

DISCLOSURE PLAN

For Proposed Lot 824
Riverbank - Stage 7A

Currently Described As
RPD: Part of Lot 1008 on SP295506
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - 1.0 Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - Edge of Pad
 - Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - Roofwater/Roofwater Pit
 - Area to be Filled
 - Design Pad Level
 - Retaining Wall
 - Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary
 - 1.8m High Timber Acoustic Fence
(Installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
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 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK



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consulting group

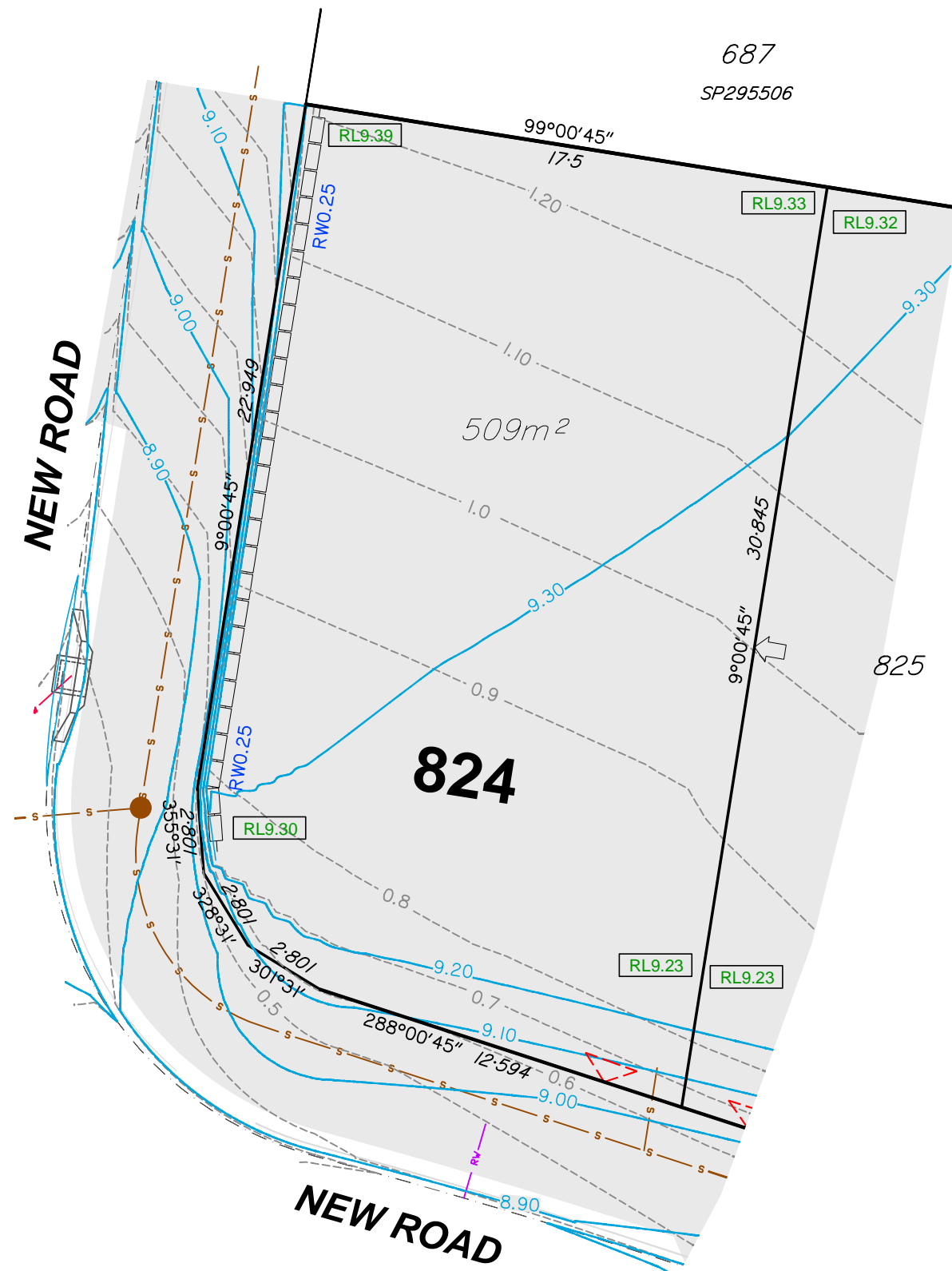
Planning Urban Design Landscape Environment Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.


DATE DRAWN 17-01-2018 DRAWING NO. SB3594-09-824 VERSION A



DISCLOSURE PLAN

For Proposed Lot 825
Riverbank - Stage 7A

Currently Described As
RPD: Part of Lot 1008 on SP295506
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
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 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - s — s — Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - RV — RV — Roofwater/Roofwater Pit
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 - Proposed Driveway
 - ← Zero Lot Line Boundary
 - 1.8m High Timber Acoustic Fence
(Installed by Developer)

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RIVERBANK

 **WOLTER**
consulting group

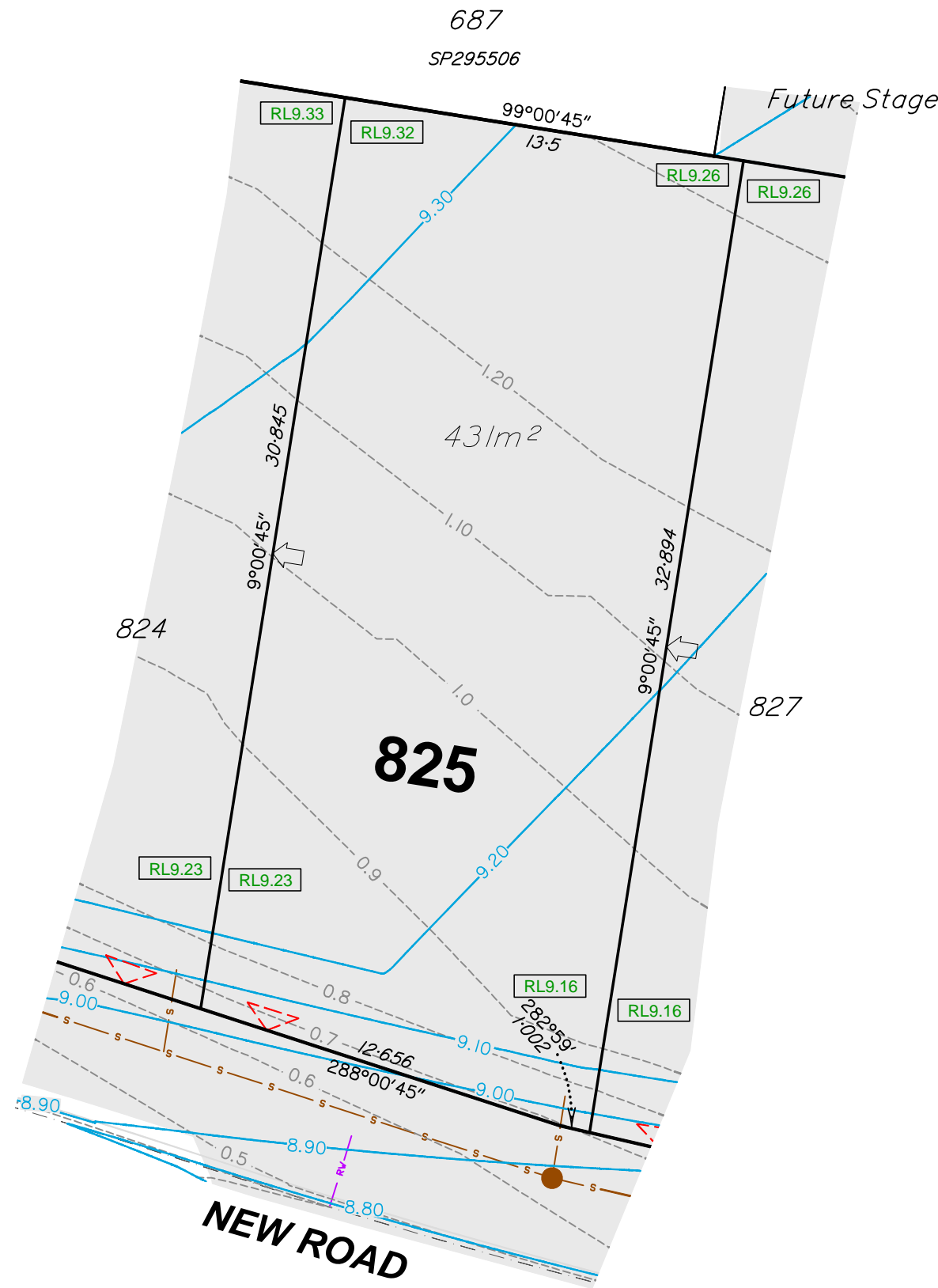
■ Planning
 ■ Urban Design
 ■ Landscape
 ■ Environment
 ■ Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 17-01-2018 DRAWING NO. SB3594-09-825 VERSION A



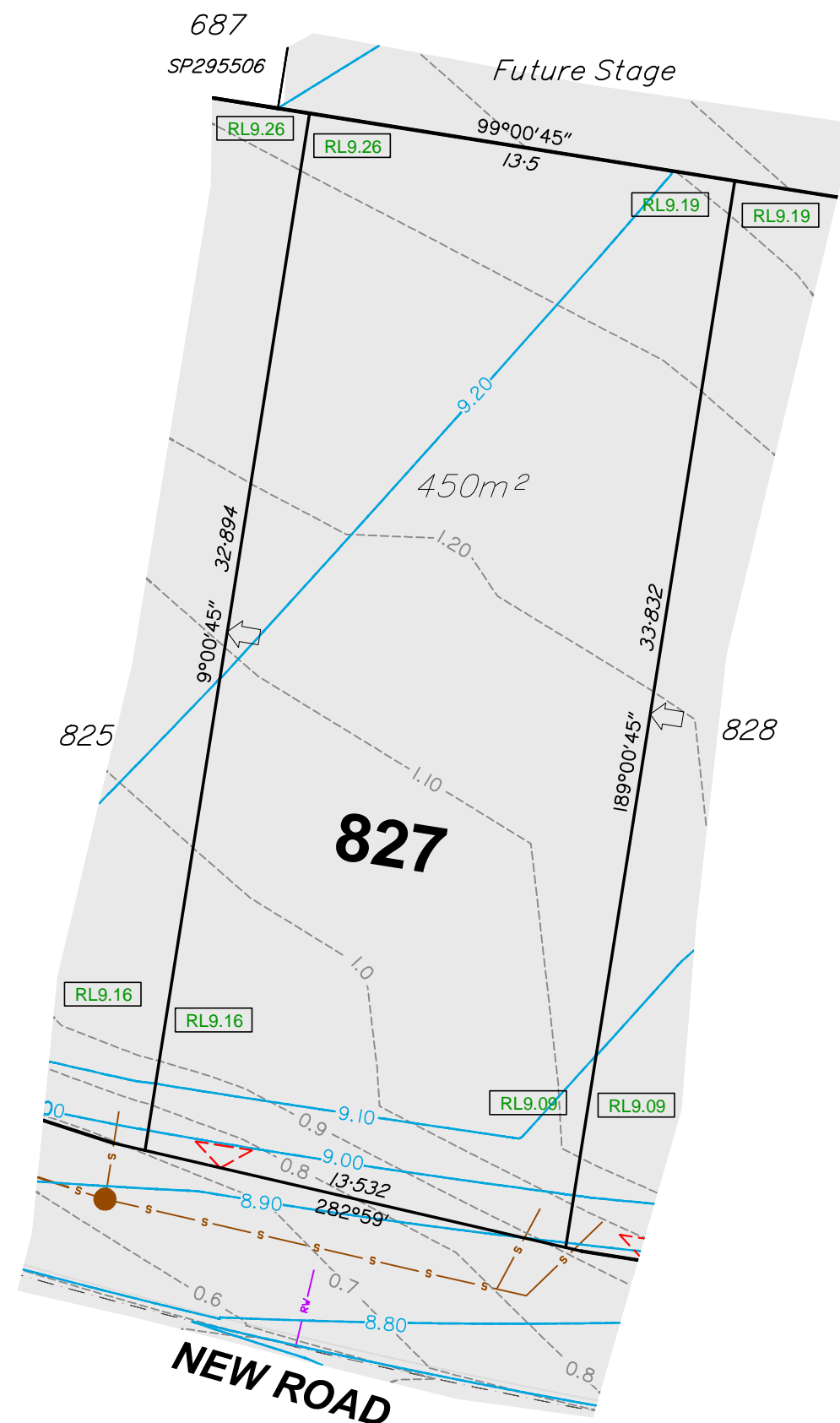
DISCLOSURE PLAN

For Proposed Lot 827
Riverbank - Stage 7A

Currently Described As
RPD: Part of Lot 1008 on SP295506
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- Finished Surface Contours (0.1m Interval)
 - Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - Edge of Pad
 - Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - Roofwater/Roofwater Pit
 - Area to be Filled
 - Design Pad Level
 - Retaining Wall
 - Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary
 - 1.8m High Timber Acoustic Fence
(Installed by Developer)

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RIVERBANK



HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 17-01-2018 DRAWING NO. SB3594-09-827 VERSION A

DISCLOSURE PLAN

For Proposed Lot 828
Riverbank - Stage 7A

Currently Described As
RPD: Part of Lot 1008 on SP295506
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- Finished Surface Contours (0.1m Interval)
 - Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - Edge of Pad
 - Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - Roofwater/Roofwater Pit
 - Area to be Filled
 - Design Pad Level
 - Retaining Wall
 - Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary
 - 1.8m High Timber Acoustic Fence
(Installed by Developer)

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RIVERBANK

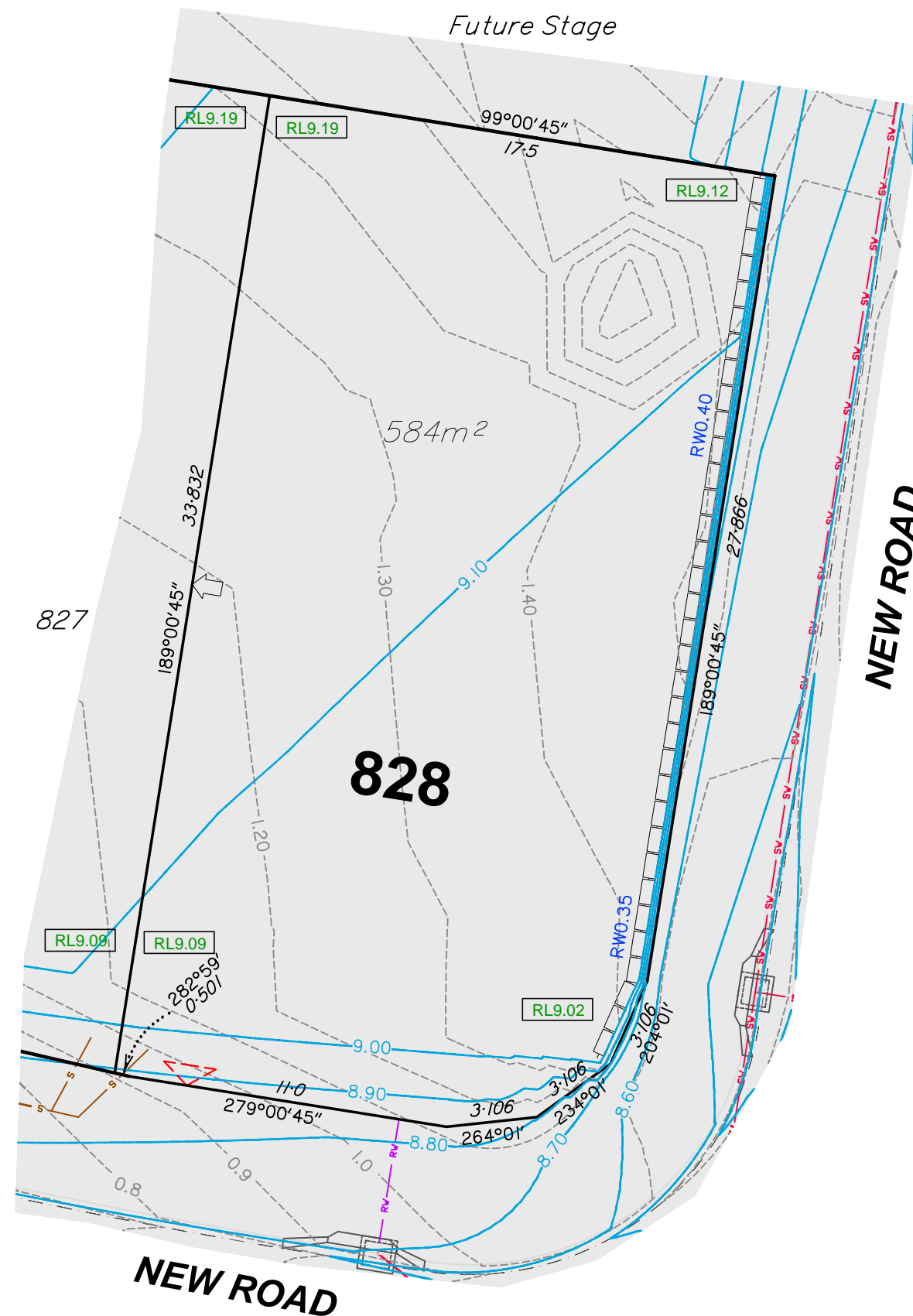


HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 17-01-2018 DRAWING NO. SB3594-09-828 VERSION A



DISCLOSURE PLAN

For Proposed Lot 829
Riverbank - Stage 7A

Currently Described As
RPD: Part of Lot 1008 on SP295506
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

Legend:

	46.0	Finished Surface Contours (0.1m Interval)
	1.0	Depth of Fill Contours (0.1m Interval)
		Easement Boundary
		Kerb Line
		Edge of Pad
		Sewer/Sewer Manhole
		Stormwater/Stormwater Manhole
		Stormwater Gully Trap
		Roofwater/Roofwater Pit
		Area to be Filled
		Design Pad Level
		Retaining Wall
		Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
		Proposed Driveway
		Zero Lot Line Boundary
		1.8m High Timber Acoustic Fence (Installed by Developer)

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RIVERBANK



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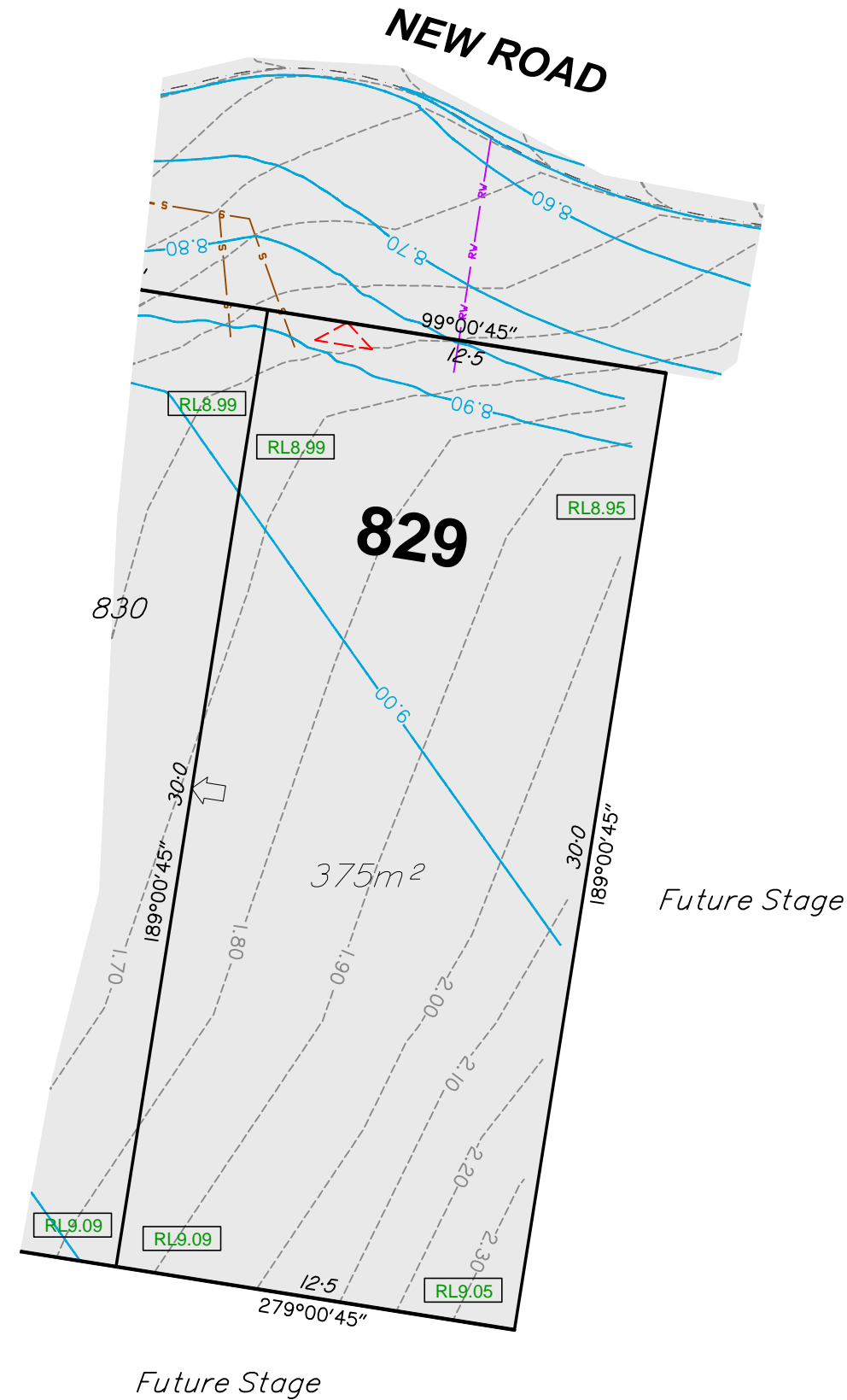
Planning
 Urban Design
 Landscape
 Environment
 Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.


DATE DRAWN 17-01-2018	DRAWING NO. SB3594-09-829	VERSION A
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DISCLOSURE PLAN

For Proposed Lot 830
Riverbank - Stage 7A

Currently Described As
RPD: Part of Lot 1008 on SP295506
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - s — s — Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - RV — RV — Roofwater/Roofwater Pit
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 - Proposed Driveway
 - ← Zero Lot Line Boundary
 - 1.8m High Timber Acoustic Fence
(Installed by Developer)

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RIVERBANK



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consulting group

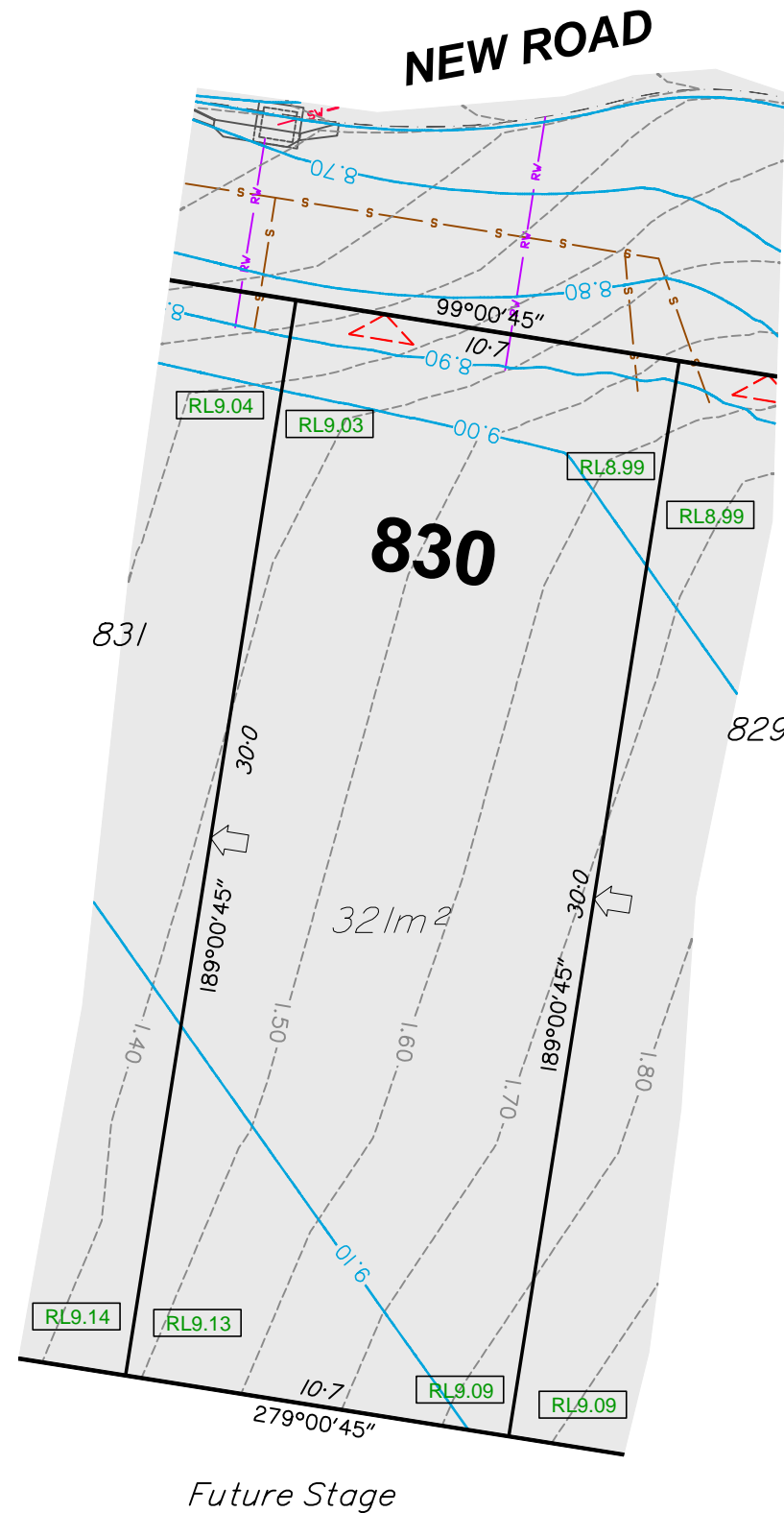
■ Planning
 ■ Urban Design
 ■ Landscape
 ■ Environment
 ■ Surveying

HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 17-01-2018 DRAWING NO. SB3594-09-830 VERSION A



Future Stage

DISCLOSURE PLAN

For Proposed Lot 831
Riverbank - Stage 7A

Currently Described As
RPD: Part of Lot 1008 on SP295506
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

Legend:

	46.0	Finished Surface Contours (0.1m Interval)
	1.0	Depth of Fill Contours (0.1m Interval)
		Easement Boundary
		Kerb Line
		Edge of Pad
		Sewer/Sewer Manhole
		Stormwater/Stormwater Manhole
		Stormwater Gully Trap
		Roofwater/Roofwater Pit
		Area to be Filled
		Design Pad Level
		Retaining Wall
		Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
		Proposed Driveway
		Zero Lot Line Boundary
		1.8m High Timber Acoustic Fence (Installed by Developer)

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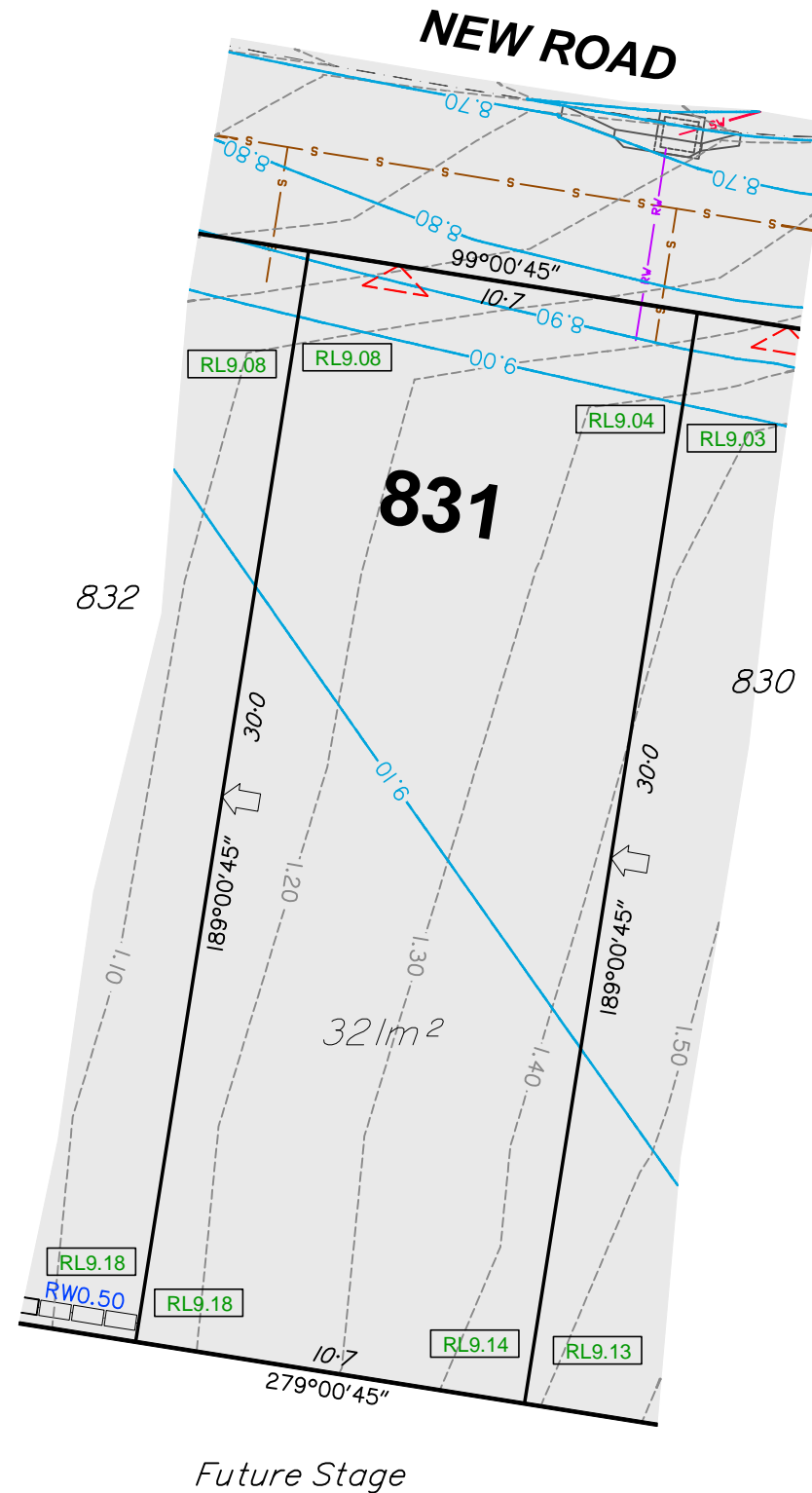
RIVERBANK



HORIZONTAL MERIDIAN
MGA
LEVEL DATUM
AHD.

Scale 1:200 @A3

DATE DRAWN 17-01-2018	DRAWING NO. SB3594-09-831	VERSION A
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DISCLOSURE PLAN

For Proposed Lot 832
Riverbank - Stage 7A

Currently Described As
RPD: Part of Lot 1008 on SP295506
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 Finished Surface Contours (0.1m Interval)
 - 1.0 Depth of Fill Contours (0.1m Interval)
 - Easement Boundary
 - Kerb Line
 - Edge of Pad
 - Sewer/Sewer Manhole
 - Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - Roofwater/Roofwater Pit
 - Area to be Filled
 - Design Pad Level
 - Retaining Wall
 - Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary
 - 1.8m High Timber Acoustic Fence
(Installed by Developer)

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RIVERBANK



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consulting group

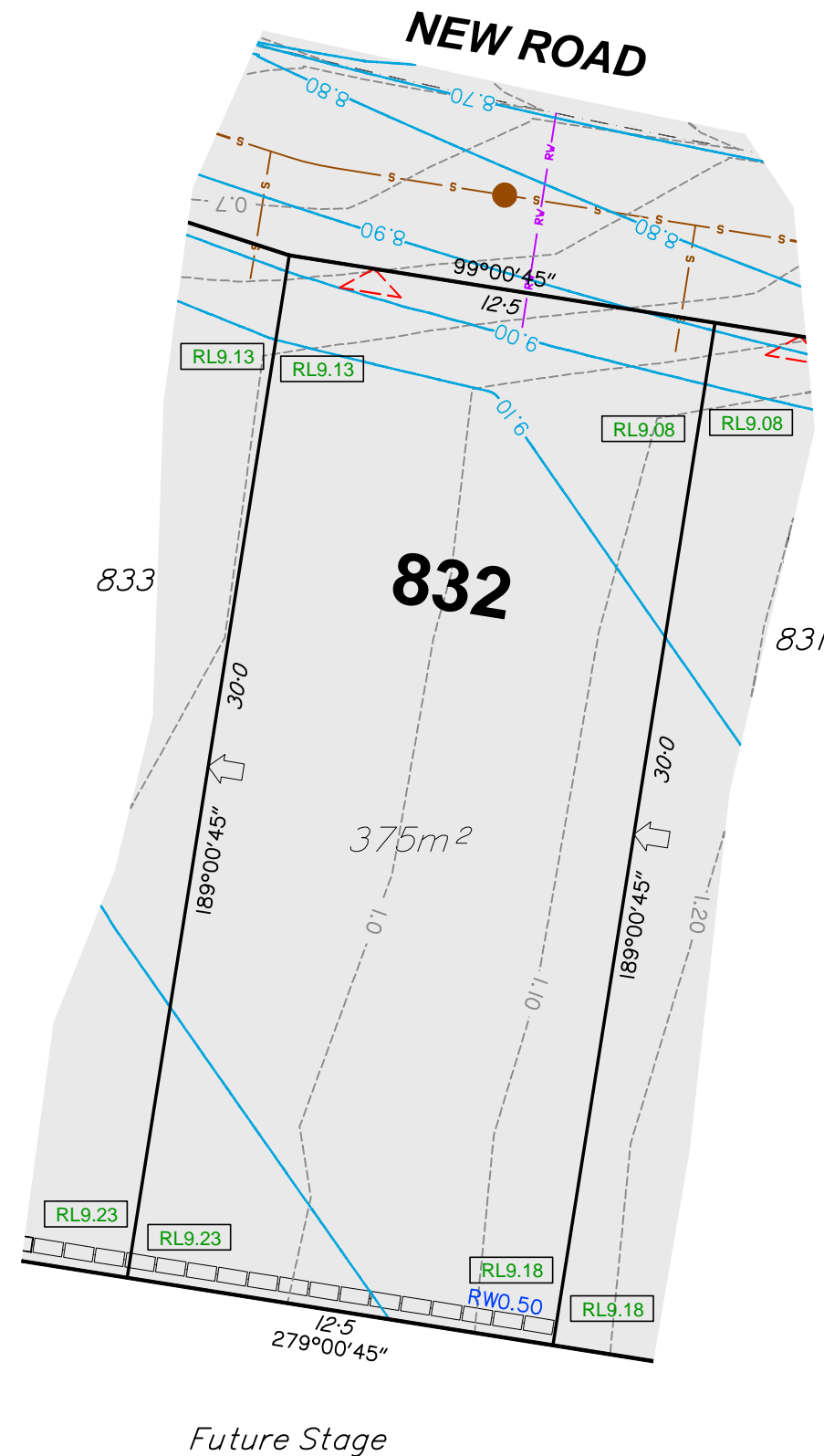
Planning
 Urban Design
 Landscape
 Environment
 Surveying

HORIZONTAL MERIDIAN
MGA

LEVEL DATUM
AHD.

Scale 1:200 @A3


DATE DRAWN 17-01-2018
DRAWING NO. SB3594-09-832
VERSION A



DISCLOSURE PLAN

For Proposed Lot 833
Riverbank - Stage 7A

Currently Described As
RPD: Part of Lot 1008 on SP295506
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - s — s — Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - rv — rv — Roofwater/Roofwater Pit
 - Area to be Filled
 - RL9.32 Design Pad Level
 - Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 - Proposed Driveway
 - ← Zero Lot Line Boundary
 - 1.8m High Timber Acoustic Fence
(Installed by Developer)

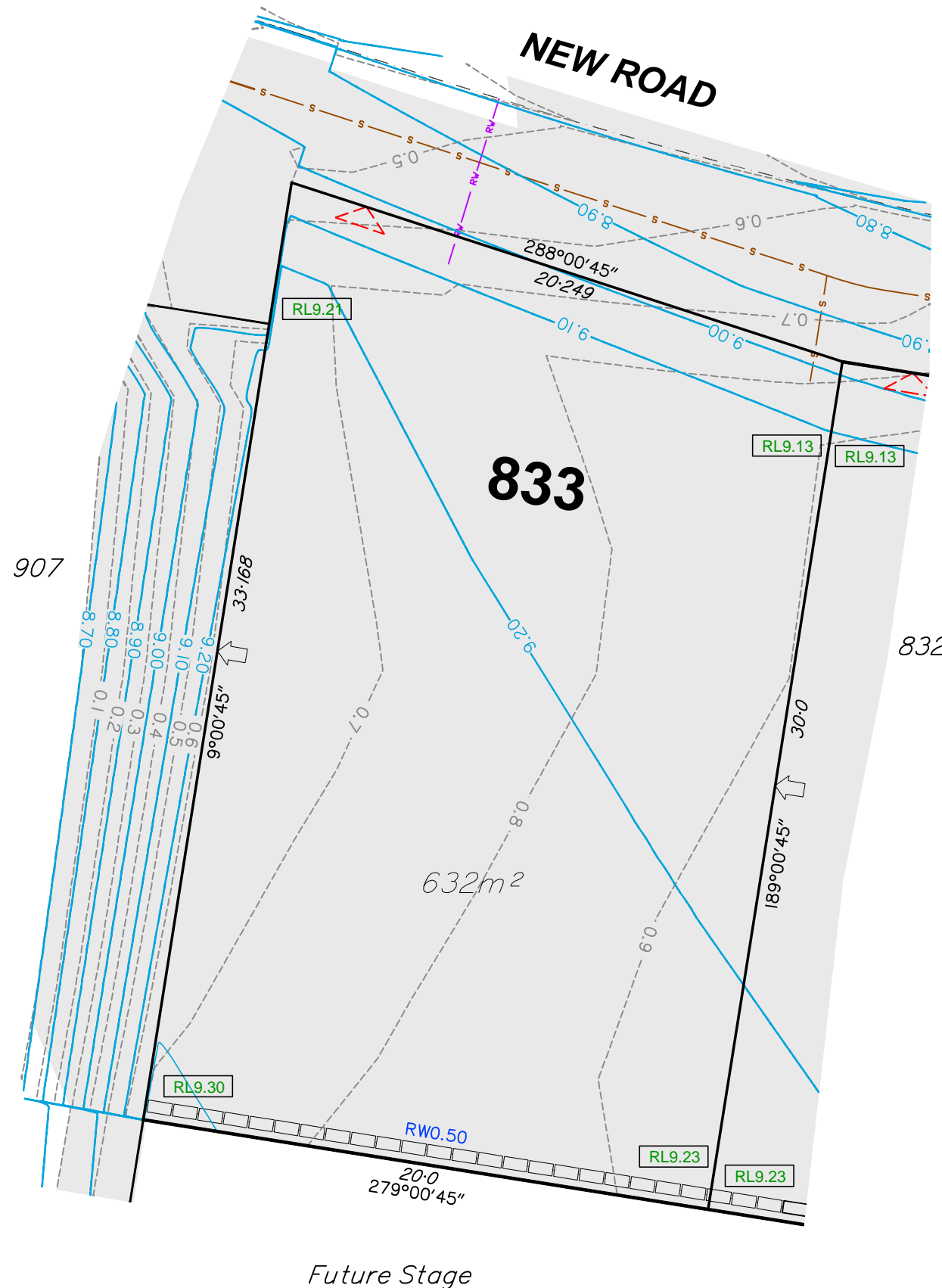
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RIVERBANK



HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.


DATE DRAWN 17-01-2018 DRAWING NO. SB3594-09-833 VERSION A



DISCLOSURE PLAN

For Proposed Lot 834
Riverbank - Stage 7A

Currently Described As
RPD: Part of Lot 1008 on SP295506
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - s — s — Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - RV — RV — Roofwater/Roofwater Pit
 - Area to be Filled
 - RL9.32 Design Pad Level
 - Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 - Proposed Driveway
 - ← Zero Lot Line Boundary
 - 1.8m High Timber Acoustic Fence
(Installed by Developer)

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RIVERBANK

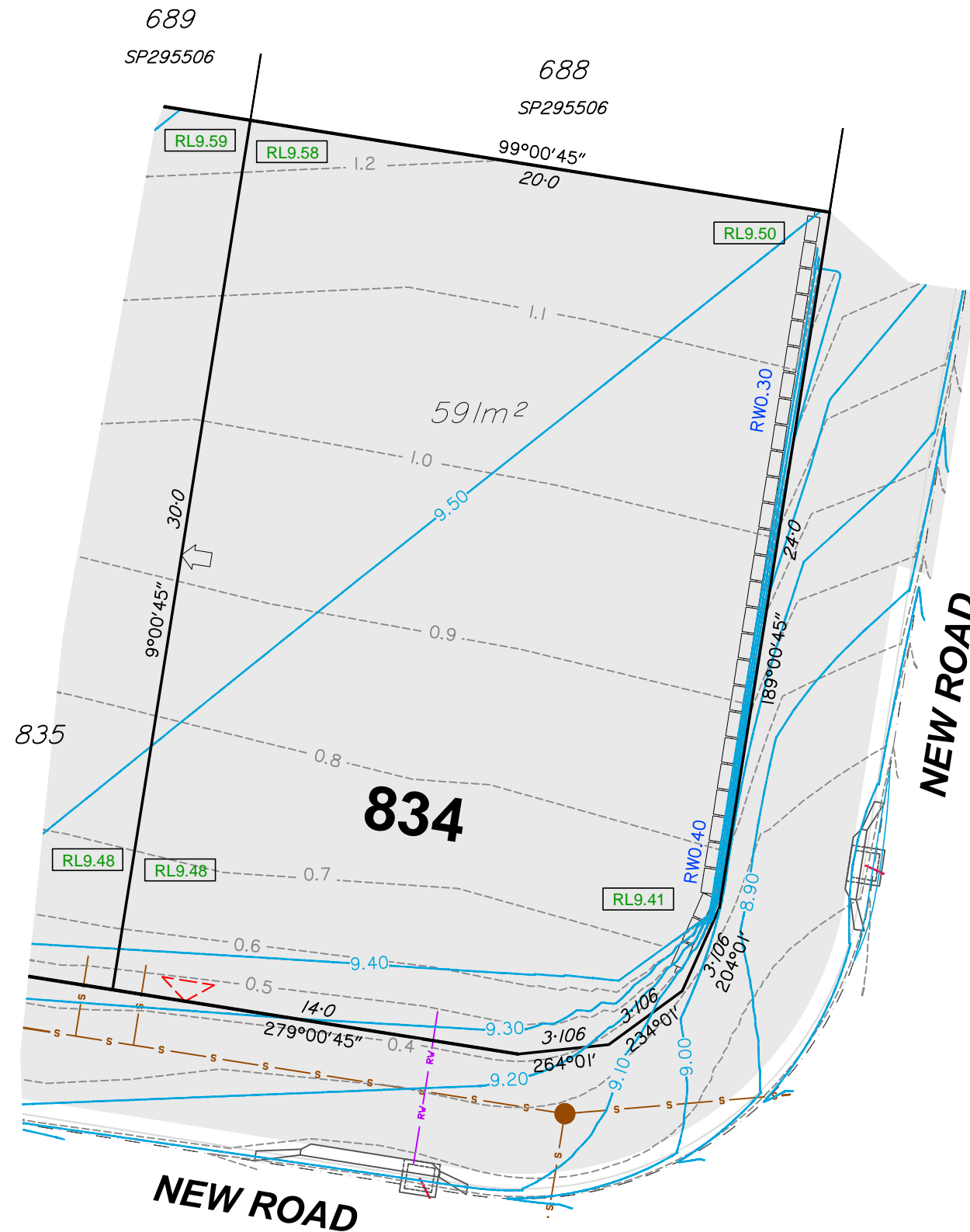


HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.


DATE DRAWN 17-01-2018 DRAWING NO. SB3594-09-834 VERSION A



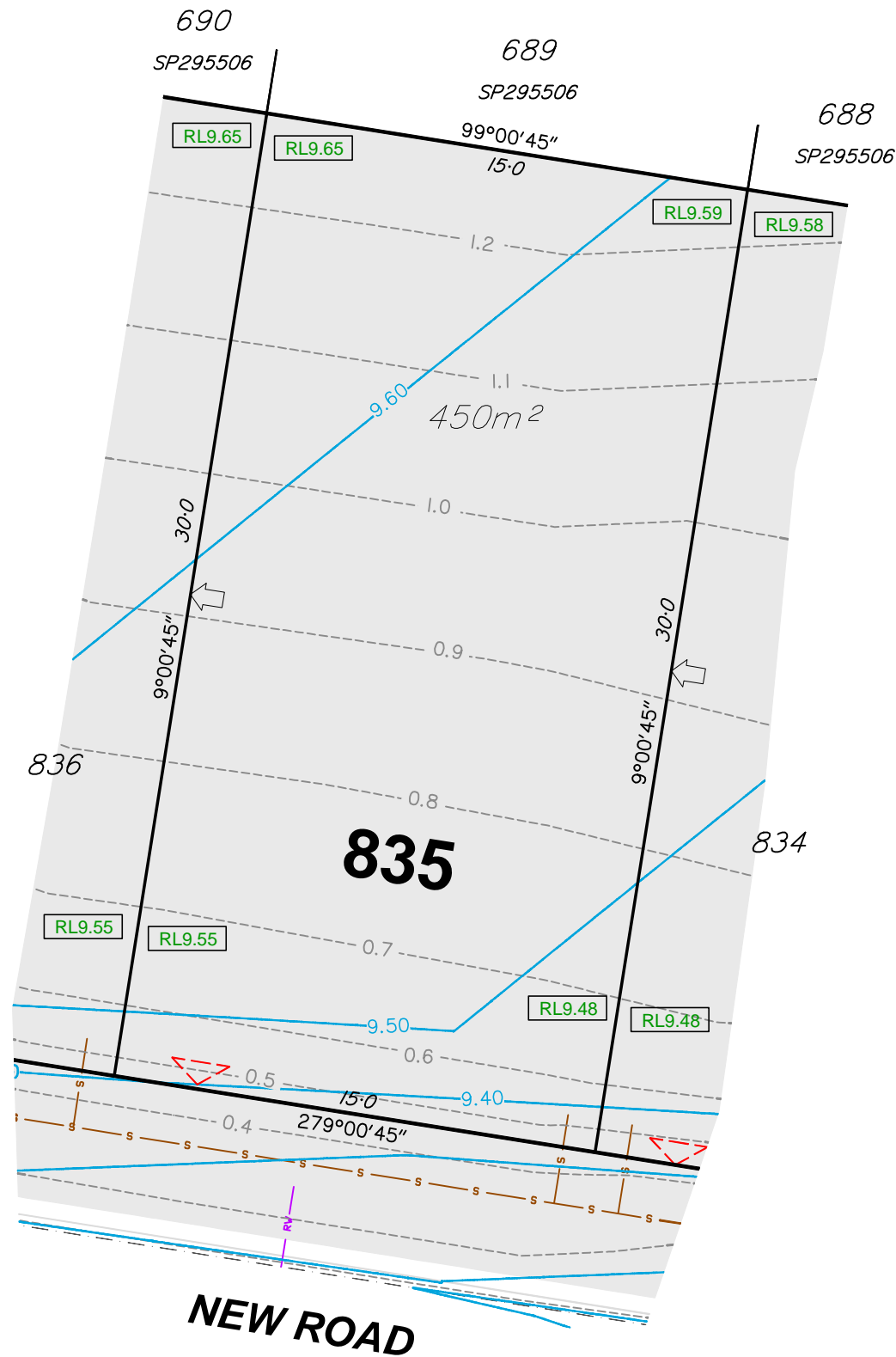
DISCLOSURE PLAN

For Proposed Lot 835
Riverbank - Stage 7A

Currently Described As
RPD: Part of Lot 1008 on SP295506
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
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 - s — s — Sewer/Sewer Manhole
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 -  Stormwater Gully Trap
 - RV — RV — Roofwater/Roofwater Pit
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 - Proposed Driveway
 - ← Zero Lot Line Boundary
 - = 1.8m High Timber Acoustic Fence
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RIVERBANK




HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 17-01-2018 DRAWING NO. SB3594-09-835 VERSION A

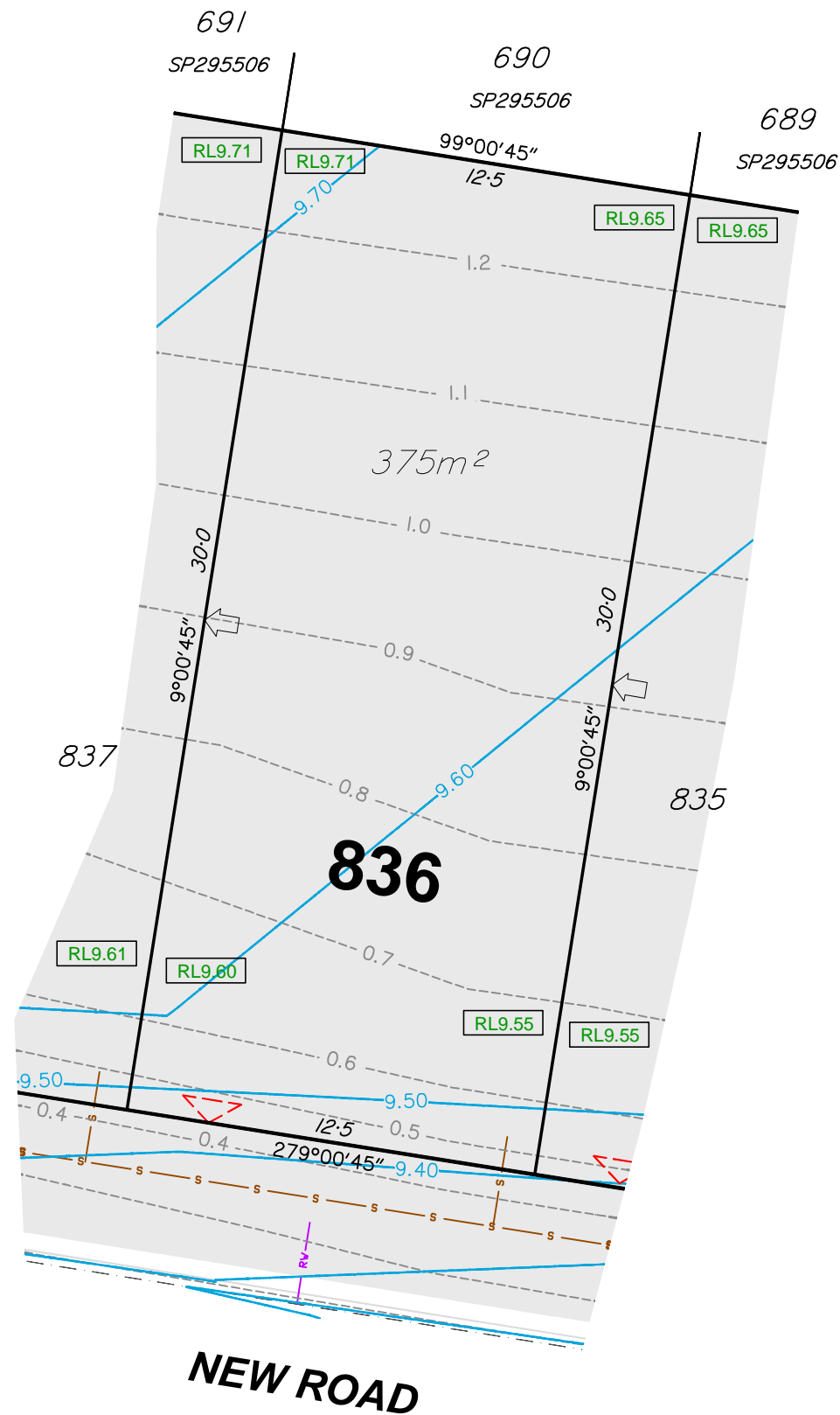
DISCLOSURE PLAN

For Proposed Lot 836
Riverbank - Stage 7A

Currently Described As
RPD: Part of Lot 1008 on SP295506
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - s — s — Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - RV — RV — Roofwater/Roofwater Pit
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 - < Proposed Driveway
 - ← Zero Lot Line Boundary
 - 1.8m High Timber Acoustic Fence
(Installed by Developer)

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RIVERBANK






HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 17-01-2018 DRAWING NO. SB3594-09-836 VERSION A

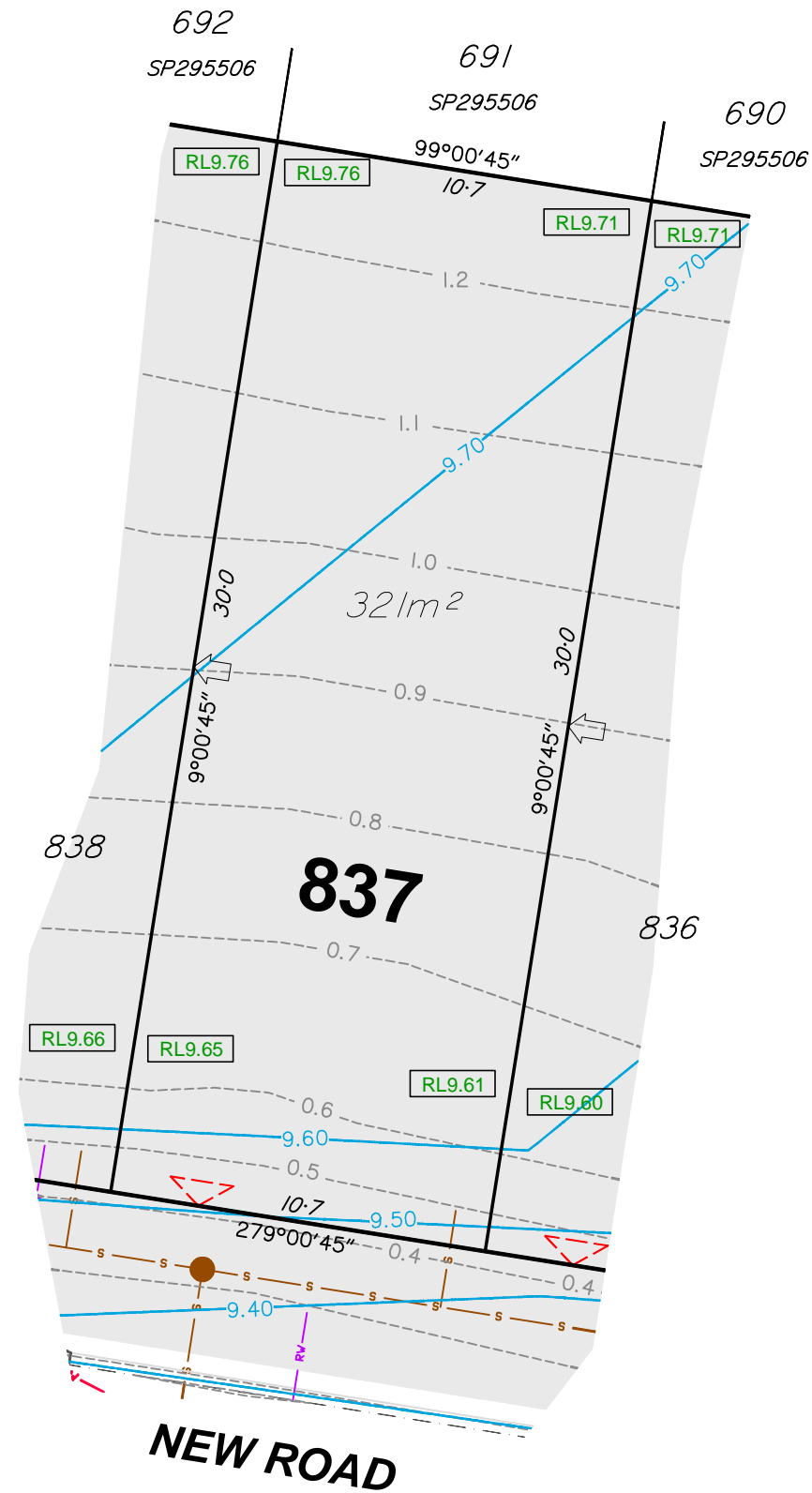
DISCLOSURE PLAN

For Proposed Lot 837
Riverbank - Stage 7A

Currently Described As
RPD: Part of Lot 1008 on SP295506
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - s — s — Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - rv — rv — Roofwater/Roofwater Pit
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 -  Proposed Driveway
 -  Zero Lot Line Boundary
 - 1.8m High Timber Acoustic Fence
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RIVERBANK



HORIZONTAL MERIDIAN
MGA
Scale 1:200 @A3
LEVEL DATUM
AHD.

DATE DRAWN 17-01-2018 DRAWING NO. SB3594-09-837 VERSION A

DISCLOSURE PLAN

For Proposed Lot 838
Riverbank - Stage 7A

Currently Described As
RPD: Part of Lot 1008 on SP295506
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - s — s — Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 - Stormwater Gully Trap
 - RV — RV — Roofwater/Roofwater Pit
 - Area to be Filled
 - RL9.76 Design Pad Level
 - Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 - Proposed Driveway
 - Zero Lot Line Boundary
 - 1.8m High Timber Acoustic Fence
(Installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. Builders shall not build off the design levels shown; a site survey is required.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

RIVERBANK

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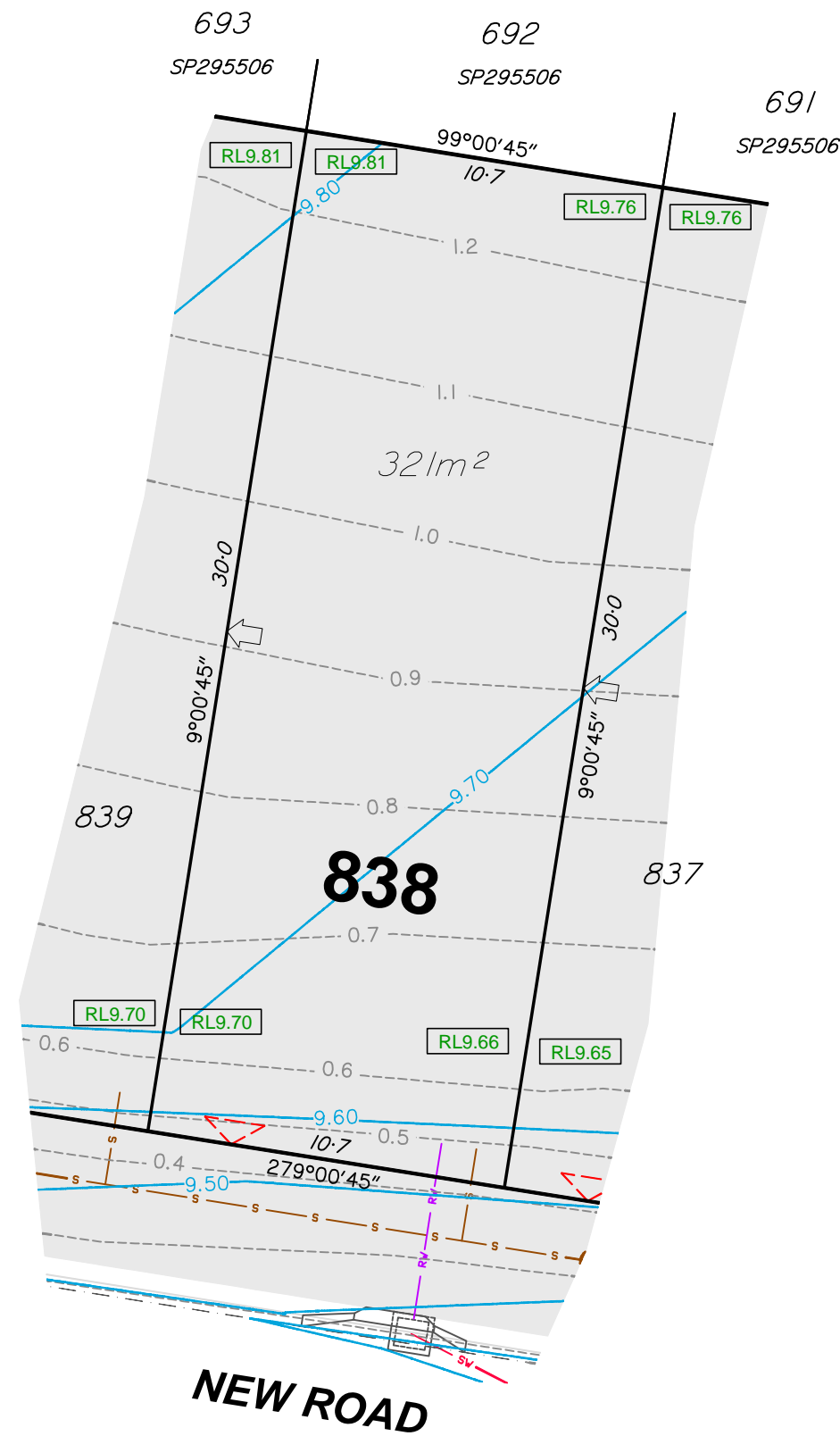
📐 Planning
🏡 Urban Design
🌿 Landscape
🌍 Environment
📏 Surveying

HORIZONTAL MERIDIAN
MGA

LEVEL DATUM
AHD.

Scale 1:200 @A3


DATE DRAWN 17-01-2018 DRAWING NO. SB3594-09-838 VERSION A



DISCLOSURE PLAN

For Proposed Lot 839
Riverbank - Stage 7A

Currently Described As
RPD: Part of Lot 1008 on SP295506
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - s — s — Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - RV — RV — Roofwater/Roofwater Pit
 - Area to be Filled
 - RL9.32 Design Pad Level
 - Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 - < Proposed Driveway
 - ← Zero Lot Line Boundary
 - 1.8m High Timber Acoustic Fence
(Installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
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 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

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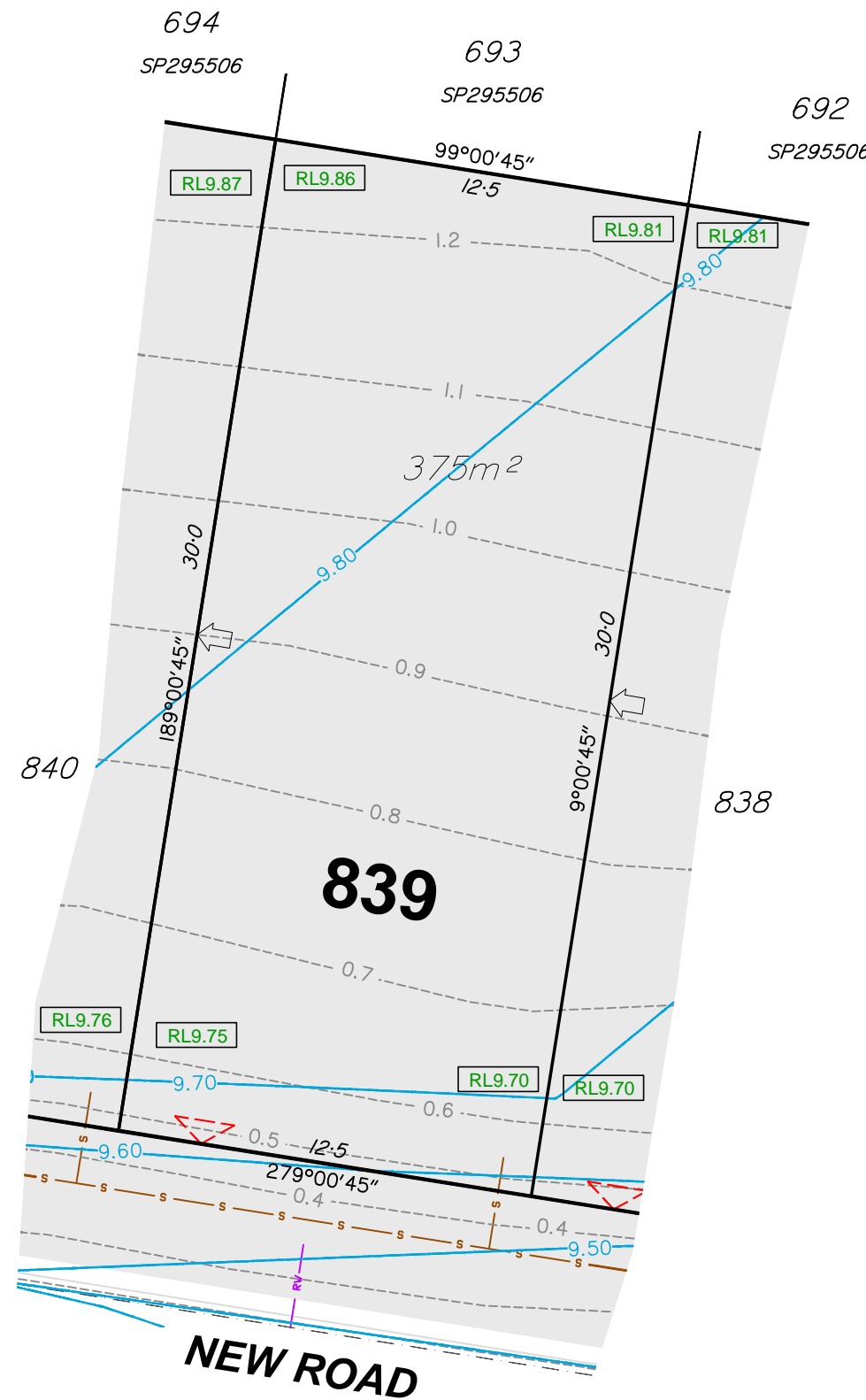


HORIZONTAL MERIDIAN
MGA

Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 17-01-2018 DRAWING NO. SB3594-09-839 VERSION A



DISCLOSURE PLAN

For Proposed Lot 855
Riverbank - Stage 7A

Currently Described As
RPD: Part of Lot 1008 on SP295506
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

Legend:

	46.0	Finished Surface Contours (0.1m Interval)
	1.0	Depth of Fill Contours (0.1m Interval)
		Easement Boundary
		Kerb Line
		Edge of Pad
		Sewer/Sewer Manhole
		Stormwater/Stormwater Manhole
		Stormwater Gully Trap
		Roofwater/Roofwater Pit
		Area to be Filled
	RL9.32	Design Pad Level
		Retaining Wall
		Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
		Proposed Driveway
		Zero Lot Line Boundary
		1.8m High Timber Acoustic Fence (Installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017.
 3. Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 4. Builders shall not build off the design levels shown; a site survey is required.
 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).

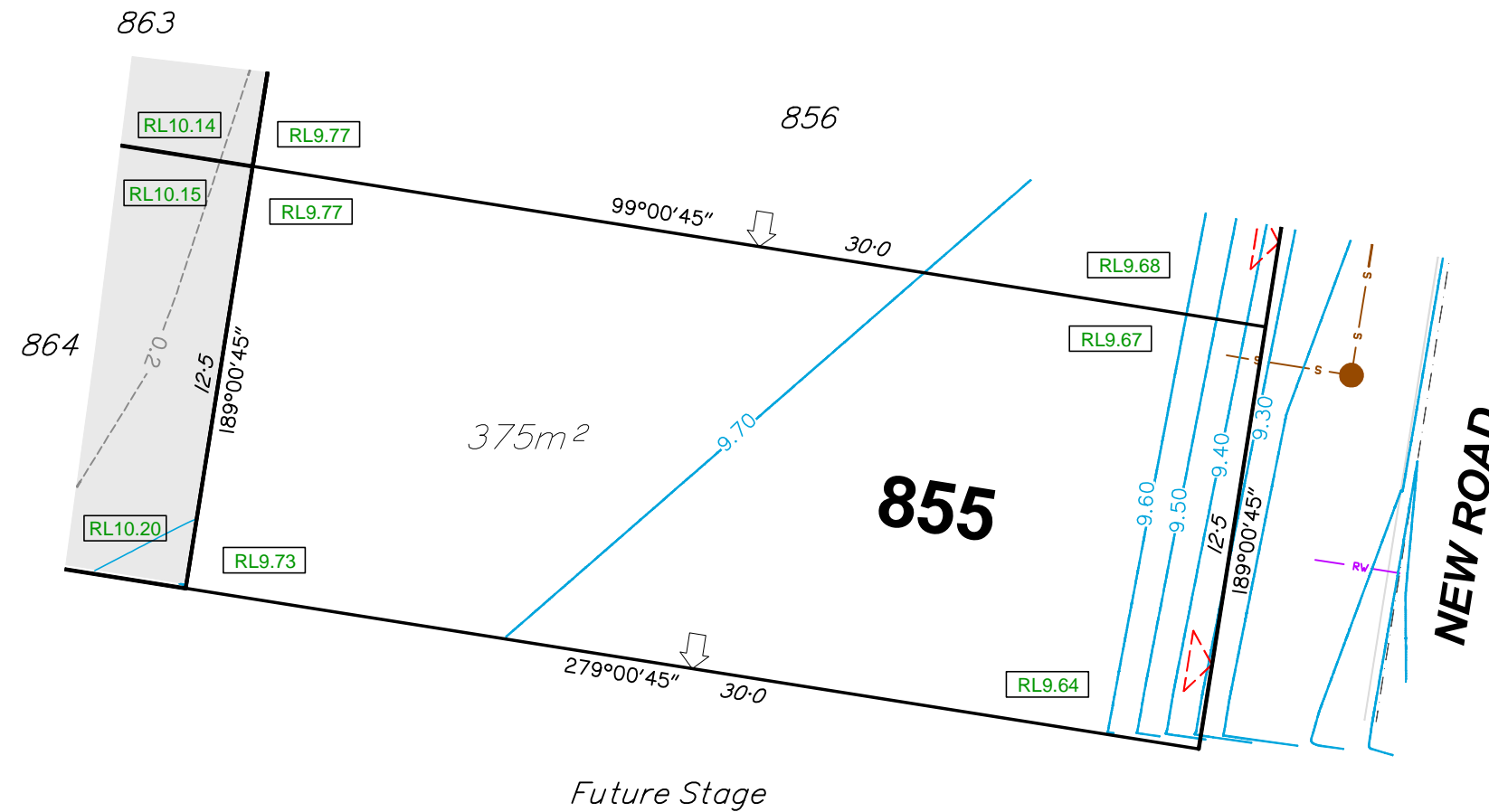
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LEVEL DATUM
AHD.

Scale 1:200 @A3


DATE DRAWN 17-01-2018	DRAWING NO. SB3594-09-855	VERSION A
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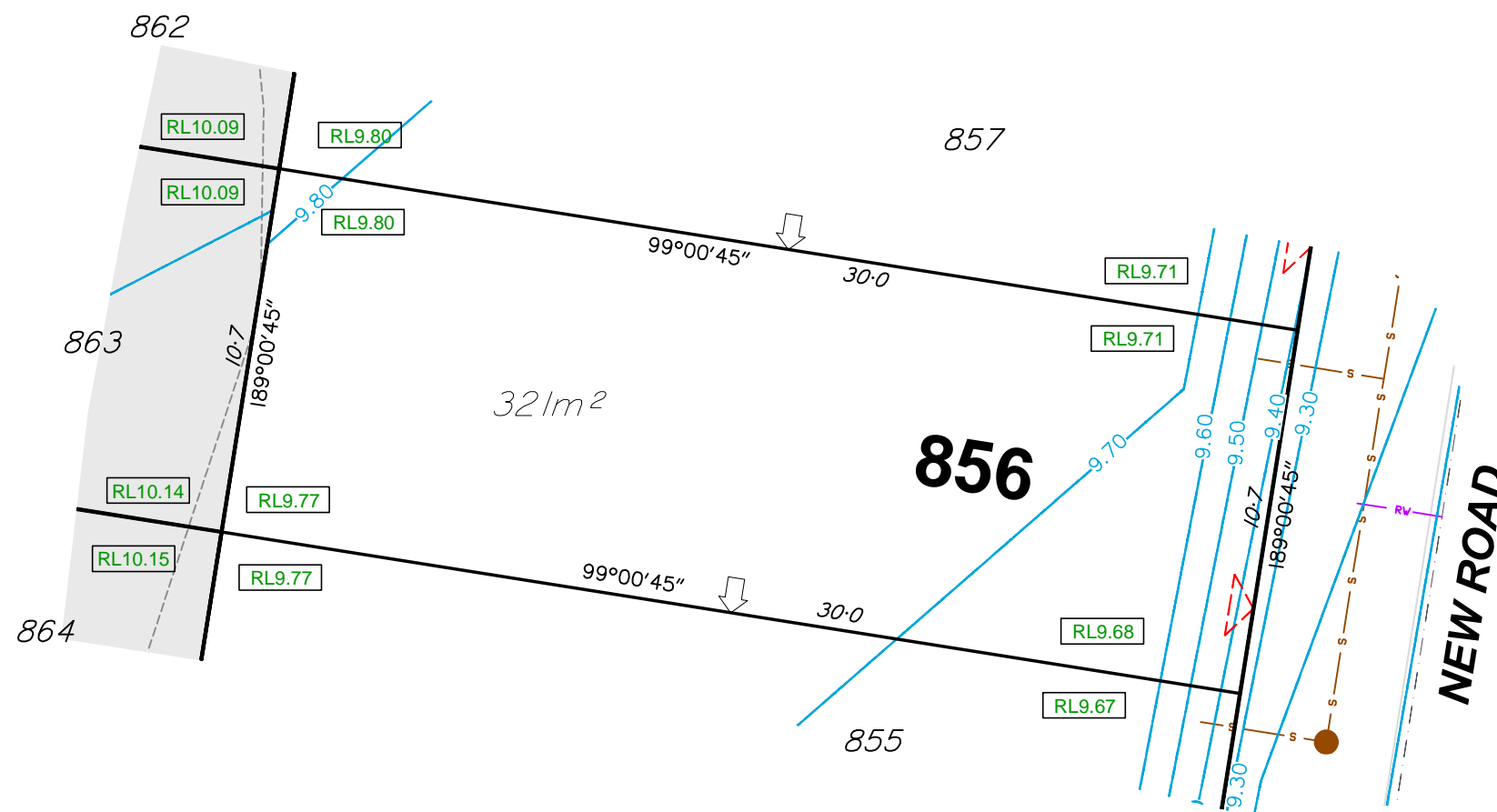
DISCLOSURE PLAN

For Proposed Lot 856
Riverbank - Stage 7A

Currently Described As
RPD: Part of Lot 1008 on SP295506
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - s — s — Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - RV — RV — Roofwater/Roofwater Pit
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 - ▾ Proposed Driveway
 - ← Zero Lot Line Boundary
 - 1.8m High Timber Acoustic Fence
(Installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017.
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 5. Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



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 ■ Urban Design
 ■ Landscape
 ■ Environment
 ■ Surveying

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Scale 1:200 @A3


LEVEL DATUM
AHD.

DATE DRAWN 17-01-2018	DRAWING NO. SB3594-09-856	VERSION A
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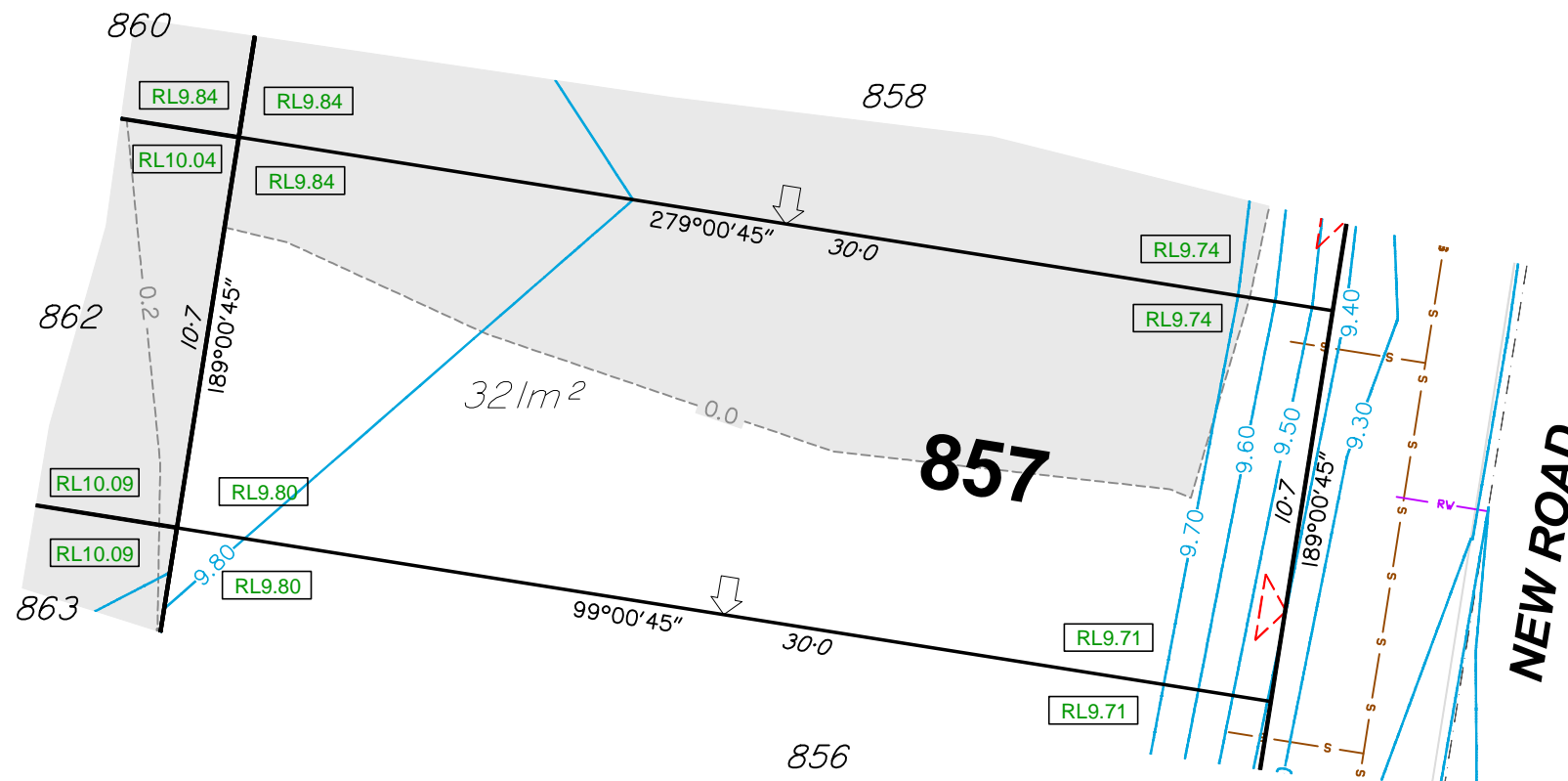
DISCLOSURE PLAN

For Proposed Lot 857
Riverbank - Stage 7A

Currently Described As
RPD: Part of Lot 1008 on SP295506
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - s — s — Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - RV — RV — Roofwater/Roofwater Pit
 - Area to be Filled
 - RL57.32 Design Pad Level
 - Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 - △ Proposed Driveway
 - ← Zero Lot Line Boundary
 - 1.8m High Timber Acoustic Fence
(Installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017.
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 6. This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



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LEVEL DATUM
AHD.

DATE DRAWN 17-01-2018 DRAWING NO. SB3594-09-857 VERSION A

DISCLOSURE PLAN

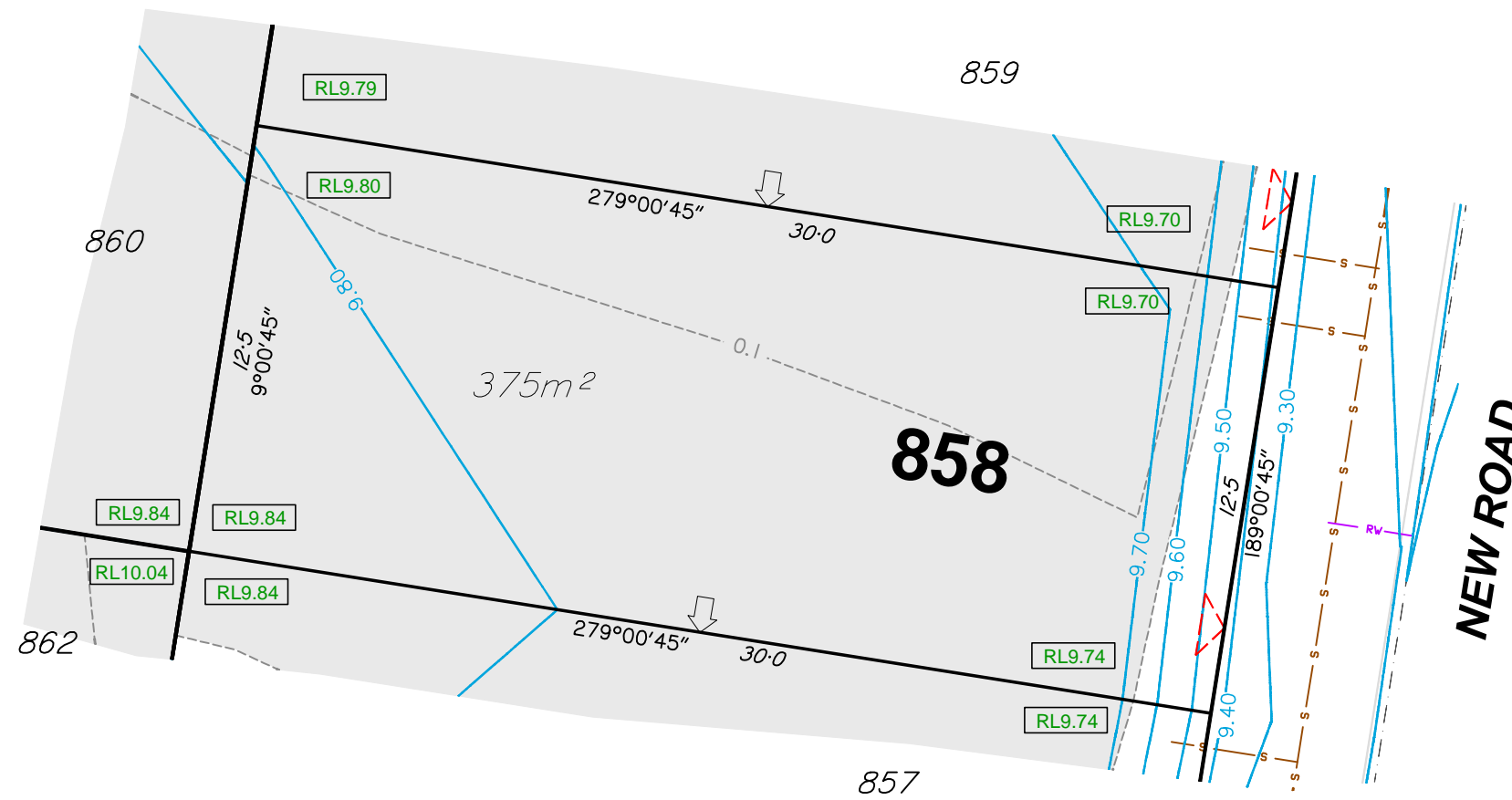
For Proposed Lot 858
Riverbank - Stage 7A

Currently Described As
RPD: Part of Lot 1008 on SP295506
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

Legend:

	46.0	Finished Surface Contours (0.1m Interval)
	1.0	Depth of Fill Contours (0.1m Interval)
		Easement Boundary
		Kerb Line
		Edge of Pad
		Sewer/Sewer Manhole
		Stormwater/Stormwater Manhole
		Stormwater Gully Trap
		Roofwater/Roofwater Pit
		Area to be Filled
		Design Pad Level
		Retaining Wall
		Retaining Wall Height Average Retaining Wall Height (Retaining Wall Heights shown on the lowerside of the wall)
		Proposed Driveway
		Zero Lot Line Boundary
		1.8m High Timber Acoustic Fence (Installed by Developer)

- Notes:**
- This note is an integral part of this plan.
 - Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017.
 - Location of retaining walls are indicative only. Site conditions will dictate construction limits to the material, location, length & thickness of these walls.
 - Builders shall not build off the design levels shown; a site survey is required.
 - Compaction of fill to be completed in accordance with AS3798-2007 under Level 1 supervision.
 - This plan has been prepared by Wolter Consulting Group Pty Ltd, Cadastral Surveyor to satisfy Section 11 of the Land Sales Act QLD 1984 (as amended).



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Scale 1:200 @A3


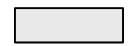
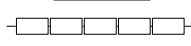


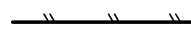
LEVEL DATUM
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DATE DRAWN 17-01-2018	DRAWING NO. SB3594-09-858	VERSION A
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DISCLOSURE PLAN

For Proposed Lot 859
Riverbank - Stage 7A

Currently Described As
RPD: Part of Lot 1008 on SP295506
Locality: Caboolture South
Local Authority: Moreton Bay Regional Council

- Legend:**
- 46.0 — Finished Surface Contours (0.1m Interval)
 - - - 1.0 - - - Depth of Fill Contours (0.1m Interval)
 - - - - - Easement Boundary
 - - - - - Kerb Line
 - - - - - Edge of Pad
 - s — s — Sewer/Sewer Manhole
 - sv — sv — Stormwater/Stormwater Manhole
 -  Stormwater Gully Trap
 - rv — rv — Roofwater/Roofwater Pit
 -  Area to be Filled
 - RL9.74 Design Pad Level
 -  Retaining Wall
 - RW
ARW Retaining Wall Height
Average Retaining Wall Height
(Retaining Wall Heights shown on the
lowerside of the wall)
 -  Proposed Driveway
 -  Zero Lot Line Boundary
 -  1.8m High Timber Acoustic Fence
(Installed by Developer)

- Notes:**
1. This note is an integral part of this plan.
 2. Finished surface contours, depth of fill contours, retaining wall details and proposed services provided by Calibre Consulting on 08-12-2017.
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Scale 1:200 @A3

LEVEL DATUM
AHD.

DATE DRAWN 17-01-2018 DRAWING NO. SB3594-09-859 VERSION A

