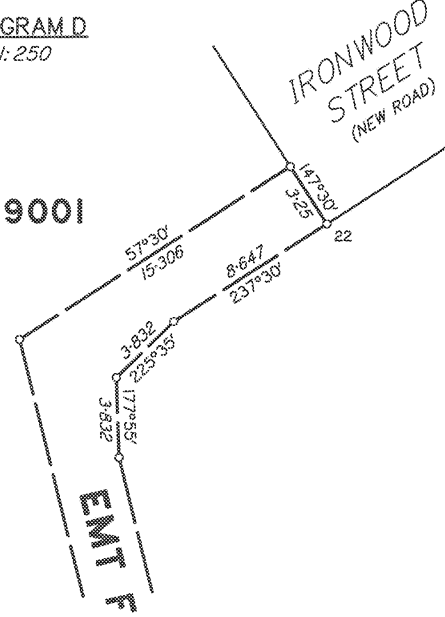
EMT F  
1500 m<sup>2</sup>

9001

IRONWOOD STREET  
(NEW ROAD)

SEE DIAG. D

**DIAGRAM D**  
1:250



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Insert Plan Number **SP330386**

DIAGRAM E  
1:250

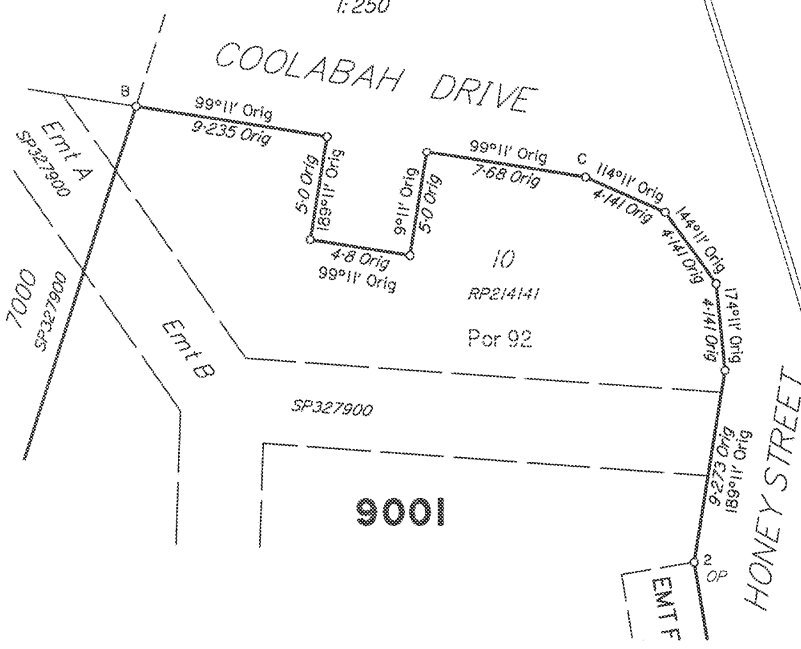
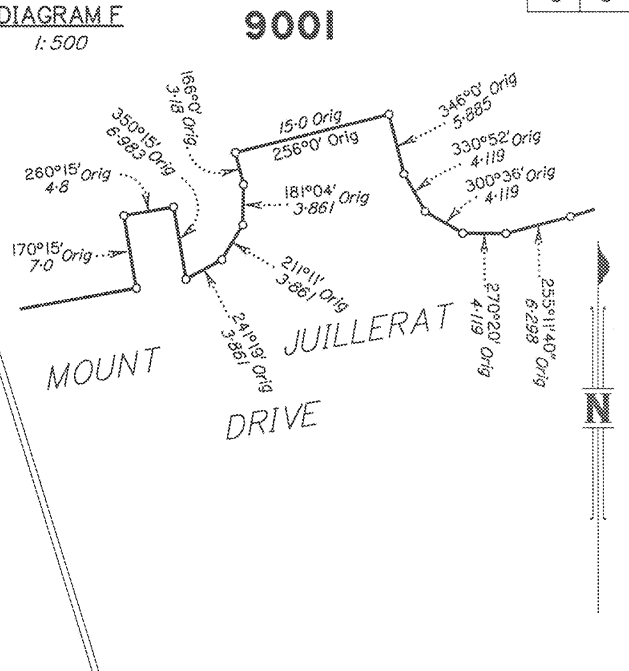


DIAGRAM F  
1:500



M.G.A. COORDINATES GDA--94

STATION	EASTING	NORTHING	ZONE	P.U.	LINEAGE	METHOD	REMARKS
PM172976	485 130-171	6 940 210-255	56	0-009	Datum	SCDB	
PM172977	484 195-862	6 940 616-823	56	0-009	Datum	SCDB	
PM203519	484 473-404	6 939 561-392	56	0-011	Derived	Quick Static	
49a	484 023-543	6 939 549-650	56	0-015	Derived	Quick Static	OIP

Adjustment - QLD ANJ 18.07 (16-July-2018)

PERMANENT MARKS

PM	ORIGIN	BEARING	DIST	NO	TYPE
I--OPM	IS276270	at Station		203519	Standard

REFERENCE MARKS

STN	TO	ORIGIN	BEARING	DIST
12	O Screw in Kerb	SP318858	161°43'	5-901
13	O Screw in Kerb	IS215351	198°45'	10-03
14	O Screw in Kerb	IS215351	160°01'	5-488
20	O Screw in Kerb	IS302591	251°02'45"	12-216
49a	OIP	SP330382	at Station	

REINSTATEMENT REPORT

Original corners are fixed by corner and reference marks in agreement with previous plans, or by original dimensions from fixed corners where there is No O Mk.

The original corners from SP330385 which have not yet been marked under section 3.22 of the cadastral survey requirements (as construction is not yet complete), are fixed by dimensions.

Plans used: SP318858, SP330385, IS215351 & IS302591.

Additional reference marks to be placed following road construction. (see IS313811)