


DISCLOSURE PLAN

For Proposed Lot 659
Riverbank - Stage 12A

Currently Described As
RPD: Part of Lot 1002 on SP286759
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - s — s — Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - RV — RV — Roofwater/Roofwater Pit
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height
 - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
 - < Proposed Driveway
 - ← Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
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 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



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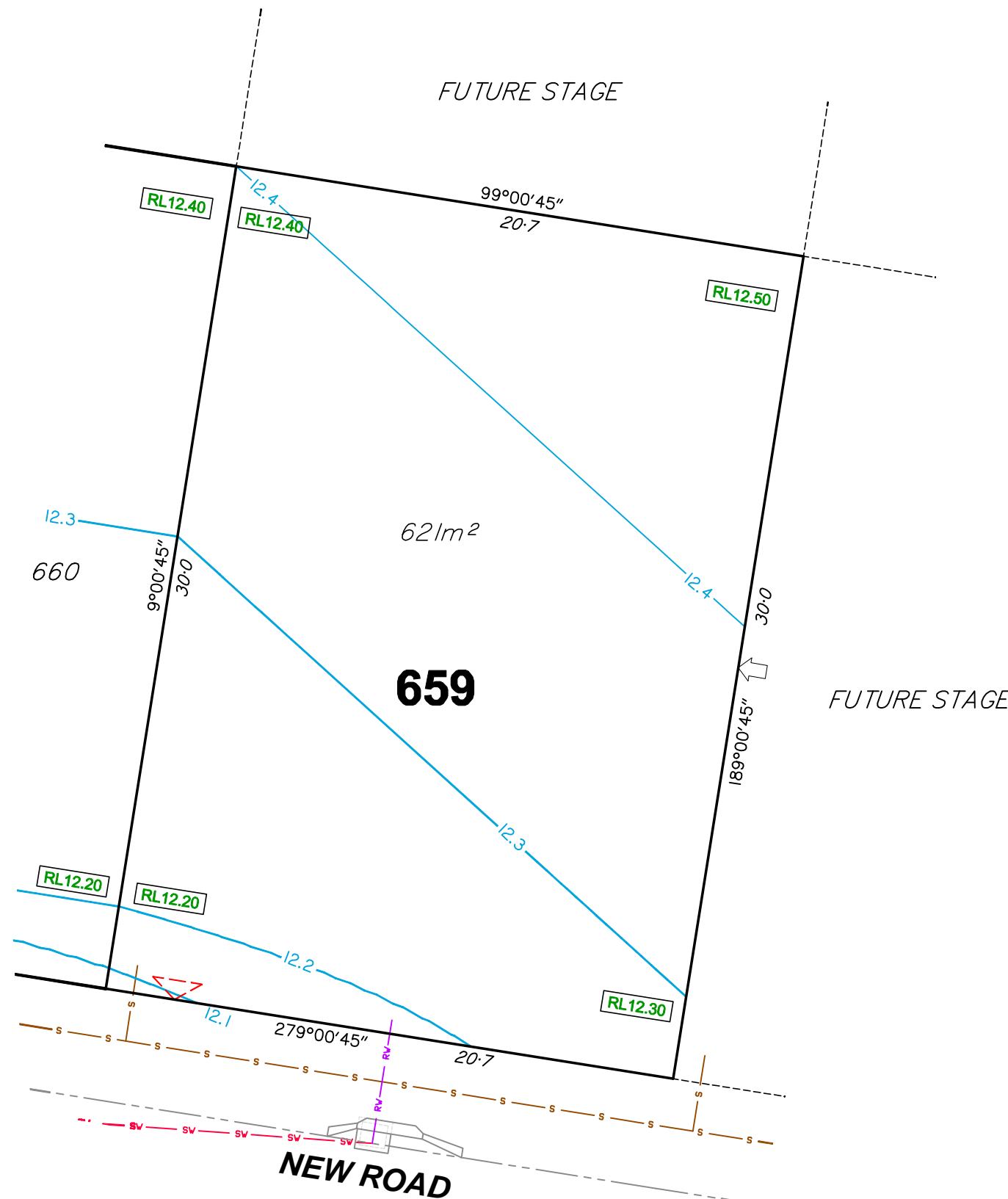
■ Planning
 ■ Urban Design
 ■ Landscape
 ■ Environment
 ■ Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.


DATE DRAWN 20-01-2017 DRAWING NO. SB3594-05-659 VERSION A



DISCLOSURE PLAN

For Proposed Lot 660
Riverbank - Stage 12A

Currently Described As
RPD: Part of Lot 1002 on SP286759
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
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 - - - - - Easement Boundary
 - - - - - Kerb Line
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 - RV — RV — Roofwater/Roofwater Pit
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 - < Proposed Driveway
 - ← Zero Lot Line Boundary

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RIVERBANK



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consulting group

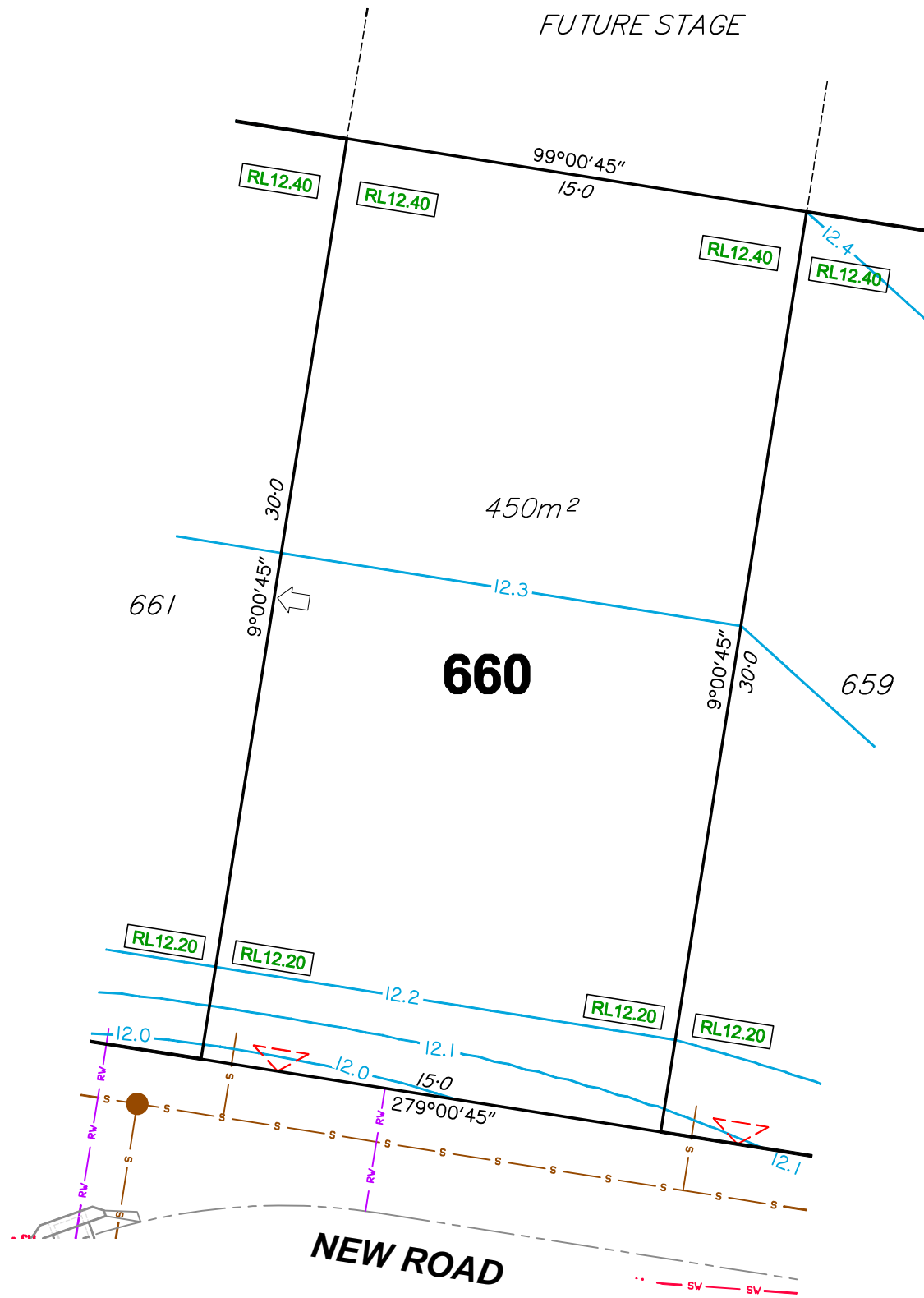
□ Planning
□ Urban Design
□ Landscape
□ Environment
▲ Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.


DATE DRAWN 20-01-2017	DRAWING NO. SB3594-05-660	VERSION A
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DISCLOSURE PLAN

For Proposed Lot 661
Riverbank - Stage 12A

Currently Described As
RPD: Part of Lot 1002 on SP286759
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
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 -  Stormwater Gully Trap
 - rv — rv — Roofwater/Roofwater Pit
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height
 - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
 - < Proposed Driveway
 - ← Zero Lot Line Boundary

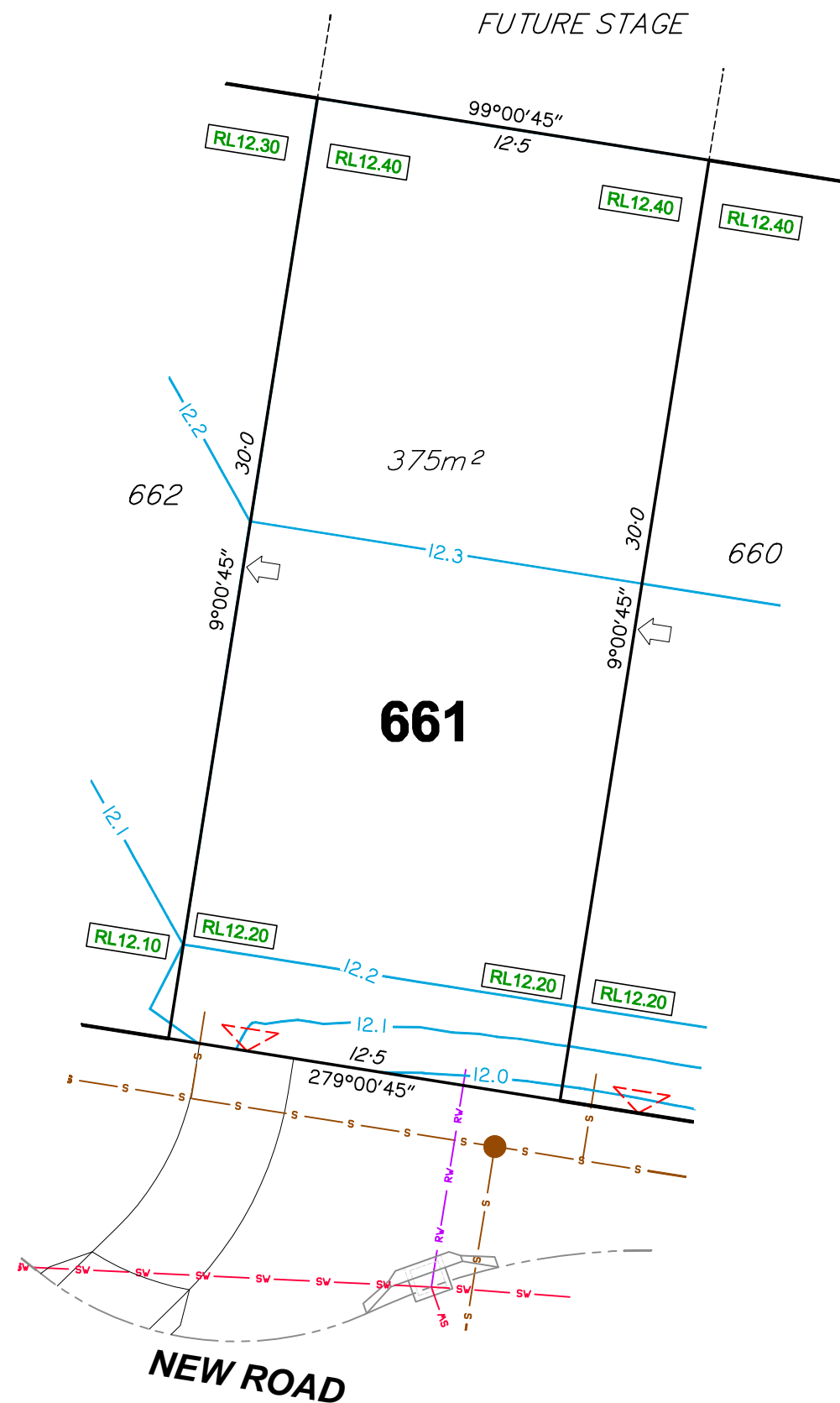
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RIVERBANK



HORIZONTAL MERIDIAN MGA
Scale 1:200 @A3
LEVEL DATUM AHD.


DATE DRAWN 20-01-2017 DRAWING NO. SB3594-05-661 VERSION A

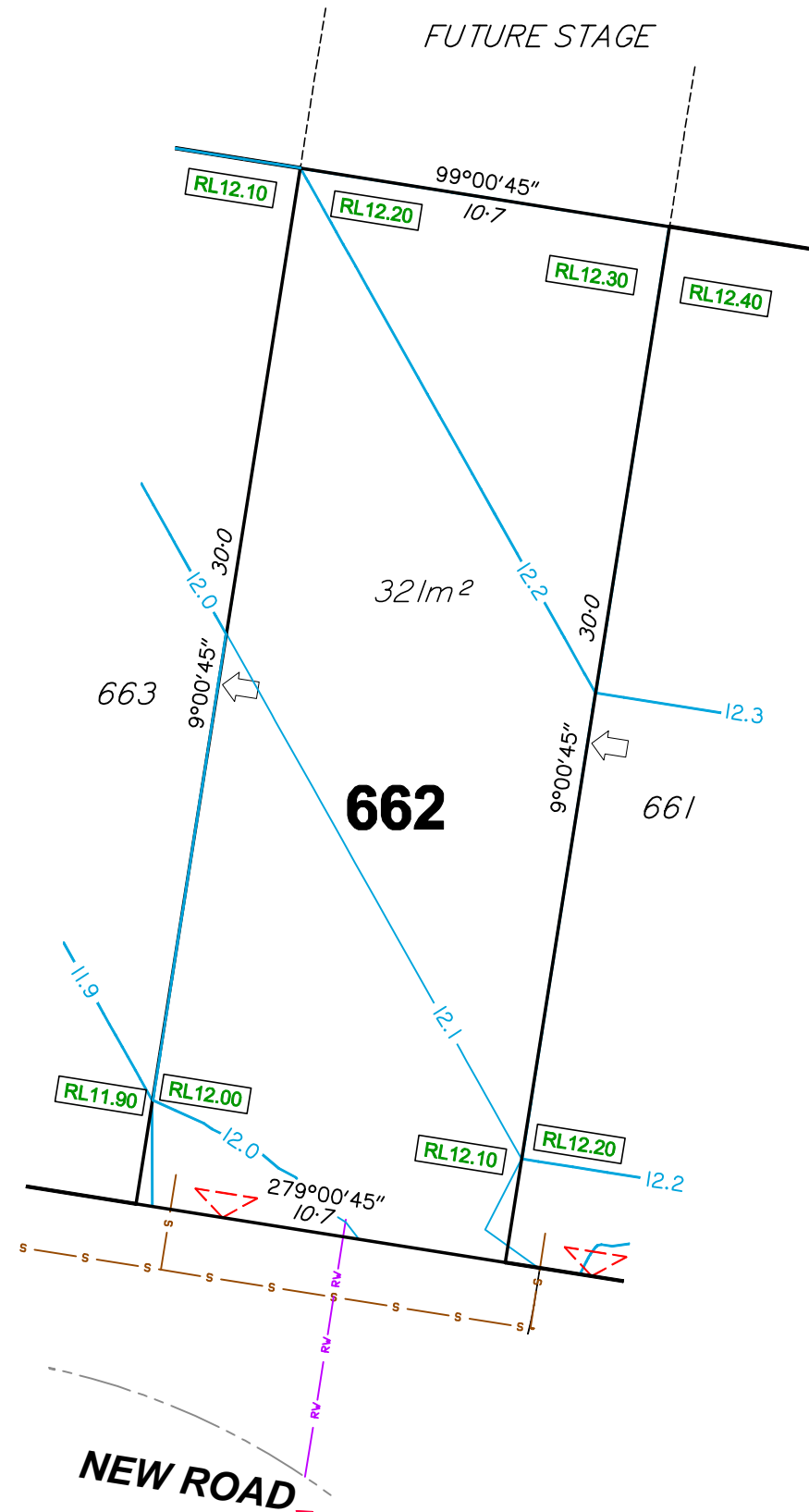


DISCLOSURE PLAN

For Proposed Lot 662
Riverbank - Stage 12A

Currently Described As
RPD: Part of Lot 1002 on SP286759
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
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 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height
 - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
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 ■ Landscape
 ■ Environment
 ■ Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3




LEVEL DATUM
AHD.

DATE DRAWN 20-01-2017 DRAWING NO. SB3594-05-662 VERSION A

DISCLOSURE PLAN

For Proposed Lot 663
Riverbank - Stage 12A

Currently Described As
RPD: Part of Lot 1002 on SP286759
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
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 - RL57.32 Design Pad Level
 - Retaining Wall
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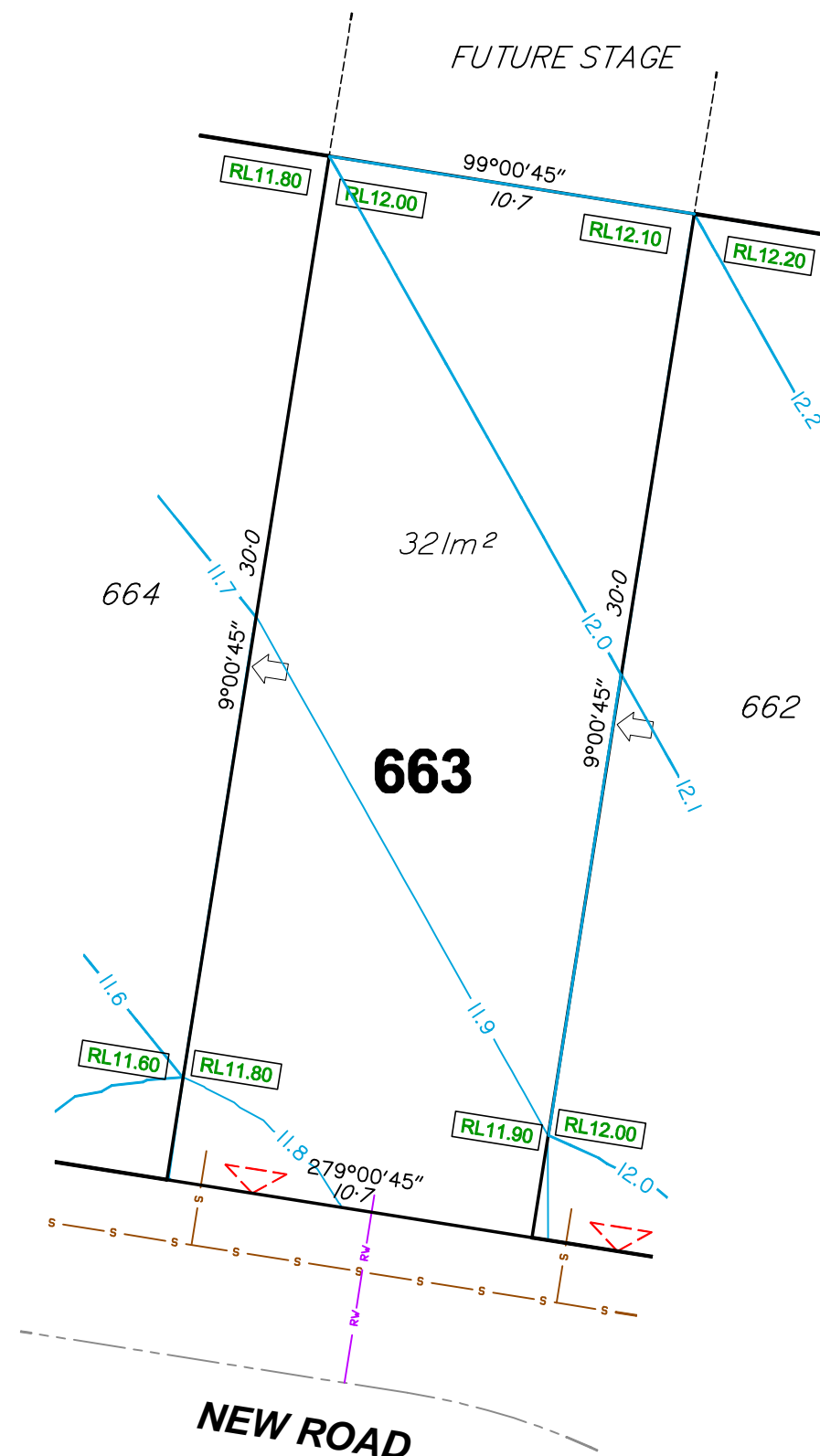
 Planning
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  Landscape
  Environment
  Surveying

HORIZONTAL MERIDIAN
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Scale 1:200 @A3

LEVEL DATUM
AHD.


DATE DRAWN 20-01-2017 DRAWING NO. SB3594-05-663 VERSION A



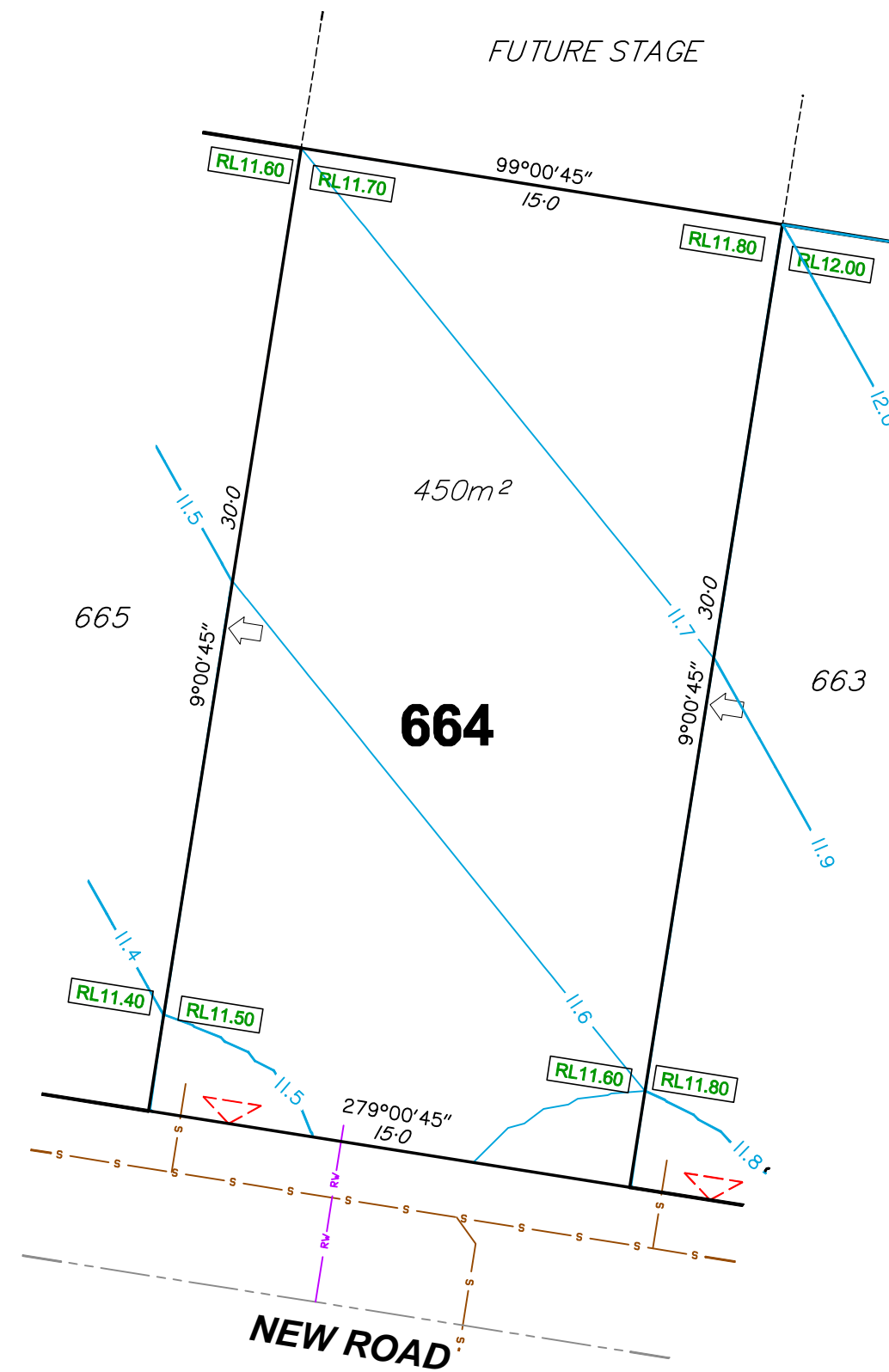
DISCLOSURE PLAN

For Proposed Lot 664
Riverbank - Stage 12A

Currently Described As
RPD: Part of Lot 1002 on SP286759
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
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 -  Stormwater Gully Trap
 - RV — RV — Roofwater/Roofwater Pit
 - RL57.32 Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height
 - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
 - < Proposed Driveway
 - ← Zero Lot Line Boundary

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HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

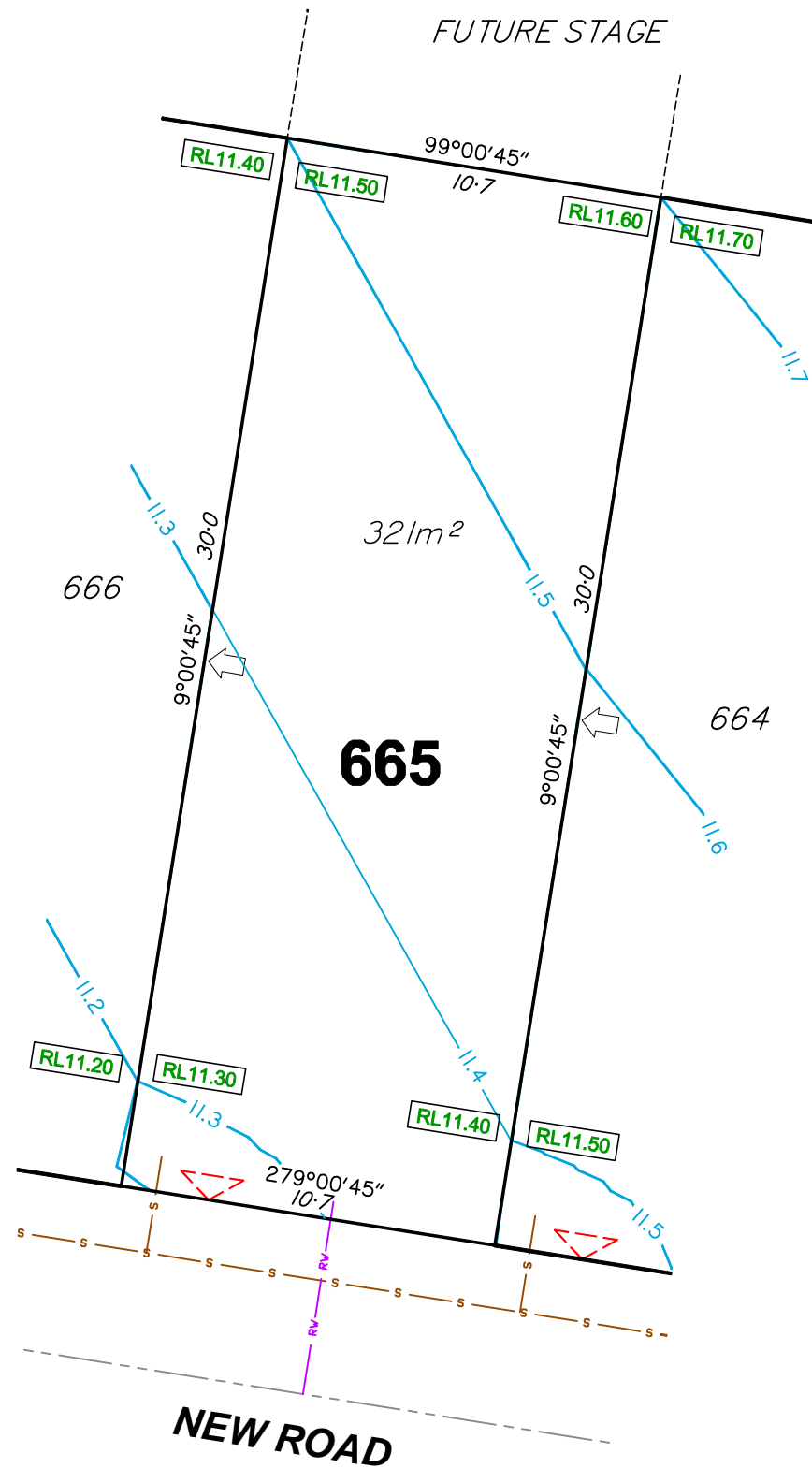
DATE DRAWN 20-01-2017 DRAWING NO. SB3594-05-664 VERSION A

DISCLOSURE PLAN

For Proposed Lot 665
Riverbank - Stage 12A

Currently Described As
RPD: Part of Lot 1002 on SP286759
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - 1.0 Depth of Fill Contours (0.2m Interval)
 - Easement Boundary
 - Kerb Line
 - Edge of Pad
 - Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - Roofwater/Roofwater Pit
 - Area to be Filled
 - Design Pad Level
 - Retaining Wall
 - Retaining Wall Height
Average Retaining Wall Height
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 - Proposed Driveway
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 Environment
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HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3


LEVEL DATUM
AHD.

DATE DRAWN 20-01-2017 DRAWING NO. SB3594-05-665 VERSION A

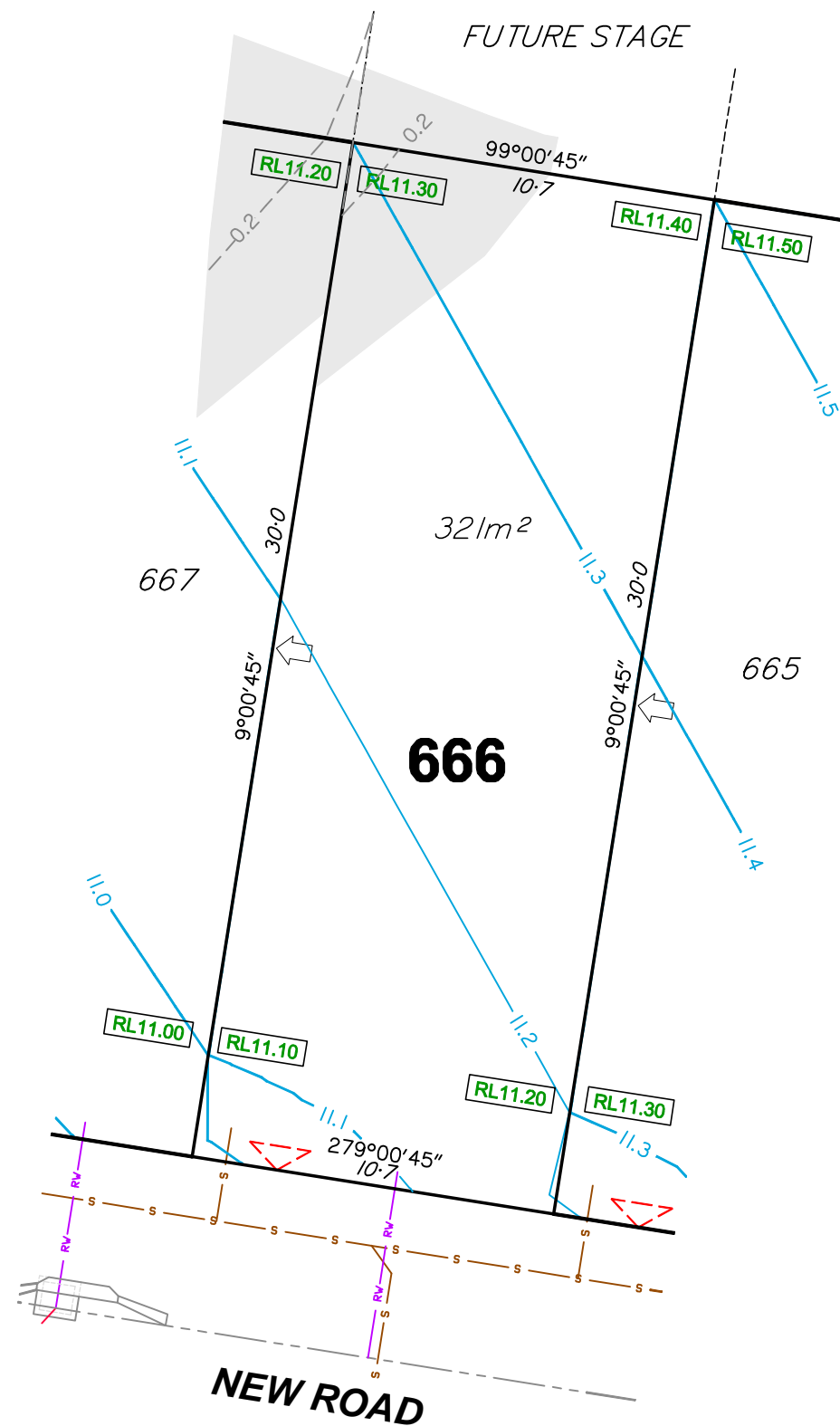
DISCLOSURE PLAN

For Proposed Lot 666
Riverbank - Stage 12A

Currently Described As
RPD: Part of Lot 1002 on SP286759
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
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 - - - - - Kerb Line
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 -  Stormwater Gully Trap
 - RV — RV — Roofwater/Roofwater Pit
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height
 - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
 - < Proposed Driveway
 - ← Zero Lot Line Boundary

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RIVERBANK




HORIZONTAL MERIDIAN MGA
Scale 1:200 @A3
LEVEL DATUM AHD.

DATE DRAWN 20-01-2017
DRAWING NO. SB3594-05-666
VERSION A

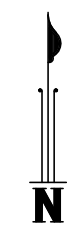
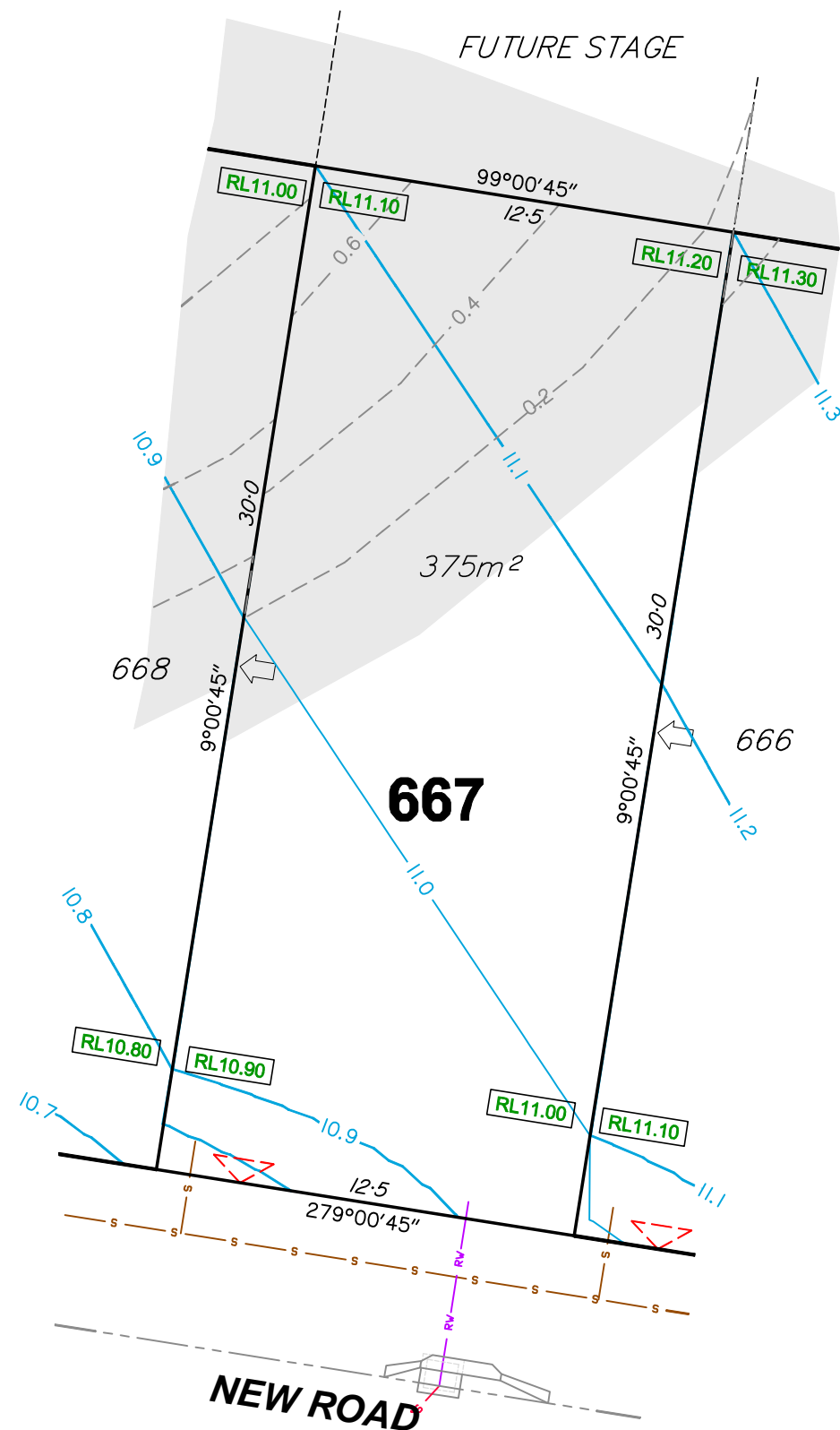
DISCLOSURE PLAN

For Proposed Lot 667
Riverbank - Stage 12A

Currently Described As
RPD: Part of Lot 1002 on SP286759
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
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■ Planning
 ■ Urban Design
 ■ Landscape
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 ■ Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

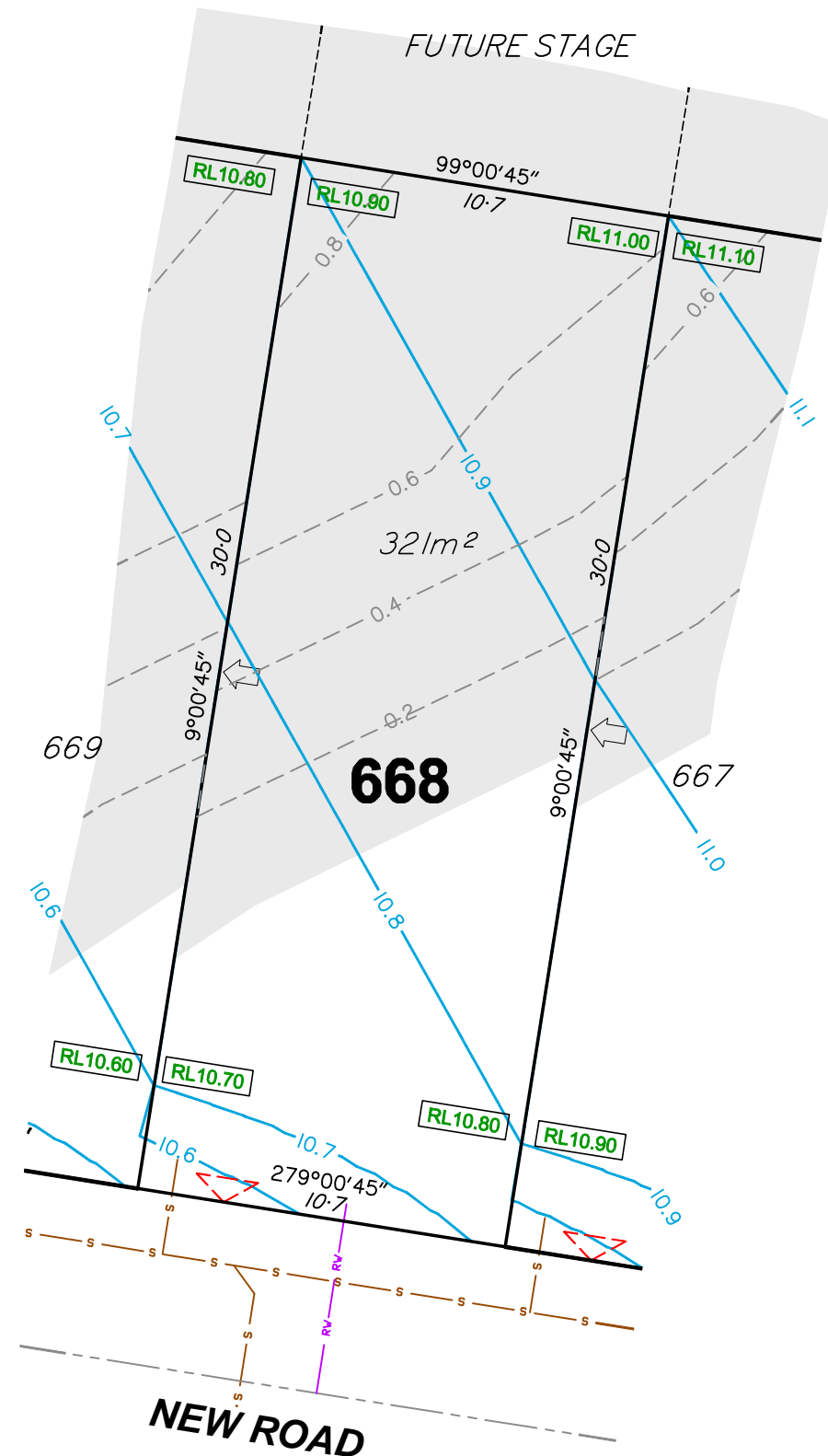
DATE DRAWN 20-01-2017 DRAWING NO. SB3594-05-667 VERSION A

DISCLOSURE PLAN

For Proposed Lot 668
Riverbank - Stage 12A

Currently Described As
RPD: Part of Lot 1002 on SP286759
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - 1.0 Depth of Fill Contours (0.2m Interval)
 - Easement Boundary
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 - Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
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 - Area to be Filled
 - Design Pad Level
 - Retaining Wall
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Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 - Proposed Driveway
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RIVERBANK



HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3


LEVEL DATUM
AHD.

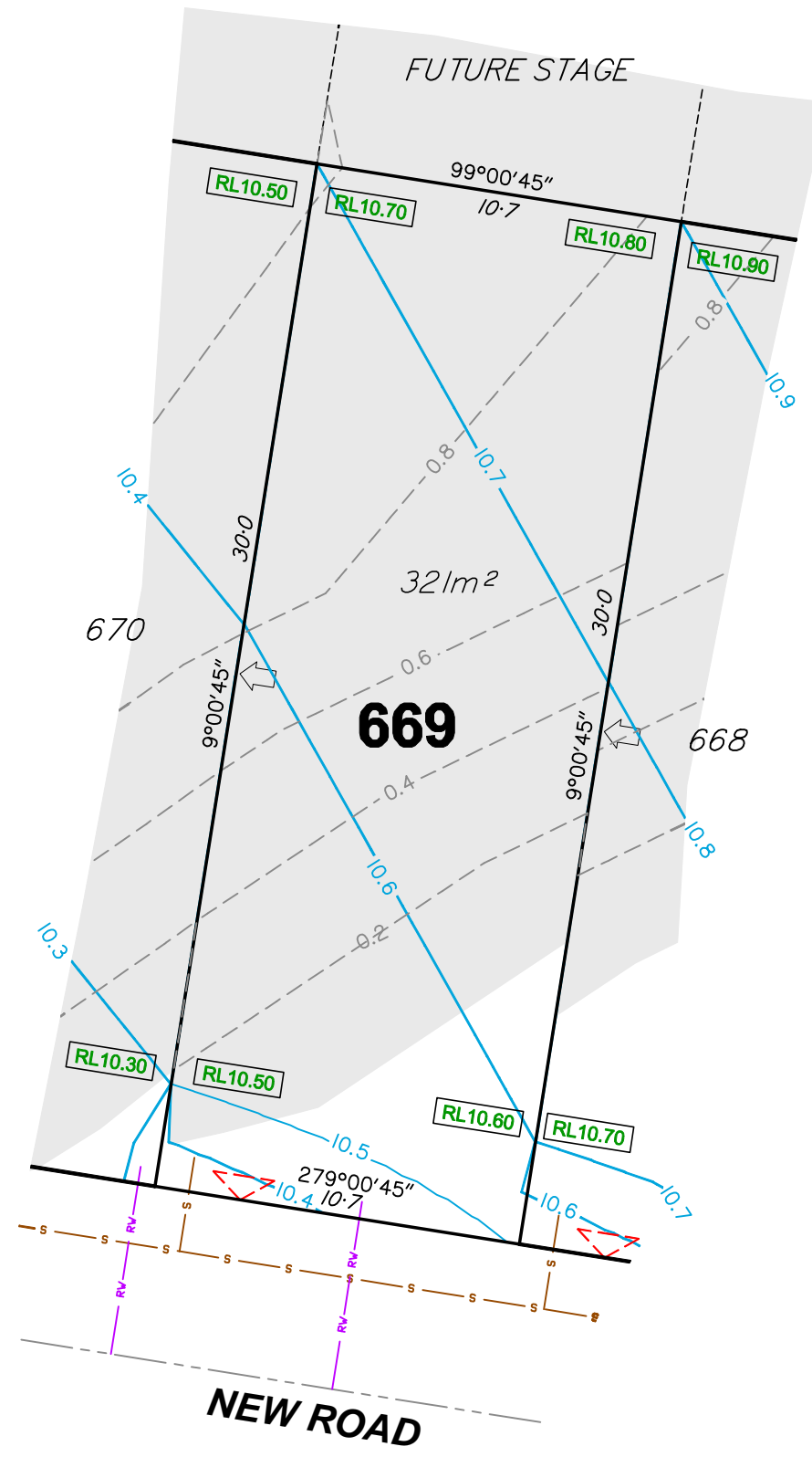
DATE DRAWN 20-01-2017 DRAWING NO. SB3594-05-668 VERSION A

DISCLOSURE PLAN

For Proposed Lot 669
Riverbank - Stage 12A

Currently Described As
RPD: Part of Lot 1002 on SP286759
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
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 - RV — RV — Roofwater/Roofwater Pit
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
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RIVERBANK

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■ Planning
 ■ Urban Design
 ■ Landscape
 ■ Environment
 ■ Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3


LEVEL DATUM
AHD.

DATE DRAWN 20-01-2017 DRAWING NO. SB3594-05-669 VERSION A

DISCLOSURE PLAN

For Proposed Lot 670
Riverbank - Stage 12A

Currently Described As
RPD: Part of Lot 1002 on SP286759
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
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 - RV — RV — Roofwater/Roofwater Pit
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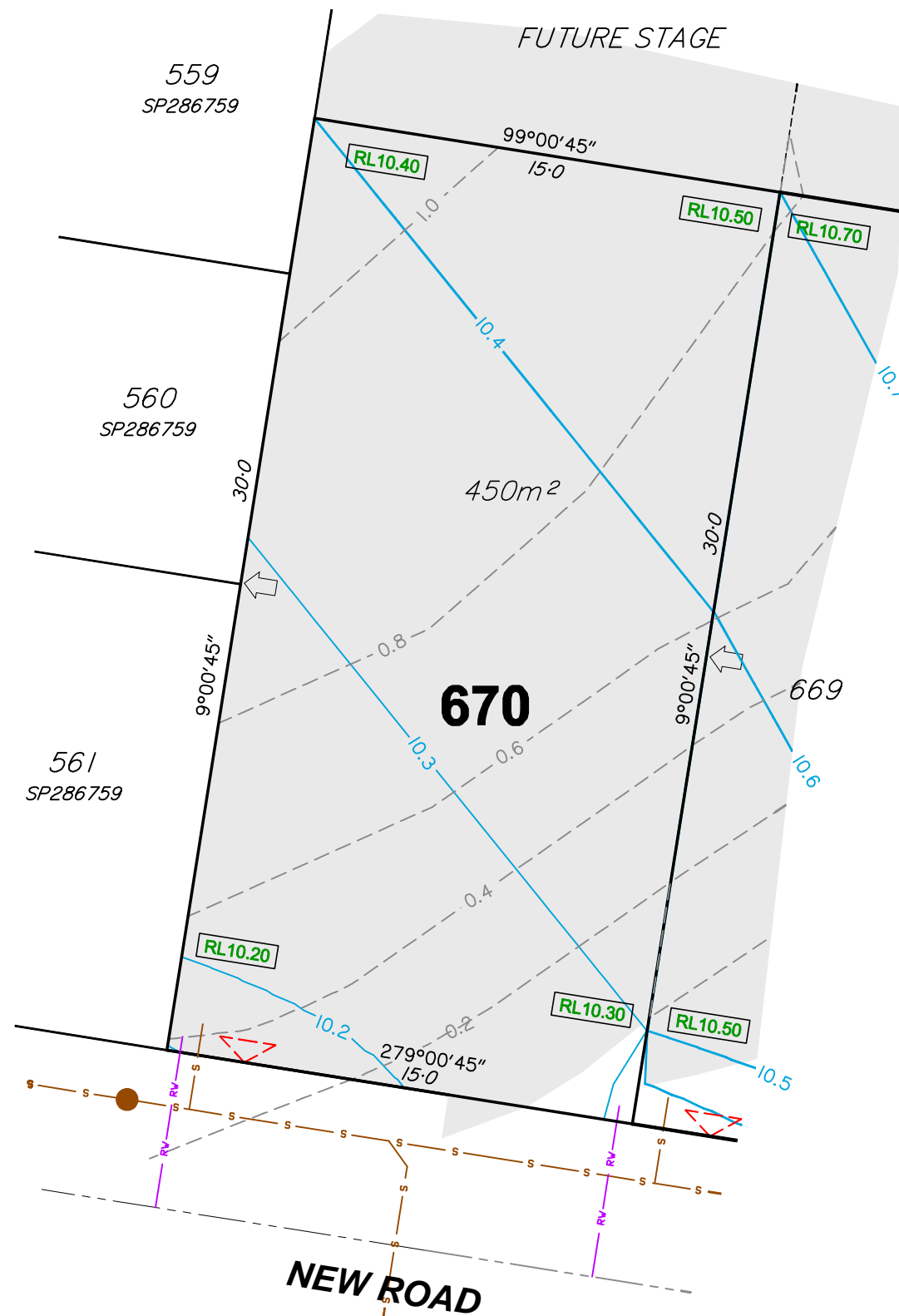
■ Planning
 ■ Urban Design
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 ■ Environment
 ■ Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.


DATE DRAWN 20-01-2017 DRAWING NO. SB3594-05-670 VERSION A



DISCLOSURE PLAN

For Proposed Lot 712
Riverbank - Stage 12A

Currently Described As
RPD: Part of Lot 1002 on SP286759
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
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 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW
ARW Retaining Wall Height
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(Retaining Wall Heights shown on the
lowerside of the wall)
 - △ Proposed Driveway
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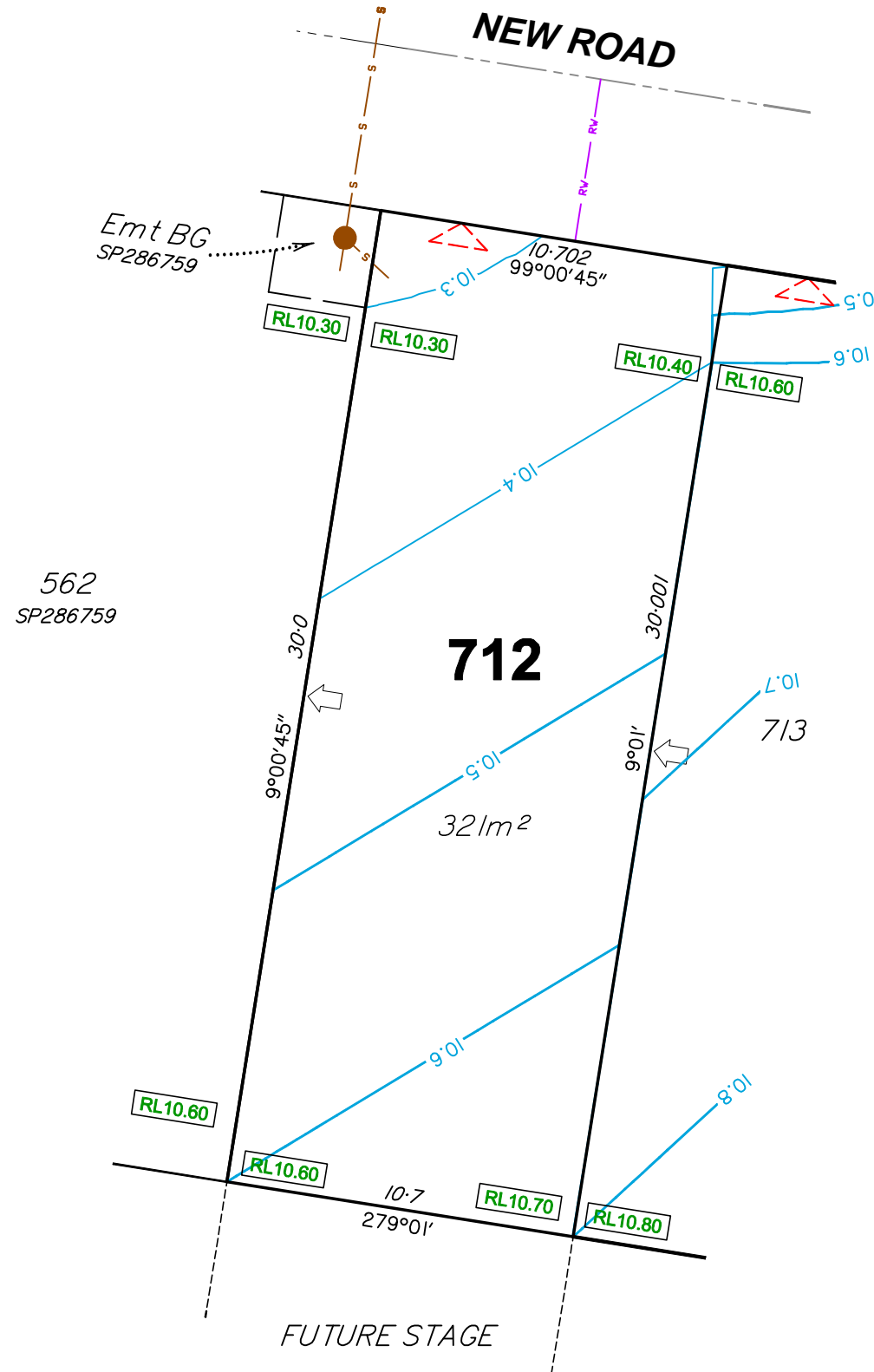
■ Planning
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 ■ Landscape
 ■ Environment
 ■ Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 20-01-2017
DRAWING NO. SB3594-05-712
VERSION A




562
SP286759



DISCLOSURE PLAN

For Proposed Lot 713
Riverbank - Stage 12A

Currently Described As
RPD: Part of Lot 1002 on SP286759
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - s — s — Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - RV — RV — Roofwater/Roofwater Pit
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 - Proposed Driveway
 - ← Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 16-12-2016.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. Builders shall not build off the design levels shown; a site survey is required.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



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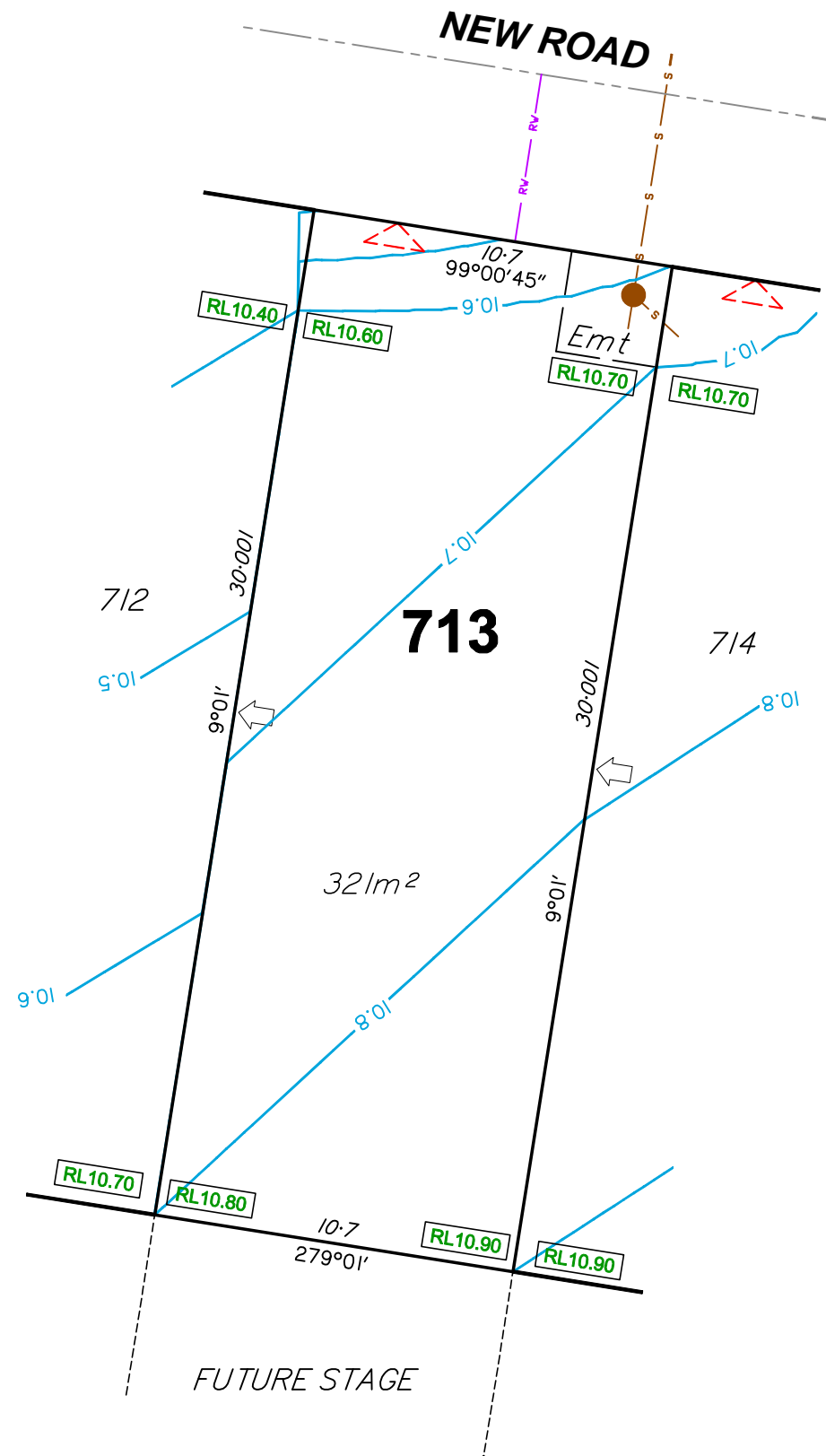
■ Planning
 ■ Urban Design
 ■ Landscape
 ■ Environment
 ■ Surveying

HORIZONTAL MERIDIAN
MGA

LEVEL DATUM
AHD.

Scale 1:200 @A3

DATE DRAWN 20-01-2017 DRAWING NO. SB3594-05-713 VERSION A



DISCLOSURE PLAN

For Proposed Lot 714
Riverbank - Stage 12A

Currently Described As
RPD: Part of Lot 1002 on SP286759
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - - - 1.0 Depth of Fill Contours (0.2m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - s — s Sewer/Sewer Manhole
 - sv — sv Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - RV — RV Roofwater/Roofwater Pit
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 - △ Proposed Driveway
 - ← Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
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 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

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consulting group

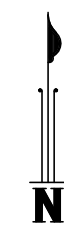
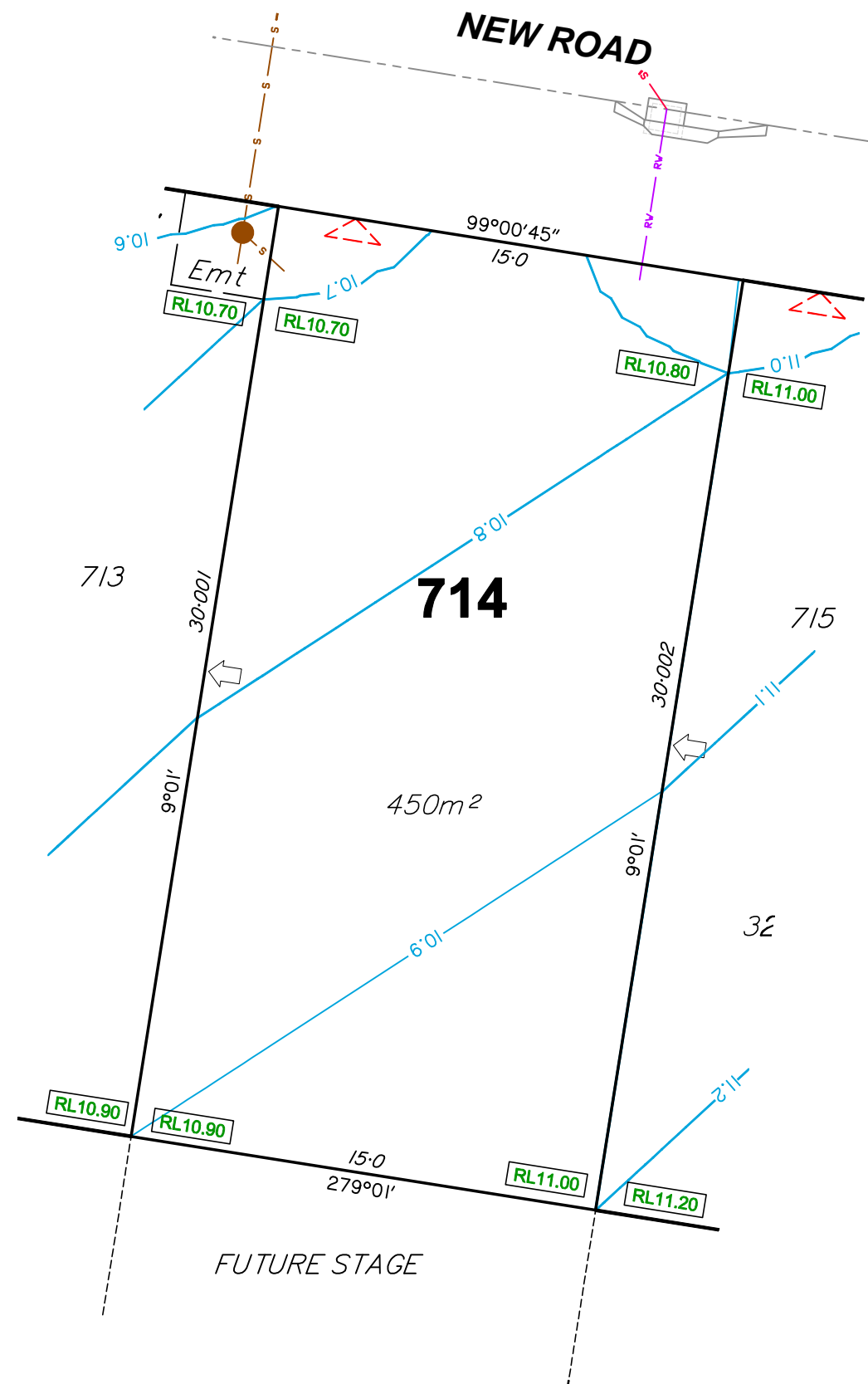
📐 Planning
🏡 Urban Design
🌿 Landscape
🌍 Environment
📏 Surveying

HORIZONTAL MERIDIAN
MGA

LEVEL DATUM
AHD.

Scale 1:200 @A3


DATE DRAWN 20-01-2017 DRAWING NO. SB3594-05-714 VERSION A



DISCLOSURE PLAN

For Proposed Lot 715
Riverbank - Stage 12A

Currently Described As
RPD: Part of Lot 1002 on SP286759
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - s — s — Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - rv — rv — Roofwater/Roofwater Pit
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height
 - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
 - △ Proposed Driveway
 - ← Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 16-12-2016.
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 4. Builders shall not build off the design levels shown; a site survey is required.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



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consulting group

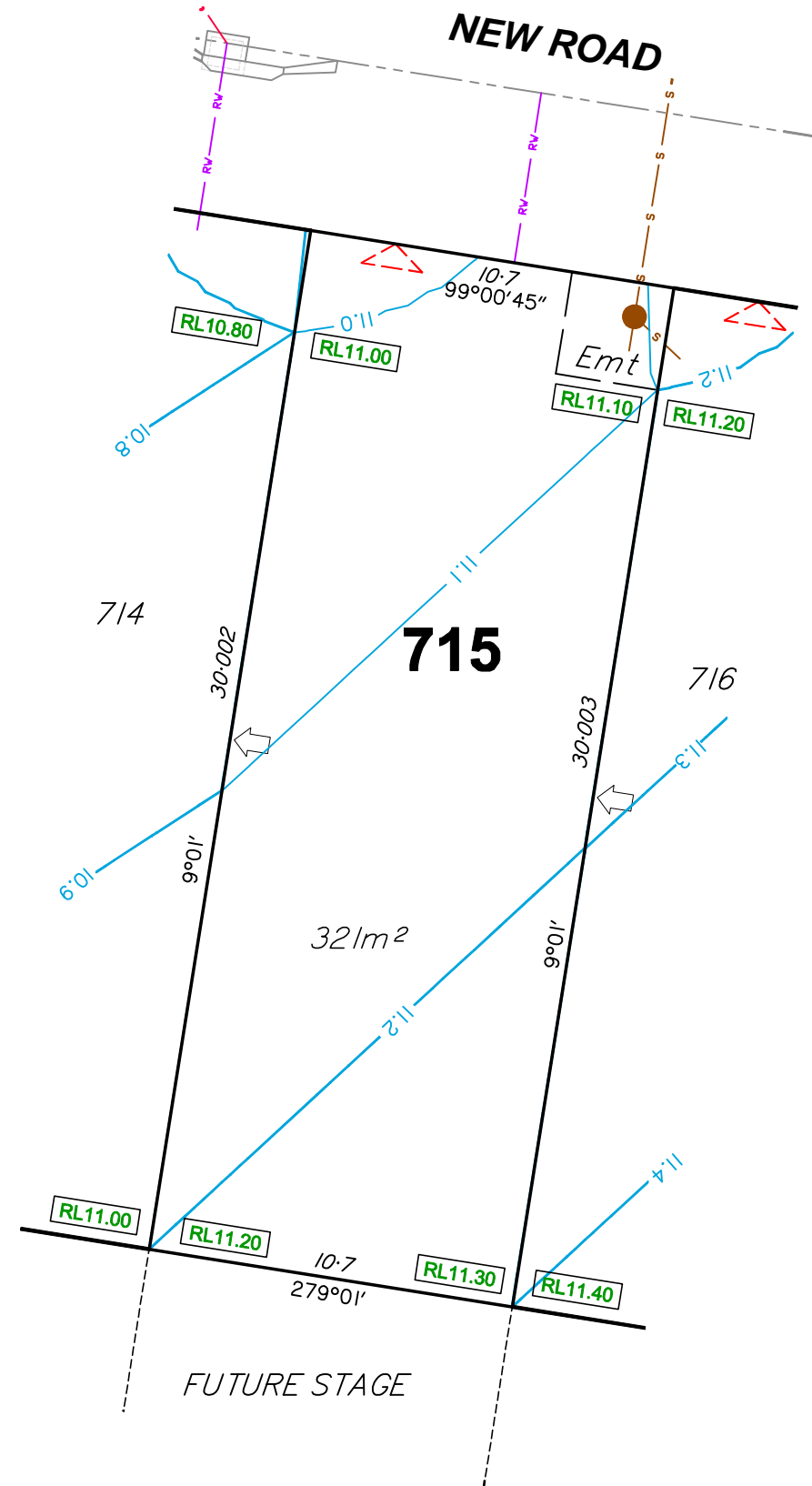
📐 Planning
🏠 Urban Design
🌿 Landscape
🌍 Environment
📏 Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.


DATE DRAWN 20-01-2017 DRAWING NO. SB3594-05-715 VERSION A



DISCLOSURE PLAN

For Proposed Lot 716
Riverbank - Stage 12A

Currently Described As
RPD: Part of Lot 1002 on SP286759
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - s — s — Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - RV — RV — Roofwater/Roofwater Pit
 - RL57.32 Area to be Filled
 - RL11.32 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height
 - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
 - △ Proposed Driveway
 - ← Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 16-12-2016.
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 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



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consulting group

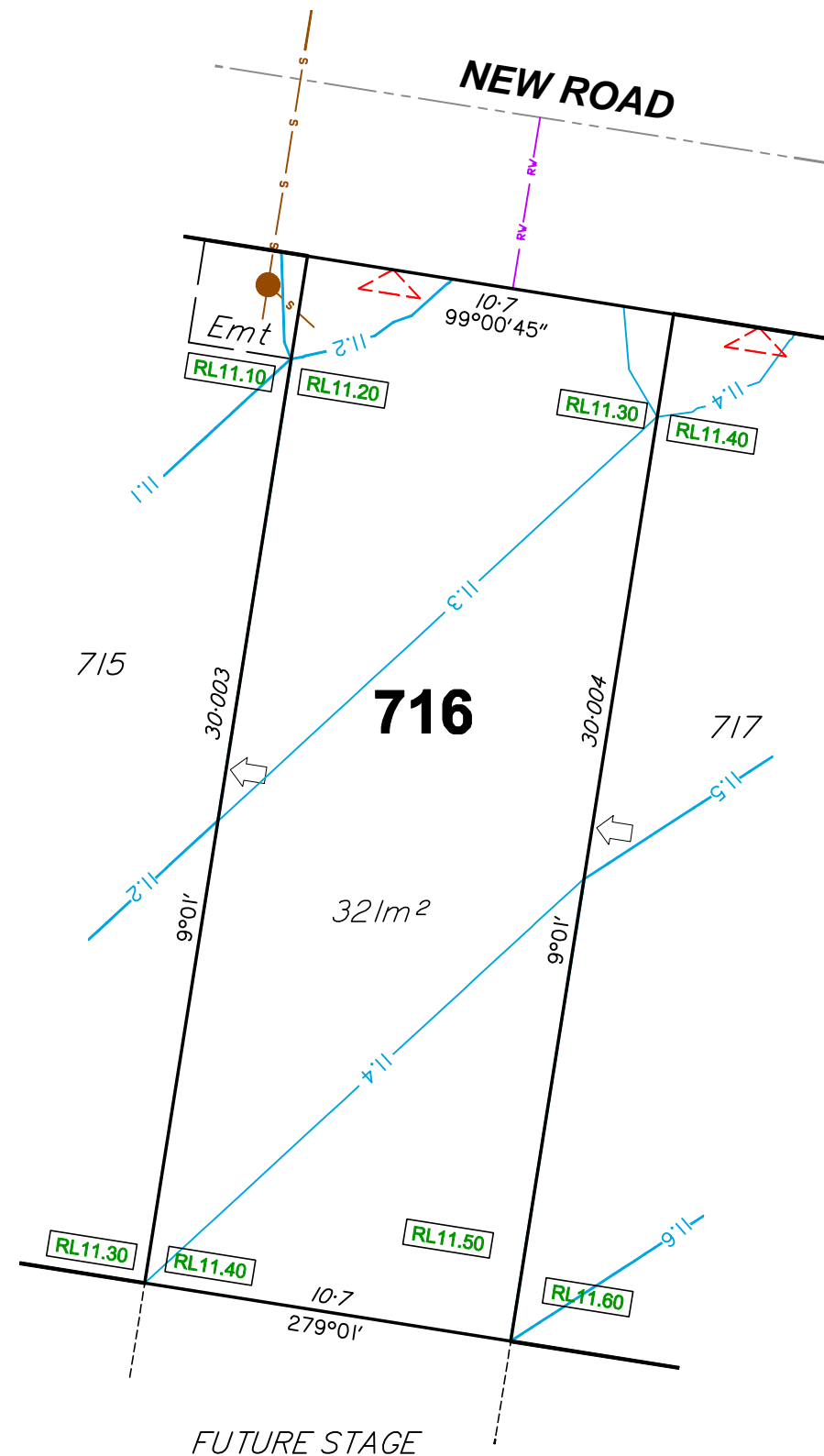
■ Planning
 ■ Urban Design
 ■ Landscape
 ■ Environment
 ■ Surveying

HORIZONTAL MERIDIAN
MGA

LEVEL DATUM
AHD.

Scale 1:200 @A3


DATE DRAWN 20-01-2017 DRAWING NO. SB3594-05-716 VERSION A



DISCLOSURE PLAN

For Proposed Lot 717
Riverbank - Stage 12A

Currently Described As
RPD: Part of Lot 1002 on SP286759
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - s — s — Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - RV — RV — Roofwater/Roofwater Pit
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW Retaining Wall Height
 - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
 - < Proposed Driveway
 - ← Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
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 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



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consulting group

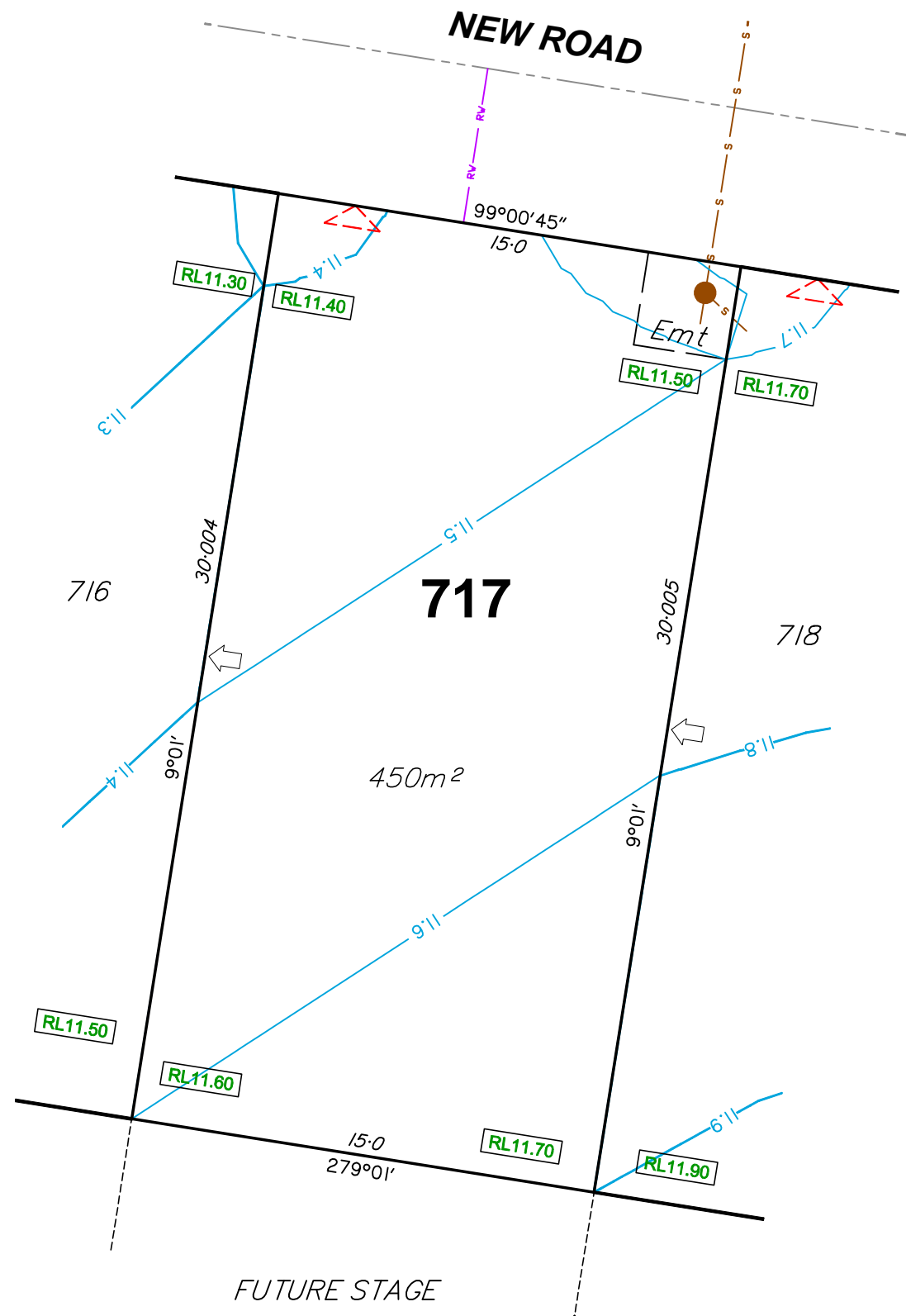
■ Planning
 ■ Urban Design
 ■ Landscape
 ■ Environment
 ■ Surveying

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LEVEL DATUM
AHD.

Scale 1:200 @A3

DATE DRAWN 20-01-2017 DRAWING NO. SB3594-05-717 VERSION A



DISCLOSURE PLAN

For Proposed Lot 718
Riverbank - Stage 12A

Currently Described As
RPD: Part of Lot 1002 on SP286759
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- Finished Surface Contours (0.1m Interval)
 - Depth of Fill Contours (0.2m Interval)
 - Easement Boundary
 - Kerb Line
 - Edge of Pad
 - Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - Roofwater/Roofwater Pit
 - Area to be Filled
 - Design Pad Level
 - Retaining Wall
 - Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary

- Notes:**
- This note is an integral part of this plan.
 - Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 16-12-2016.
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 - Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 - This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

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consulting group

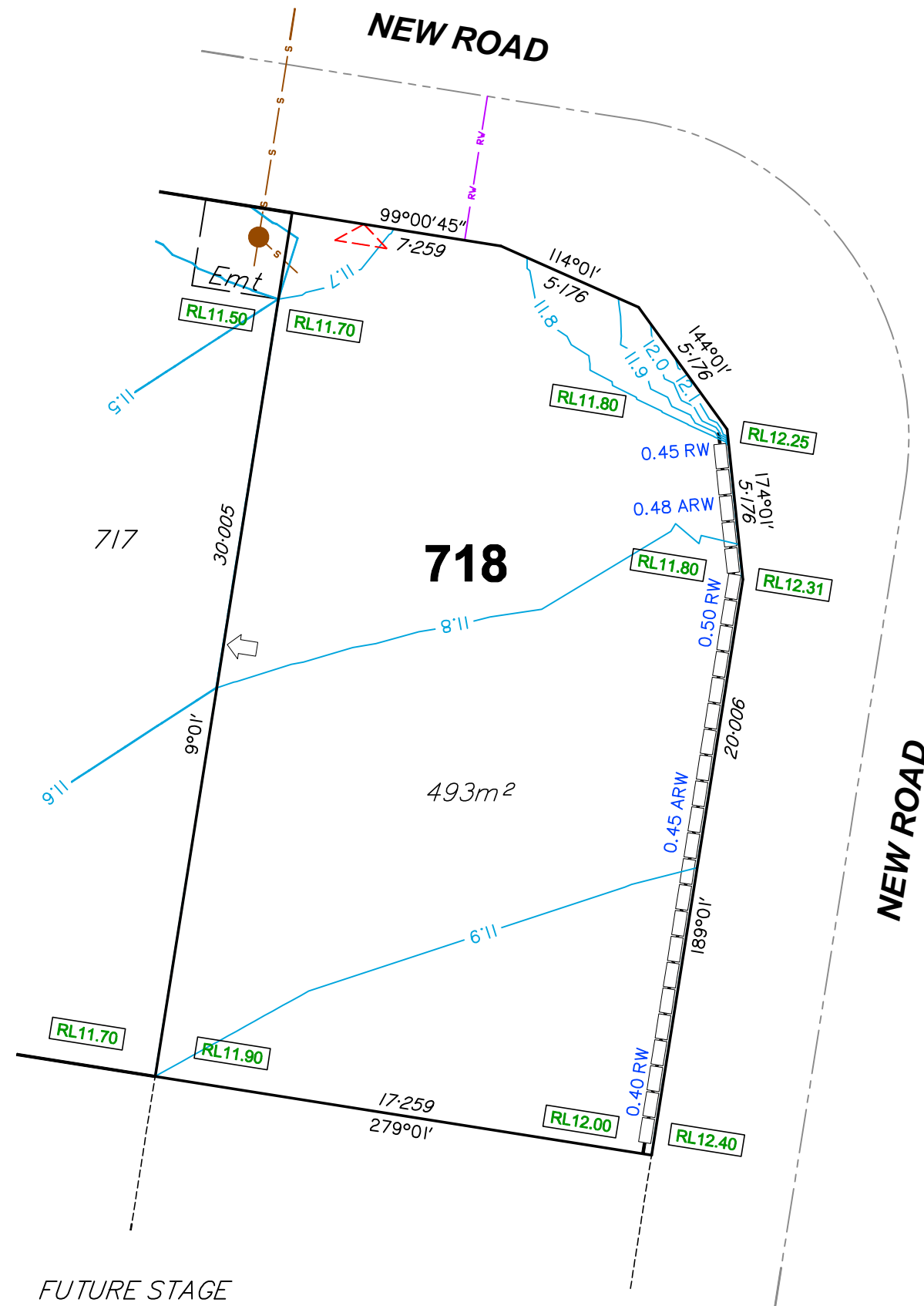
Planning
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Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 20-01-2017 DRAWING NO. SB3594-05-718 VERSION A

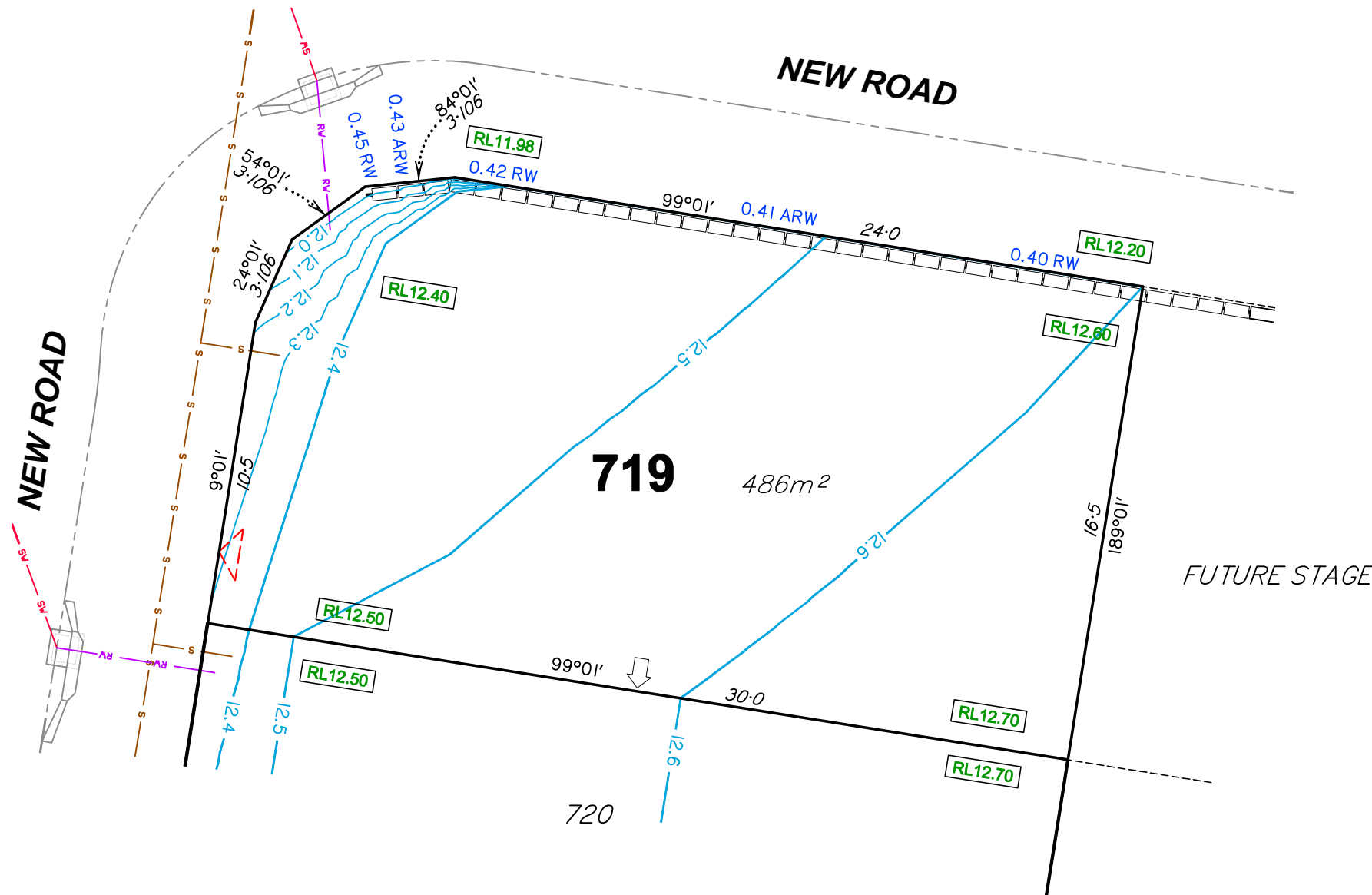


DISCLOSURE PLAN

For Proposed Lot 719
Riverbank - Stage 12A

Currently Described As
RPD: Part of Lot 1002 on SP286759
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - 1.0 Depth of Fill Contours (0.2m Interval)
 - Easement Boundary
 - Kerb Line
 - Edge of Pad
 - Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - Roofwater/Roofwater Pit
 - Area to be Filled
 - Design Pad Level
 - Retaining Wall
 - Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary



- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 16-12-2016.
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 4. Builders shall not build off the design levels shown; a site survey is required.
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 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

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Scale 1:200 @A3


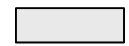
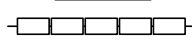


LEVEL DATUM
AHD.

DATE DRAWN 20-01-2017 DRAWING NO. SB3594-05-719 VERSION A

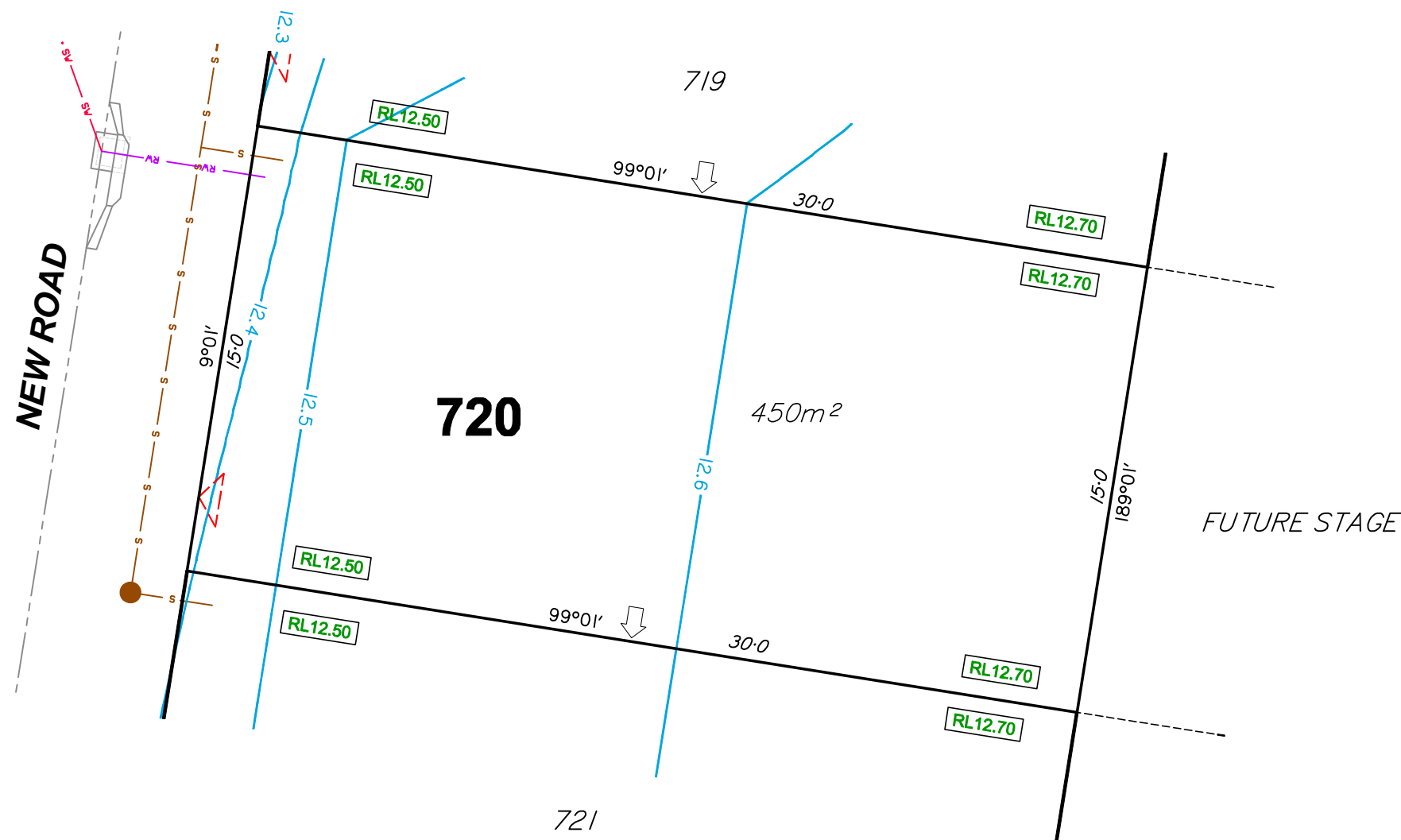
DISCLOSURE PLAN

For Proposed Lot 720
Riverbank - Stage 12A

Currently Described As
RPD: Part of Lot 1002 on SP286759
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.2m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - s — s — Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - RV — RV — Roofwater/Roofwater Pit
 -  Area to be Filled
 - RL57.32 Design Pad Level
 -  Retaining Wall
 - RW Retaining Wall Height
 - ARW Average Retaining Wall Height (Retaining Wall Heights shown on the lowside of the wall)
 -  Proposed Driveway
 -  Zero Lot Line Boundary

- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 16-12-2016.
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 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



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  Urban Design
  Landscape
  Environment
  Surveying

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Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 20-01-2017	DRAWING NO. SB3594-05-720	VERSION A
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DISCLOSURE PLAN

For Proposed Lot 721
Riverbank - Stage 12A

Currently Described As
RPD: Part of Lot 1002 on SP286759
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

Legend:

	46.0	Finished Surface Contours (0.1m Interval)
	1.0	Depth of Fill Contours (0.2m Interval)
		Easement Boundary
		Kerb Line
		Edge of Pad
	S	Sewer/Sewer Manhole
	SV	Stormwater/Stormwater Manhole
	AS	Stormwater Gully Trap
	RV	Roofwater/Roofwater Pit
		Area to be Filled
	RL57.32	Design Pad Level
		Retaining Wall
	RW ARW	Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
		Proposed Driveway
		Zero Lot Line Boundary

- Notes:**
- This note is an integral part of this plan.
 - Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 16-12-2016.
 - Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
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 - Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 - This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

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Planning
 Urban Design
 Landscape
 Environment
 Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 20-01-2017	DRAWING NO. SB3594-05-721	VERSION A
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