



**PRELIMINARY DRAFT For Discussion Only** 

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PEET, Palmview, QLD - PROPOSED RESIDENTIAL SUBDIVISION Stage 7 - Lot Layout Plan 1:2000 @ A3 / 11 March 2022 / DA.70-01 (F)

Stage Seven		7A	7B	
'Sq	uat' 15.0 m	10	-	
	10.0 m	7	2	
1'	1.2 - 11.5 m	8	3	
	12.5 m	8	1	
	> 14.0 m	1	-	
Local & Neighbo		ads: a		
0.0, 12.5, 10.0, 19.0, 21.0		Bus	30	0 m wi
TE TE TE 291 m <sup>2</sup> TE 200 m <sup>2</sup> 000 m <sup>2</sup> 300 m <sup>2</sup> 10.0 20.0 20.0				10.0 <u>1</u> 20.0
				6
futi	ure stage	es		5,10.
futu shown i	ure stage indicativ	∋s eon		de road 12.5 ¦ 12.5 ¦10.
futu shown i	ndicativ	e on	<b>ily</b> <sup>2</sup> 5 m <sup>2</sup> <sup>2</sup> 5 m <sup>2</sup> <sup>3</sup> 5 m <sup>2</sup>	16.0 m wide road 10.0/11.2/12.5/12.5/10.
futu shown i	indicativ 300 m 200 m	e on	<b>ly</b> 5 m <sup>2</sup>	16.0 m wide road
futu shown i	indicativ	e on	11 y 75 m <sup>2</sup> 10 m <sup>2</sup> 15.0 12.5 15.0	11.5, 12.5, 11.2, 10.0, 10.0, 11.2, 12.5, 12.5, 10.
futu shown i	indicativ 300 m 200 m	e on	1 y 5 m <sup>2</sup> 2 m <sup>2</sup> 5 m <sup>2</sup> 2 5 m <sup>2</sup> 2 5 m <sup>2</sup> 2 5 m <sup>2</sup>	19.2 11.5, 12.5, 11.2, 10.0, 10.0, 11.2, 12.5, 12.5, 10.
futu shown i	indicativ 300 m 200 m	e on	1 y 5 m <sup>2</sup> 2 m <sup>2</sup> 5 m <sup>2</sup> 2 5 m <sup>2</sup> 2 5 m <sup>2</sup> 2 5 m <sup>2</sup>	16.0 m wide road
futu shown i	indicativ 300 m 200 m	e on	1 y 5 m <sup>2</sup> 2 m <sup>2</sup> 5 m <sup>2</sup> 2 5 m <sup>2</sup> 2 5 m <sup>2</sup> 2 5 m <sup>2</sup>	16.0 m wide road 1. 19.2 11.5 12.5 11.2 10.0 10.0 11.2 12.5 12.5 10.
futu shown ii	indicativ 300 m 200 m	e on	1 y 5 m <sup>2</sup> 2 m <sup>2</sup> 5 m <sup>2</sup> 2 5 m <sup>2</sup> 2 5 m <sup>2</sup> 2 5 m <sup>2</sup>	16.0 m wide road
futu shown ii	indicativ 300 m 200 m	e on	1 y 5 m <sup>2</sup> 2 m <sup>2</sup> 5 m <sup>2</sup> 2 5 m <sup>2</sup> 2 5 m <sup>2</sup> 2 5 m <sup>2</sup>	16.0 m wide road
futi shown i	indicativ	e on	1 y 5 m <sup>2</sup> 2 m <sup>2</sup> 5 m <sup>2</sup> 2 5 m <sup>2</sup> 2 5 m <sup>2</sup> 2 5 m <sup>2</sup>	1 15.0 m wide road



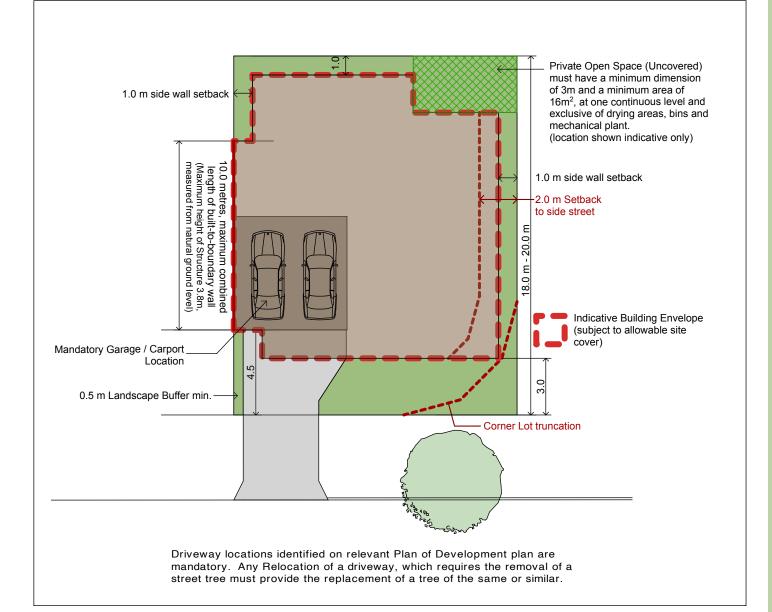
## PRELIMINARY DRAFT For Discussion Only

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PEET, Palmview, QLD - PROPOSED RESIDENTIAL SUBDIVISION Stage 7 - Development Control Plan 1:750 @ A3 / 11 March 2022 / DA.70-02 (I)





## **Stage 7 - Development Control Notes** 15.0 metre wide "Squat" Allotment

Front Setback - Main Face of

Rear Setback - Main Face of

Garage / Carport Setback

Garages must not project forward of prima of the building

Side Wall Setback - Ground F (Ea

Side Wall Setback - First Floo (Eave

Side Setback (Ground Floor) Built to Boundary

Garage Location -

max. Site Cover (# defined below

NOTES:

1. All development is to be undertaken in accordance with the Development Approval\* 2. Only one dwelling is permitted per allotment. Secondary Dwellings/ Annexed Units and Duplex Dwellings/Dual Occupancies will not be permitted on any allotment.

3. Setbacks and site cover are to be in accordance with the table above.

stated in the allotment setbacks table, provided that the portico is located not less than 2 metres from the front property boundary, the height of the portico does not exceed 4.5 metres, the portico remains open and not enclosed and the width of the portico is limited to the front entry area only.

5. Solid screen fencing 1.8m high is provided to side and rear boundaries to maintain privacy where no Developertype" fencing.

7. Private covered outdoor space is provided with direct access from a living area of the house.

8. Buildings and structures are not higher than 8.5m above natural ground level. 9. Deleted.

10. All clothes drying, rubbish storage areas, water tanks, air conditioning units are to be screened from street view or other open space.

11. Garages are to be located according to the Detailed Plan of Development for the relevant stage.

tropical design principles and to help mitigate Urban Heat Island effect.

per dwelling.

conditions are to be assessed by Council as a request for consideration as a 'generally in accordance' and accompanied by the relevant Council application fee'

#### \*Definitions:

Deep Soil Zone - minimum 1.5m x 1.5m area with access to unencumbered soil and sky, sited where medium to large canopy trees will be able to grow to maturity.

Development Approval - refers to specific Reconfiguration of Lot and development permit for this stage.

# Site Cover - the proportion of the site covered by building(s), structure(s) attached to the building(s) and carport(s), the term includes covered Patio areas, is calculated to the outer most projections of the building(s) and is expressed as a percentage

The term does not include:

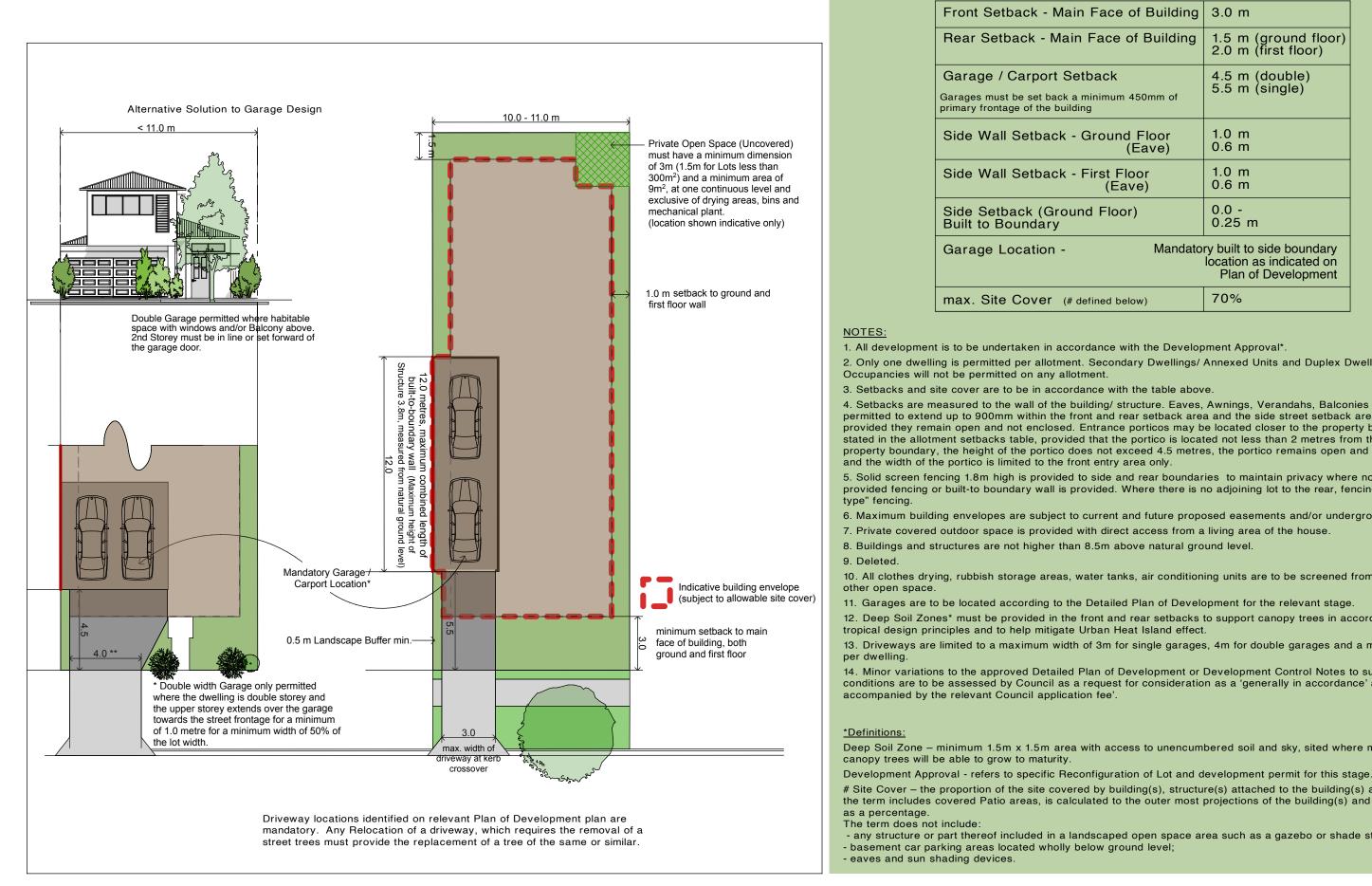
- any structure or part thereof included in a landscaped open space area such as a gazebo or shade structure; - basement car parking areas located wholly below ground level;

- eaves and sun shading devices.

PEET, Palmview, QLD - PROPOSED RESIDENTIAL SUBDIVISION Development Control Plan - 'Squat' 15 metre wide Lot 1:200 @ A3 / 11 . 03 . 2022 / DA.70.3 (C)

Building	3.0 m (main street) 2.0 m (secondary street)	
Building	1.0 m (ground floor) 1.5 m (first floor)	
ry frontage	4.5 m (double) 5.5 m (single)	
loor ave)	1.0 m 0.6 m	
r )	1.0 m 0.6 m	
	0.0 - 0.25 m	
Mandatory built to side boundary location as indicated on Plan of Development		
)	70%	

- 4. Setbacks are measured to the wall of the building/ structure. Eaves, Awnings, Verandahs, Balconies and the like are permitted to extend up to 900mm within the front and rear setback area and the side street setback area for corner lots provided they remain open and not enclosed. Entrance porticos may be located closer to the property boundary than
- provided fencing or built-to boundary wall is provided. Where there is no adjoining lot to the rear, fencing may be "pool-
- 6. Maximum building envelopes are subject to current and future proposed easements and/or underground services.
- 12. Deep Soil Zones\* must be provided in the front and rear setbacks to support canopy trees in accordance with sub-
- 13. Driveways are limited to a maximum width of 3m for single garages, 4m for double garages and a maximum of 1
- 14. Minor variations to the approved Detailed Plan of Development or Development Control Notes to suit site specific



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# **Stage 7 - Development Control Notes** 10.0 metre wide Allotment

(Ea

of Building	3.0 m			
of Building	1.5 m (ground floor) 2.0 m (first floor)			
450mm of	4.5 m (double) 5.5 m (single)			
l Floor (Eave)	1.0 m 0.6 m			
oor ve)	1.0 m 0.6 m			
r)	0.0 - 0.25 m			
Mandatory built to side boundary location as indicated on				

Plan of Development

low)	70%

2. Only one dwelling is permitted per allotment. Secondary Dwellings/ Annexed Units and Duplex Dwellings/Dual

- 4. Setbacks are measured to the wall of the building/ structure. Eaves, Awnings, Verandahs, Balconies and the like are permitted to extend up to 900mm within the front and rear setback area and the side street setback area for corner lots provided they remain open and not enclosed. Entrance porticos may be located closer to the property boundary than stated in the allotment setbacks table, provided that the portico is located not less than 2 metres from the front property boundary, the height of the portico does not exceed 4.5 metres, the portico remains open and not enclosed
- 5. Solid screen fencing 1.8m high is provided to side and rear boundaries to maintain privacy where no Developerprovided fencing or built-to boundary wall is provided. Where there is no adjoining lot to the rear, fencing may be "pool-
- 6. Maximum building envelopes are subject to current and future proposed easements and/or underground services.

10. All clothes drying, rubbish storage areas, water tanks, air conditioning units are to be screened from street view or

- 12. Deep Soil Zones\* must be provided in the front and rear setbacks to support canopy trees in accordance with sub-
- 13. Driveways are limited to a maximum width of 3m for single garages, 4m for double garages and a maximum of 1

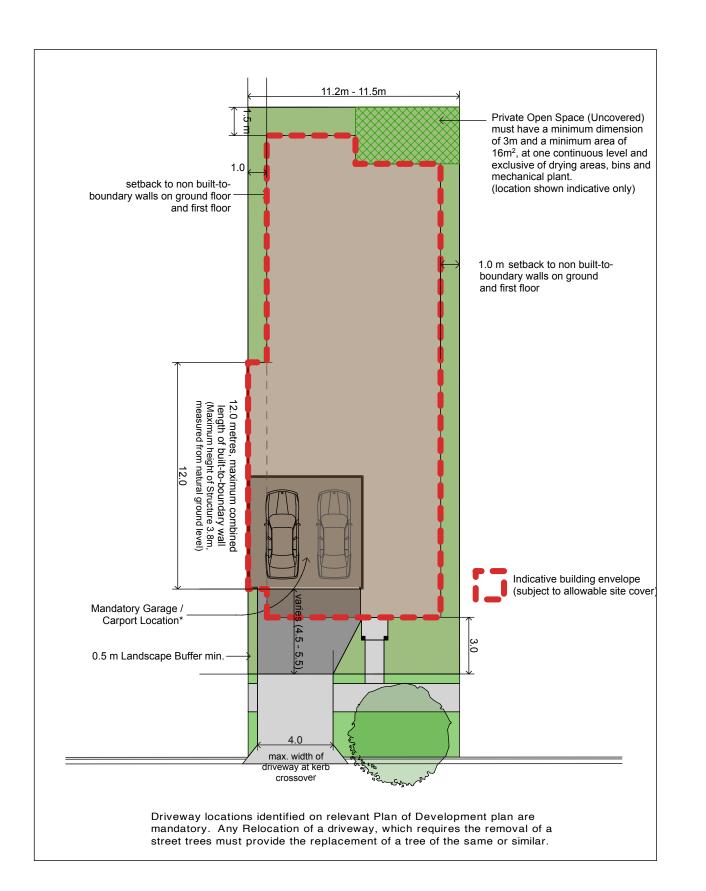
14. Minor variations to the approved Detailed Plan of Development or Development Control Notes to suit site specific conditions are to be assessed by Council as a request for consideration as a 'generally in accordance' and

Deep Soil Zone - minimum 1.5m x 1.5m area with access to unencumbered soil and sky, sited where medium to large

- # Site Cover the proportion of the site covered by building(s), structure(s) attached to the building(s) and carport(s), the term includes covered Patio areas, is calculated to the outer most projections of the building(s) and is expressed

- any structure or part thereof included in a landscaped open space area such as a gazebo or shade structure;

PEET, Palmview, QLD - PROPOSED RESIDENTIAL SUBDIVISION Development Control Plan - 10.0 - 11.0 metre wide Lot 1:200 @ A3 / 11 . 03 . 2022 / DA.70.4 (C)





## **Stage 7 - Development Control Notes** 11.2 - 11.5 metre wide Allotment

	Anothiont
Front Setback - Main Face of Building	3.0 m
Rear Setback - Main Face of Building	1.5 m (ground floor) 2.0 m (first floor)
Garage / Carport Setback Garages must not project forward of primary frontage of the building	4.5 m (double) 5.5 m (single)
Side Wall Setback - Ground Floor (Eave)	1.0 m 0.6 m
Side Wall Setback - First Floor (Eave)	1.0 m 0.6 m
Side Setback (Ground Floor) Built to Boundary	0.0 - 0.25 m
Garage Location - Mandato	ry built to side boundary location as indicated on Plan of Development
max. Site Cover (# defined below)	70%
is to be undertaken in accordance with the Develop	oment Approval*.
a is permitted per alletment. Secondary Dwellings/	••

1. All development 2. Only one dwelling is permitted per allotment. Secondary Dwellings/ Annexed Units and Duplex Dwellings/Dual Occupancies will not be permitted on any allotment.

3. Setbacks and site cover are to be in accordance with the table above.

4. Setbacks are measured to the wall of the building/ structure. Eaves, Awnings, Verandahs, Balconies and the like are permitted to extend up to 900mm within the front and rear setback area and the side street setback area for corner lots provided they remain open and not enclosed. Entrance porticos may be located closer to the property boundary than stated in the allotment setbacks table, provided that the portico is located not less than 2 metres from the front property boundary, the height of the portico does not exceed 4.5 metres, the portico remains open and not enclosed and the width of the portico is limited to the front entry area only.

5. Solid screen fencing 1.8m high is provided to side and rear boundaries to maintain privacy where no Developerprovided fencing or built-to boundary wall is provided. Where there is no adjoining lot to the rear, fencing may be "pooltype" fencing

6. Maximum building envelopes are subject to current and future proposed easements and/or underground services. 7. Private covered outdoor space is provided with direct access from a living area of the house.

8. Buildings and structures are not higher than 8.5m above natural ground level.

9. Single Tandem or Double Garages permitted. 10. All clothes drying, rubbish storage areas, water tanks, air conditioning units are to be screened from street view or other open space.

11. Garages are to be located according to the Detailed Plan of Development for the relevant stage.

12. Deep Soil Zones\* must be provided in the front and rear setbacks to support canopy trees in accordance with subtropical design principles and to help mitigate Urban Heat Island effect. 13. Driveways are limited to a maximum width of 3m for single garages, 4m for double garages and a maximum of 1 per dwelling.

14. Minor variations to the approved Detailed Plan of Development or Development Control Notes to suit site specific conditions are to be assessed by Council as a request for consideration as a 'generally in accordance' and accompanied by the relevant Council application fee'.

### \*Definitions:

NOTES:

Deep Soil Zone - minimum 1.5m x 1.5m area with access to unencumbered soil and sky, sited where medium to large canopy trees will be able to grow to maturity.

Development Approval - refers to specific Reconfiguration of Lot and development permit for this stage. # Site Cover - the proportion of the site covered by building(s), structure(s) attached to the building(s) and carport(s), the term includes covered Patio areas, is calculated to the outer most projections of the building(s) and is expressed

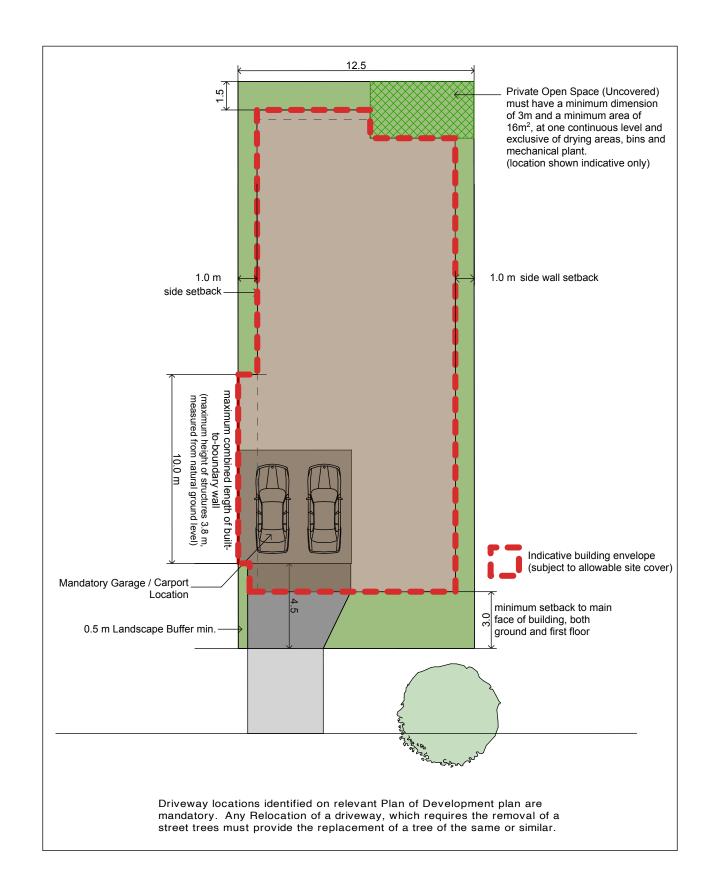
as a percentage

The term does not include:

- any structure or part thereof included in a landscaped open space area such as a gazebo or shade structure; - basement car parking areas located wholly below ground level;

- eaves and sun shading devices.

PEET, Palmview, QLD - PROPOSED RESIDENTIAL SUBDIVISION Development Control Plan - 11.2 - 11.5 metre wide Lots 1:200 @ A3 / 11 . 03 . 2022 / DA.70.5 (C)





# **Stage 7 - Development Control Notes** 12.5 metre wide Allotment

Front Setback - Main Face of Building	3.0 m
Rear Setback - Main Face of Building	1.5 m (ground floor) 2.0 m (first floor)
Garage / Carport Setback	4.5 m (double) 5.5 m (single)
Garages must be set back a minimum 450mm of primary frontage of the building	
Side Wall Setback - Ground Floor (Eave)	1.0 m 0.6 m
Side Wall Setback - First Floor (Eave)	1.0 m 0.6 m
Side Setback (Ground Floor) Built to Boundary	0.0 - 0.25 m
Garage Location - Mandato	ry built to side boundary location as indicated on Plan of Development
max. Site Cover (# defined below)	70%

## NOTES:

1. All development is to be undertaken in accordance with the Development Approval\*. 2. Only one dwelling is permitted per allotment. Secondary Dwellings/ Annexed Units and Duplex Dwellings/Dual Occupancies will not be permitted on any allotment.

3. Setbacks and site cover are to be in accordance with the table above.

4. Setbacks are measured to the wall of the building/ structure. Eaves, Awnings, Verandahs, Balconies and the like are permitted to extend up to 900mm within the front and rear setback area and the side street setback area for corner lots provided they remain open and not enclosed. Entrance porticos may be located closer to the property boundary than stated in the allotment setbacks table, provided that the portico is located not less than 2 metres from the front property boundary, the height of the portico does not exceed 4.5 metres, the portico remains open and not enclosed and the width of the portico is limited to the front entry area only.

5. Solid screen fencing 1.8m high is provided to side and rear boundaries to maintain privacy where no Developerprovided fencing or built-to boundary wall is provided. Where there is no adjoining lot to the rear, fencing may be "pooltype" fencing.

- 7. Private covered outdoor space is provided with direct access from a living area of the house.
- 8. Buildings and structures are not higher than 8.5m above natural ground level
- 9. Single tandem or double garages permitted.

10. All clothes drying, rubbish storage areas, water tanks, air conditioning units are to be screened from street view or other open space.

11. Garages are to be located according to the Detailed Plan of Development for the relevant stage.

tropical design principles and to help mitigate Urban Heat Island effect.

13. Driveways are limited to a maximum width of 3m for single garages, 4m for double garages and a maximum of 1 per dwelling

14. Minor variations to the approved Detailed Plan of Development or Development Control Notes to suit site specific conditions are to be assessed by Council as a request for consideration as a 'generally in accordance' and accompanied by the relevant Council application fee'

### \*Definitions:

Deep Soil Zone - minimum 1.5m x 1.5m area with access to unencumbered soil and sky, sited where medium to large canopy trees will be able to grow to maturity.

Development Approval - refers to specific Reconfiguration of Lot and development permit for this stage.

# Site Cover - the proportion of the site covered by building(s), structure(s) attached to the building(s) and carport(s), the term includes covered Patio areas, is calculated to the outer most projections of the building(s) and is expressed as a percentage.

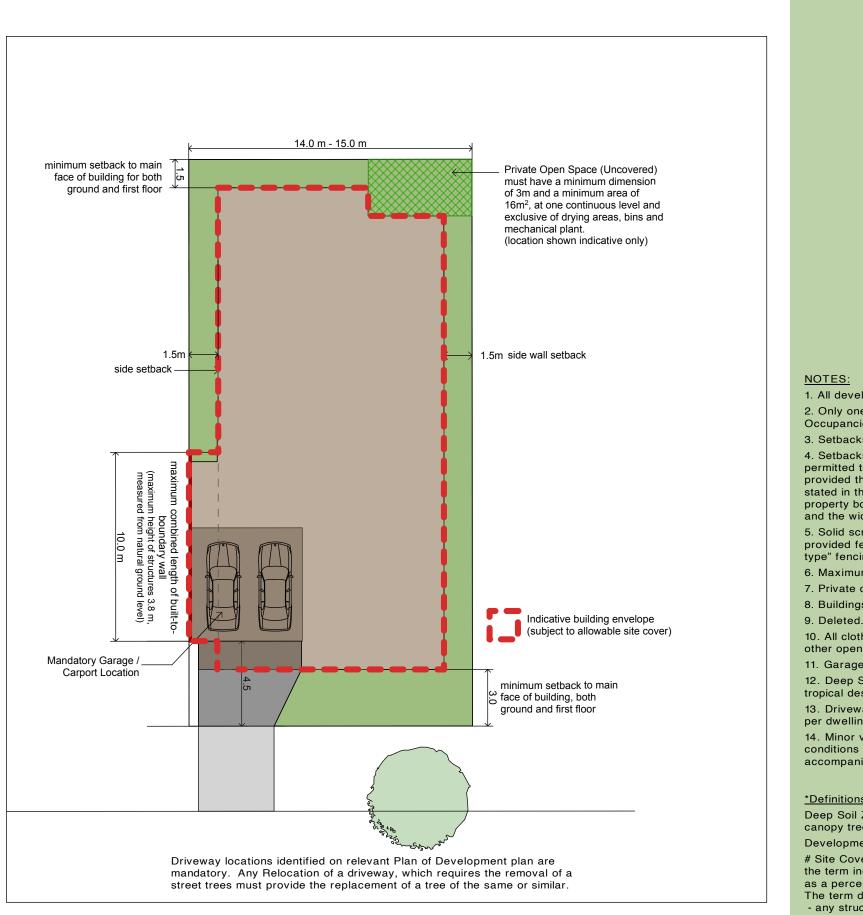
The term does not include:

- any structure or part thereof included in a landscaped open space area such as a gazebo or shade structure; - basement car parking areas located wholly below ground level; - eaves and sun shading devices.

> PEET, Palmview, QLD - PROPOSED RESIDENTIAL SUBDIVISION Development Control Plan - 12.5 metre wide Lot 1:200 @ A3 / 11 . 03 . 2022 / DA.70.6 (C)

6. Maximum building envelopes are subject to current and future proposed easements and/or underground services.

- 12. Deep Soil Zones\* must be provided in the front and rear setbacks to support canopy trees in accordance with sub-





## Stage 7 - Developmen 14.0+ metre wide

Front Setback - Main Face of Buil

Rear Setback - Main Face of Build

Garage / Carport Setback

Garages must not project forward of primary fro of the building

Side Wall Setback - Ground Floor (Eave)

Side Wall Setback - First Floor (Eave)

Side Setback (Ground Floor) Built to Boundary

Garage Location -

max. Site Cover (# defined below)

1. All development is to be undertaken in accordance with the Development Approval\*. 2. Only one dwelling is permitted per allotment. Secondary Dwellings/ Annexed Units and Duplex Dwellings/Dual Occupancies will not be permitted on any allotment.

3. Setbacks and site cover are to be in accordance with the table above.

4. Setbacks are measured to the wall of the building/ structure. Eaves, Awnings, Verandahs, Balconies and the like are permitted to extend up to 900mm within the front and rear setback area and the side street setback area for corner lots provided they remain open and not enclosed. Entrance porticos may be located closer to the property boundary than stated in the allotment setbacks table, provided that the portico is located not less than 2 metres from the front property boundary, the height of the portico does not exceed 4.5 metres, the portico remains open and not enclosed and the width of the portico is limited to the front entry area only.

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8. Buildings and structures are not higher than 8.5m above natural ground level

10. All clothes drying, rubbish storage areas, water tanks, air conditioning units are to be screened from street view or other open space

11. Garages are to be located according to the Detailed Plan of Development for the relevant stage

12. Deep Soil Zones\* must be provided in the front and rear setbacks to support canopy trees in accordance with subtropical design principles and to help mitigate Urban Heat Island effect.

13. Driveways are limited to a maximum width of 3m for single garages, 4m for double garages and a maximum of 1 per dwelling.

14. Minor variations to the approved Detailed Plan of Development or Development Control Notes to suit site specific conditions are to be assessed by Council as a request for consideration as a 'generally in accordance' and accompanied by the relevant Council application fee'

### \*Definitions:

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Development Approval - refers to specific Reconfiguration of Lot and development permit for this stage

# Site Cover - the proportion of the site covered by building(s), structure(s) attached to the building(s) and carport(s), the term includes covered Patio areas, is calculated to the outer most projections of the building(s) and is expressed as a percentage

The term does not include:

- any structure or part thereof included in a landscaped open space area such as a gazebo or shade structure; - basement car parking areas located wholly below ground level;

- eaves and sun shading devices.

	ontrol Notes lotment	
ding	3.0 m	
ding	1.5 m (ground floor) 2.0 m (first floor)	
ontage	4.5 m (double) 5.5 m (single)	
	1.5 m (2.0 m to secondary st) 0.6 m	
	1.5 m (2.0 m to secondary st) 0.6 m	
	0.0 - 0.25 m	
	Mandatory built to side boundary location as indicated on Plan of Development	
	60%	

PEET, Palmview, QLD - PROPOSED RESIDENTIAL SUBDIVISION Development Control Plan - 14.0 - 15.0 metre wide Lot 1:200 @ A3 / 11 . 03 . 2022 / DA.70.7 (C)