



vantage
design guidelines





Vantage, where clever and practical design meets relaxed



Vantage, home design guidelines

As Australians **our home is one of our most important assets**, and building or buying a new home is a big financial and lifestyle decision.

At **Vantage Gladstone (Vantage)** there is an opportunity to be part of a unique and affordable new community where our focus is on lifestyle, affordability and a secure investment for the future.

Our **home design guidelines** have been created to assist you in making informed decisions and maximising the value of your investment, while also contributing to the quality of the estate as a whole.

These guidelines provide:

- 1 A Lifestyle Checklist with a series of questions to ask yourself and your builder to ensure that you maximise the potential for your new home
- 2 Pre-Approved materials and colour palettes
- 3 Details of the Vantage mandatory building requirements necessary to achieve approval
- 4 A Design Approval Checklist to assist you in meeting the criteria

open air living

Vantage, Lifestyle Checklist

By building at Vantage you will have the edge over other communities, not just because of our dedication to a high standard of housing and landscape throughout the estate, but our commitment to homes that respond to the Queensland climate and laidback lifestyle.

Our experts have carefully compiled a **Lifestyle Checklist** to assist you in identifying the key design details which can greatly improve the liveability and attractiveness of your new home, and thus maximise the value of every dollar you spend.

Our Lifestyle Checklist will help your new home at Vantage :

- 1 Feel comfortable and spacious **inside**
- 2 Look its best on the **outside**
- 3 Add value to your property with functional **gardens and yards**
- 4 Contribute to a **safe and desirable street**



How will your home shape up?

Tally your score from the Lifestyle Checklist.

Score: Below 12

There are some adjustments you can make in your home design and choice of materials that will greatly improve the comfort, energy efficiency and attractiveness of your new home.

Talk to your builder about the things that are most important to you, and remember at Vantage you have a unique opportunity to create a home that reflects and compliments the beautiful locality and surrounds.

Score: 13-16

You are well on your way to creating an attractive and functional home. Have a look back through these guidelines and then talk to your builder about what you can do to achieve the very best energy saving, functional and aesthetic outcome for your home.

Score: 17-20

Lifestyle is important to you and you want your home to reflect your values with quality design, energy efficiency and functionality. You know that spending a little time and money now to ensure your home is energy efficient and constructed from quality materials, will save you lots of time and money in the future.

Total Score: out of 20





At Vantage your home will be comfortable year round



LIFESTYLE CHECKLIST - INTERIOR COMFORT

1 In the Queensland climate, solar awareness is an important factor of internal comfort in your home. To keep your home cool in summer and warm in winter, your living areas should be located in the north and eastern areas of your house and adjoin covered outdoor living areas for alfresco dining and relaxation.

2 Light colours and light-weight materials for your roof and external walls will reduce heat absorption into your home in summer, keeping your home comfortable and cool.

3 Reduce the cost and dependence on electric lighting and air conditioning with large windows on the north and east walls and an open-plan internal layout for maximum natural light and ventilation.

4 Wide eaves and high ceilings will keep your home feeling spacious and cool.

5 Contemporary, natural and semi-transparent screens will provide attractive sun shading on west facing windows that receive hot afternoon sun.

Score: out of 5



LIFESTYLE CHECKLIST - FRONT FACADE & EXTERIOR

1

Queensland has a unique architectural character suited to our climate. Your home should adopt modern elements of the classic Queenslander such as a front deck, colorbond roof or external timber / lightweight cladding.

2

Your home's front facade is the face of your home and should be appealing and welcoming. The most appealing facades will include articulation, incorporate 2-4 colours and textures in complimentary shades and tones, and simple understated garage doors.

3

A modern, contemporary roof with a low pitch, wide eaves, and constructed from light-weight materials and complimentary colour to your facade will make your home look larger.

4

Windows should be prominent within your front facade. External window framing in white, in combination with light-coloured internal screens or blinds, is an easy way to make front windows appear larger. Security screens where visible from the street should be discreet.

Score: out of 4



At Vantage



your home will reflect a modern Queensland character



At Vantage your gardens will compliment and add real value to

LIFESTYLE CHECKLIST - GARDENS & YARDS

- 1 Make the most of your land at Vantage by creating a variety of outdoor spaces that compliment your home and your lifestyle. Your side and rear yards should support functional uses, play and relaxation spaces, and your front yard should be attractive and encourage neighbourhood interaction and surveillance to the street.
- 2 Clever landscaping and the positioning of shade trees or a prominent feature plant in your front yard can greatly improve both the aesthetics and the value of your home.
- 3 Invest in mature trees and plants (minimum pot dimension of 300mm) that will be hardy, drought-tolerant and quickly establish an attractive street presence.
- 4 For low maintenance front yards, establish garden beds that cover up to 50% of your yard, limiting turf areas.
- 5 Locate trees and screening bushes along your front boundary or at least 3m from your house to provide privacy in your front yard without restricting external views and breezes.

Score: out of 5



your home

LIFESTYLE CHECKLIST - STREETScape

1 Your home will utilise a palette of colours and materials complimentary to your neighbours, but not be identical to any other home in your street.

2 An optional built to boundary wall, to facilitate side access to your property for your boat or trailer, allows your home to accommodate your lifestyle choice without compromising an attractive street presence.

3 A front balcony, deck or large windows on your home will facilitate passive surveillance for a safe street.

4 Your front garage doors should be set back behind living areas or shaded by an overhead balcony to reduce the visual impact of the garage to the street.

5 Your driveway and letterbox should be constructed from contemporary materials in classic design for a consistent streetscape.

6 A front porch or portico will provide definition and weather protection for your front door and entry.

Score: out of 6





At Vantage your home will contribute to a desirable street

PEET | *Estates*

Vantage, design approval procedure



Submission of working drawings

Before you (or your builder) applies for a building approval from your certifier and prior to works commencing upon the land, final working drawings and specifications must be submitted to the Vantage Design Review Committee (VDRC) for its approval. These final working drawings must be identical to those which are to be lodged with your certifier.

Information required

The final working drawings, in addition to the usual detailed requirements, must show documented particulars of all information required for the VDRC to assess the design, as outlined below:

A - Site Plan (min scale 1:200) showing:

- Existing contours - at 500 millimetres vertical intervals;
- Excavation, fill & areas;
- Retaining walls - location, extent, height, materials, and colours;
- Drainage of the land;
- Trees to be removed or retained;
- Driveway location and finish;
- Fencing - extent, location and type;
- Swimming pools - proposed location; and
- All setbacks dimensioned and in the location of the main dwelling on the land.

B - Floor Plans (min scale 1:100) :

- Internal layouts;
- Floor area calculations;
- Living area;
- Garage area;
- Porch area;
- Alfresco area; and
- Proposed floor levels.

C - Elevations (min scale 1:100) :

- Show finished ground levels (FGL);
- Materials for external walls and roofing; and include footing details.
- Roof Pitch; and
- Size of eave overhang.

D - All ancillary structures including fences, retaining walls, gazebos, sheds, etc.:

- Located on site plan.

E - Application Form incorporating Colour and Material selections for:

- External finishes - face brick and render paint (for bagged/rendered walls);
- Roof and gutter;
- Garage doors;
- Front doors;
- Window frames;
- Cladding Secondary;
- Driveway;
- Letterbox;
- Rainwater Tank.

Non conforming designs

Although these building design guidelines have been prepared to give you a starting point in selecting or designing your home to a reasonable standard to fit the character of the estate, we understand that you may have a creative vision for your home that does not fit within the confines of these guidelines in some instances yet still achieves the desired overall character. In order to ensure that we do not discourage architecturally designed and individual homes that are visually attractive, the VDRC may approve homes on an individual basis that do not meet the standard criteria but which convey a high level of character.

If you wish to submit a non-conforming design, it is suggested that a concept sketch be lodged to the VDRC prior to finalising the design to get feedback on the concept. Although this stage is not essential, it is recommended to minimise design costs should any changes be required. When lodging the final design package (refer "Information Required") a section on the application sheet requires details of the non-conforming design, what measures have been taken to ensure that the standards are being upheld or improved, and reasons why this home will add character to the overall estate. Where colour selections or materials differ from the pre-approved pallet you must provide a colour sample (all external colours) of the selection for the VDRC to assess.

All non-conforming designs will be assessed on their own merit, and the VDRC reserve the right to approve or decline any non-conforming design as they deem fit for the estate as a whole.

Approval advice

The VDRC shall advise approval of the final working drawings within 15 business days following receipt thereof OR require that you amend them to comply with the building guidelines and approved concept drawings. The VDRC shall indicate its approval or otherwise within 5 business days after receiving any required amendments.

Vantage Design Approval Checklist

All dwellings must comply with these covenants, however consideration may be given to dwellings that display exceptional architectural design merit, and addresses the intent of these covenants and/or reflects contemporary Queensland architecture.

All dwellings or other structures must comply with the applicable character control plan.

Site Planning

Buildings are a maximum of two storeys.

Buildings are a maximum height of 8.5 metres when measured from ground level* to the highest point of the wall or roof.

The building footprint does not exceed 50% of the allotment area.

Buildings comply with front facade and floor area requirements set out for the specific allotment in Table 1 (below).

Allotment Type	Front Facade length	Floor Area (minimum, incl. garage)
Courtyard (15.0m frontage)	Min. 75% of lot frontage	160m ²
Traditional (20.0m frontage)	Min. 75% of lot frontage	180m ²

table 1: minimum floor area and front facade length

* Please refer to Notes for ground level definition

Buildings comply with setbacks set out for specific allotments in Table 2.

	Courtyard Allotments 450-599m ² 15m Frontage		Traditional Allotments 600m ² + 20m Frontage	
	Ground Floor	First Floor	Ground Floor	First Floor
Front Boundary - Living Area	3.0m	3.0m	6.0m*	6.0m*
Front Boundary - Garage	5.5m	3.0m	6.0m	6.0m*
Rear Boundary	3.0m	3.0m	1.5m	2.0m
Corner Lots (Secondary Frontage)	3.0m	3.0m	4.5m	4.5m
Side Boundary Built to Boundary Wall	0.0m (nominal)	1.5m	0.0m (nominal)	1.5m
Non Built to Boundary Wall	1.5m	2.0m	1.5m	2.0m
Garage Location	Along built to boundary wall where appropriate		Along built to boundary wall where appropriate.	
On-site parking requirements	1 space to be covered and enclosed. Requires 2 on-site parking spaces.		1 space to be covered and enclosed. Requires 2 on-site parking spaces.	

table 2 : allotment setbacks table

*Large allotments which adjoin a courtyard allotment are permitted to have a reduced setback of 4.5 metres.

Site Planning

All built to boundary walls comply with the following requirements (please refer to figure 1 and 2):

- A zero lot line tolerance of 0.2 metres is permitted to facilitate a gutter overhang parallel to the wall. If this tolerance is not utilised, no fencing to the boundary is permitted for that length of the wall;
- No windows are permitted to the built to boundary wall;
- The maximum permissible height of the built to boundary wall is 3.5 metres when measured from ground level to the highest point of the wall or roof; and
- The maximum length of the built to boundary wall is 50% of the boundary length.

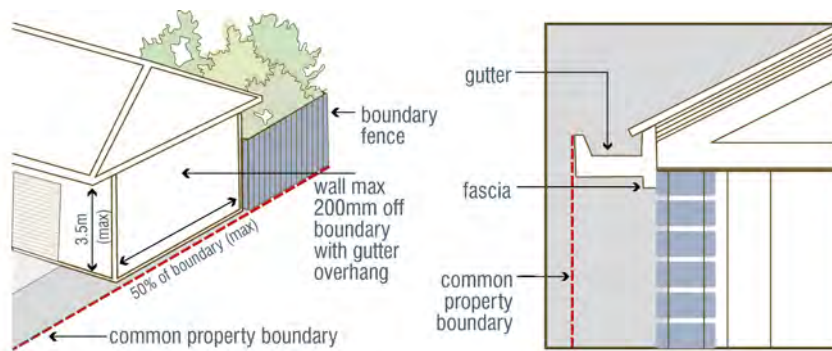


figure 1 & 2 : built to boundary wall diagrams

Private Open Space

All dwellings incorporate a private open space within the allotment that (please refer to figure 3):

- Has a minimum combined total area of 80 metres² in size;
- Has all dimensions greater than 2.5 metres; and
- Is able to contain a circle with a diameter of 5.0 metres.

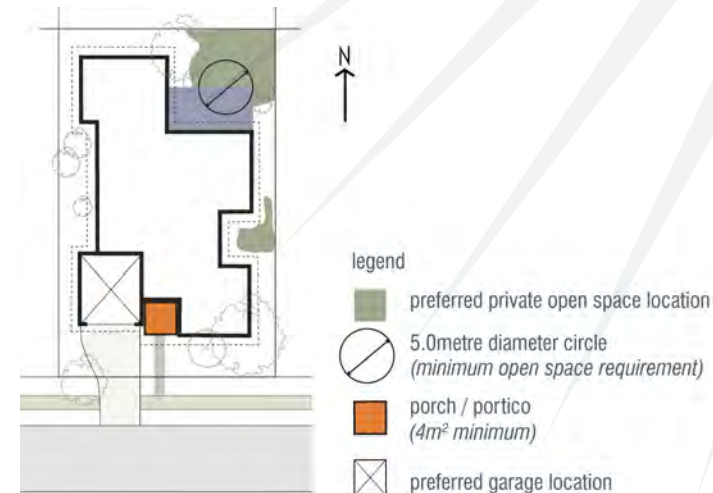


figure 3 : preferred private open space location and dimensions

Letterboxes

All letterboxes must be consistent with the approved specified letterboxes within Appendix E, and be constructed in conjunction with the driveway.

Fencing & Retaining Walls

All fences must be constructed of one of the approved fencing design options, Appendix F.

No side boundary fencing is to be forward of the building line of the dwelling house except for privacy around outdoor living spaces when located in the front yard (or side yard in the case of corner lots) or privacy and safety (eg. around swimming pools).

Fencing in the front yard is to be:

- No more than 60% of the front boundary length; and
- No more than 1.5 metres high and includes articulation and perforation approved by Peet Vantage.

All retaining walls where required must:

- Be constructed in accordance with Council Regulations;
- Be a maximum of 1.0 metre in height unless designed by a qualified engineer;
- Be constructed from concrete sleeper, concrete block, split faced masonry or boulders*; and
- When visible from the street, be screened with appropriate landscaping to minimise visual impact.

*The use of timber retaining walls may be permitted behind the building line only and where not visible from the street. The use of timber retaining walls is subject to the review of Peet Vantage.

Roofs, Eaves & Guttering

Roofs are constructed of low profile/flat glazed concrete roof tiles or Colorbond profiled metal roofing. Galvanised steel may also be permitted where it is not visible from the street.

The colour of all roofs, gutters and fascia must be a colour which is listed in the Vantage Roof Palette, Appendix A, or a similar colour regardless of whatever product name by which it may be identified and must not be more than a combination of two of those colours.

All roofs are either:

- A pitch roof (hip or gable) with a minimum pitch of 20 degrees and a preferred pitch of 22.5 degrees when constructed from tiles;
- A skillion roof with a maximum pitch of 15 degrees for a primary roof pitch and 5 degrees for a secondary roof pitch; OR
- A parapeted roof.

70% of the total fascia length of the roof has an eave overhang with a minimum eave of 450 millimetres, and in the case of traditional Queensland style dwelling houses, window hoods are permitted instead of eaves.

All guttering visible from the street is colour matched to the roof.

No external plumbing (waste pipes and fitting but not including down pipes and guttering) is to be visible from the street.

All downpipes visible from the street are colour matched or consistent in colour with the facade.

approval checklist

Porches, Porticos and Stairs

A functional front porch or portico which has a minimum floor area covered by the roof (not including the area of the roof/eaves which extend past the building pad) of 4 metres² and a preferred area of 6 metres² and a dimension of not less than 1.5 metres except for traditional Queensland style dwelling houses which must have a verandah to a minimum width of 1.8 metres.

Any stairs visible from the street must compliment the facade of the building and be constructed from a similar palette of materials and/or colours.

Screening

All elevated or two storey dwellings have adequate and attractive screening of all windows, openings and balconies, including:

- Screening of ground floor windows and openings by fencing or dense landscaping of a maximum 1.8 metres in height of all side and rear boundaries; and
- Screening of first floor windows when closer than 2 metres to a boundary and are overlooking an existing or proposed window of an adjacent dwelling.

All exterior screening must be constructed from powder coated aluminium. Stained timber finish is not acceptable.

Garages

All dwellings have constructed at least one roofed garage capable of accommodating a minimum of one passenger vehicle. Garages may be in single, tandem or double configurations.

All garage doors are sectional and of a colour and material from the approved Vantage Garage Doors palette, Appendix C.

Driveways

The driveway on the lot is constructed from coloured concrete, pavers or exposed aggregate selected from the approved Vantage palette, refer Appendix D.

One driveway constructed for a lot.

Driveway must be constructed to comply with Local Authority Regulations and Queensland Development Code NMP 1.1 Driveways.

The driveway must extend from the kerb edge to the garage/carport, allowing for at least 400 millimetre screen planting between the driveway and the side boundaries.

Driveways must not be constructed of any plain, broom finished concrete, stamped driveways or car track style driveways.

Building Design - Colours & Materials

All primary external walls (excluding windows) are of either rendered, bagged and painted brick or face brick; OR

In the construction of 'Responsive Homes'** all primary walls can be constructed of a combination of rendered brick, bagged and painted brick, timber, cover strip finished fibre cement or other external cladding material approved by Peet Vantage. Corrugated Colorbond sheeting is acceptable as a secondary cladding only in these instances.

In the construction of a traditional Queensland style dwelling, all primary external walls (excluding windows) are timber.

The surface of the front facade* includes no less than two textures, excluding garage doors, windows, front door and porch accent detail and roof, and a maximum of four textures.

The surface of the front facade includes no less than two colours, excluding garage doors, windows, porch accent detail and roof, and a maximum of four colours.

Face brick when used as the primary external material covers no more than 70% of the surface of the front facade, excluding garage doors, front door and windows, and must not be used in combination with face brick as the secondary external cladding material.

A secondary external cladding of either timber, rendered brick, corrugated Colorbond sheeting, cover strip finished fibre cement blueboard, stone or face brick is included as an infill feature wall panel on the surface of the front facade. Colour to be selected from Appendix A; and

- Covers no more than 40% of the surface of the front facade if timber, for non-traditional Queensland style dwellings;
- Covers no more than 30% of the surface of the front facade if face brick;

* Please refer to figure 4, front facade definition.

** Please refer to notes for responsive home definition.

- Covers no more than 10% of the surface of the front facade if slim line or oversized bricks.

Traditional Queensland style dwelling houses have predominantly wide verandahs (to the front facade) with sheet cladding or timber cladding which must be a painted colour finish.

All front facade primary external face brick and secondary cladding infill face brick are selected from the approved Vantage Brick Palette, Appendix B (mottled bricks are not acceptable).

Brick mortar is coloured white, off white or blended to match the colour of the brick except where the front facade has a render or bag and paint finish with a minimum return of 1.0 metre to the side elevations, in which case natural mortar is permitted behind the building line.

All external surfaces are painted or coated (if required) prior to occupation.

All window fixtures are of brushed aluminium finish, stained timber, white, or colour matched to the front facade. No contrasting colours or black window fixtures are acceptable**.

** Black window fixtures may be acceptable when the dwelling displays exceptional architectural design merit and is approved by Peet Vantage.

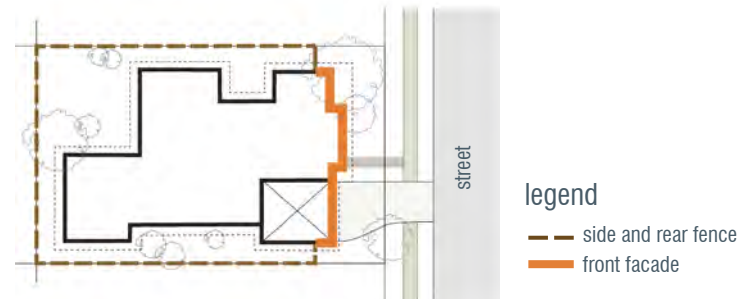


figure 4 : front facade is defined as the external face of all primary dwelling exterior walls and projections (including garage or carport) forward of the side fence line.

Notes:

Outbuildings

All outbuildings on an allotment (including any garage, workshop, garden shed, storage shed or other outbuilding) must:

- Not exceed 20 metre², unless the external walls of the outbuilding are constructed of consistent materials and colour to that of the dwelling house;
- Have a roof constructed of tile or non-reflective colour bonded type steel or any combination of those materials which is a similar or complimentary colour to that of the dwelling house; and
- Have a roof pitch of greater than 15 degrees or be consistent with the roof pitch of the dwelling house.

No outbuilding may be forward of the rear boundary building line.

All above ground rainwater tanks must be constructed of corrugated steel “colorbond”, “aquaplate” poly or equal material and consistent in colour.

Above ground rainwater tanks must be appropriately screened, and/or slim line for allotments backing onto open space, identified within the Character Control Plan.

Below ground rainwater tanks must be constructed from pre-coat concrete, poly or alternative material approved and fit for the purpose.

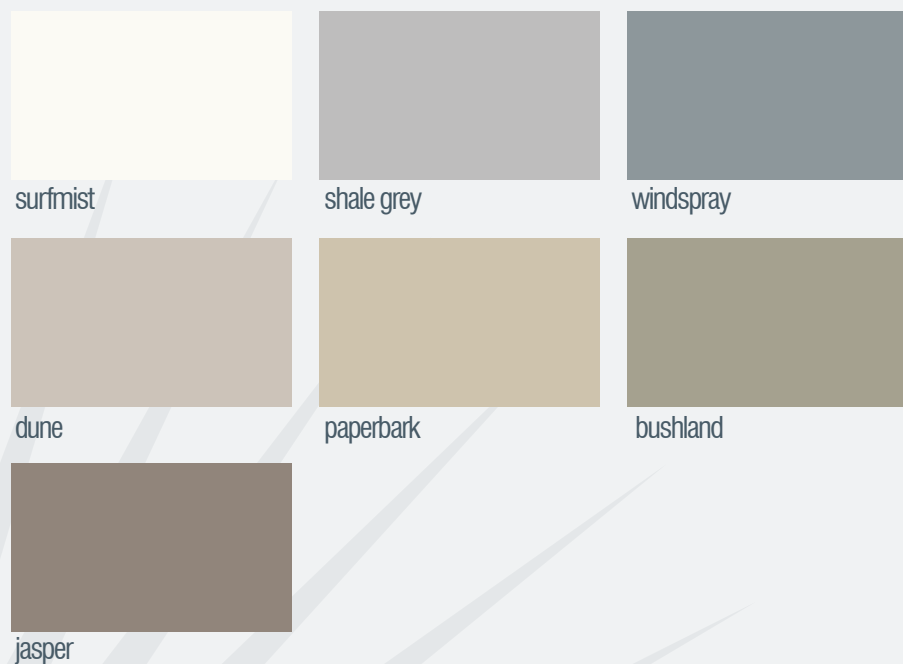
1. Setbacks are measured to the outermost projection;
2. For allotments under 600m² - front porticos may be located closer to the front property boundary than stated in Table 2, provided the portico is located not less than 3.0 metres from the front property boundary, the height of the portico does not exceed 4.5m², the portico remains open and not enclosed and the width of the portico is limited to the front entry only;
3. For allotments under 600m² - rear patios may be located closer to the rear property boundary than stated in the above Table 2, provided the patio is located not less than 1.5m² from the rear property boundary and the patio remains open and not enclosed; and
4. No driveway may be left incomplete or partly constructed after the issue of a final inspection approval for the dwelling house constructed on the lot.
5. Driveway construction requires minimal earth works and disturbance to existing surface features and have a maximum gradient to comply with the relevant Australian Standard and ensure that the finished surface level of the driveway is consistent with any existing footpath that it may cross.
6. Driveways where they pass across the nature strip must comply with Local Authority Guidelines and Australian Standards.
7. No clothes line and drying areas or part thereof to be visible from the street.
8. No play equipment, solar heaters, garden sheds, air conditioning units, fuel pumps, exposed plumbing pipes, antennas, satellite dishes or other similar structures to be permitted between the dwelling house and the street except for limited situations where swimming pools may be located and screened so that they are not highly visible to the street or other public space.
9. Landscaping to the front street view is not to be left incomplete for a period of more than three months after the date of issue of the final inspection approval for the dwelling house, or any boundary fencing left incomplete after the completion of the construction of the dwelling house.
10. All landscaping works to the lot must be in accordance with the landscaping provisions within the Home Design Guidelines.
11. Occupation of a lot is not permitted without privacy fencing to the side and rear boundaries to a maximum height of 1.8 metres as measured from the finished surface level and constructed to comply with the approved materials and specifications in Appendix F.
12. No removal or alteration of any side or rear fencing provided by Peet Vantage is permitted without the prior written consent of Peet Vantage and the adjoining property owner.
13. Exposed stumps are unacceptable for traditional Queensland style dwellings. These stumps must be covered by a timber skirt battens (100 millimetres wide by 15 millimetres deep at 50 millimetres apart) for single storey homes on stumps with attached garage on slab or single storey dwelling house on stumps on sloping land with garage/parking area underneath.
14. Ground level is defined as the surface level of the allotment at time of registration of the title.
15. A concrete pad capable of accomodating two standard refuse bins must be constructed behind the front building line. Appropriate access and screening is to be provided to ensure that bins are not visible from the street accept on collection day.
16. Responsive homes are those that are constructed on lots where the ground level has falls in any direction of 2.5m or greater, where no additional earthworks are undertaken during construction of the dwelling house.

APPENDIX A:

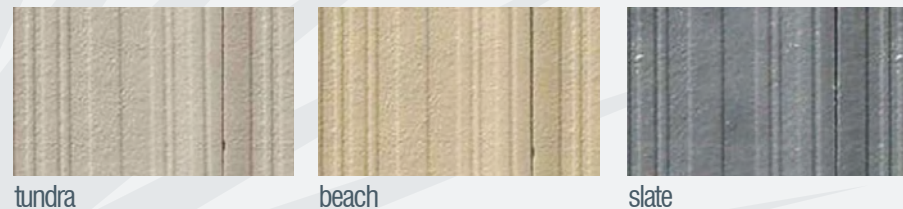
Roofs - approved colours palette

Roof colours from alternate suppliers are also allowed, however a colour photograph or sample must be provided with the application for review. In some instances a colour image of the front facade to review the colour selection in context may be required.

colorbond colours



roof tile colours



Colours source from <http://www.bluescopesteel.com.au> and <http://www.bristileroofting.com.au>

APPENDIX B:

Bricks - approved colours palette

Bricks from alternate suppliers are also allowed, however a colour photograph or sample must be provided with the application for review. In some instances a colour image of the front facade to review the colour selection in context may be required.

primary facade face brick

For no more than 50% of the surface of the front facade, excluding garage doors, front door and windows.

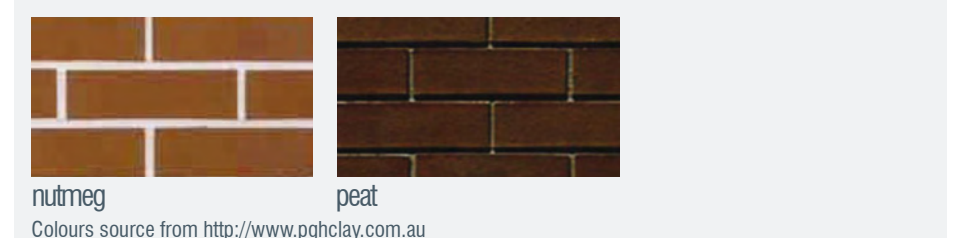
Below colours may be used as primary facade face brick, or infill feature face brick.



secondary external cladding / in-fill feature

Must not be used when face brick is the primary facade material.

Additional colours for secondary external cladding/infill feature only, may not be used as primary facade face brick.



Colours source from <http://www.pghclay.com.au>

approval checklist

APPENDIX C:

Garage Doors - approved colours palette

Garage door colours from alternate suppliers are also allowed, however a colour photograph or sample must be provided with the application for review. In some instances a colour image of the front facade to review the colour selection in context may be required.

colours



timber-grain



Colours source from <http://www.bnd.com.au>

APPENDIX D:

Driveways (coloured concrete or pavers) - approved colour palette

Colours from alternate suppliers are also allowed, however a colour photograph or sample must be provided with the application for review. In some instances a colour image of the front facade to review the colour selection in context may be required.

colours

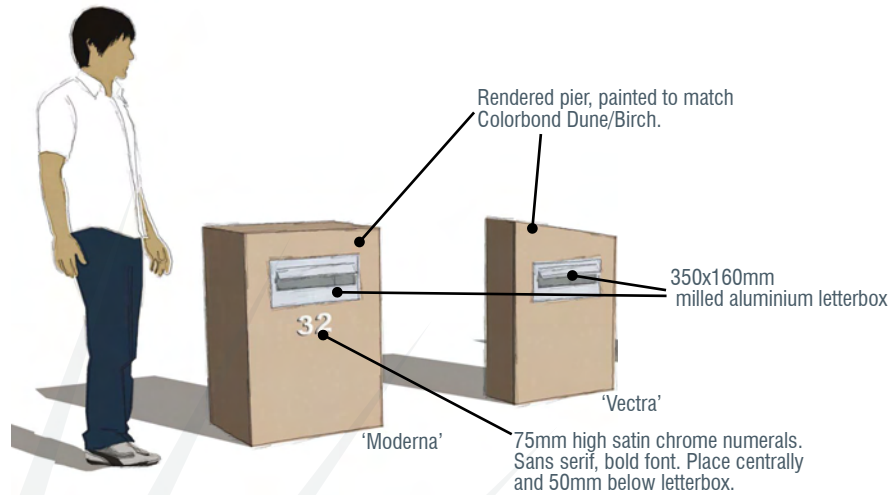


Colours source from <http://www.boral.com.au> - Aggregate source <http://www.boral.com.au> & <http://www.hansoncm.biz>

APPENDIX E:

Letterboxes - approved specifications

Masonry and synthetic piers constructed to match the following specifications are acceptable at Vantage. There are two styles of letterboxes that are suitable.



The following product examples comply with the guidelines:

NUMERALS: MailMaster NN 434 75 millimetres Satin Chrome numerals (Refer http://www.mailmaster.biz/catalog/brass-chrome-letterboxes-numerals-letters-c-30_38.html)

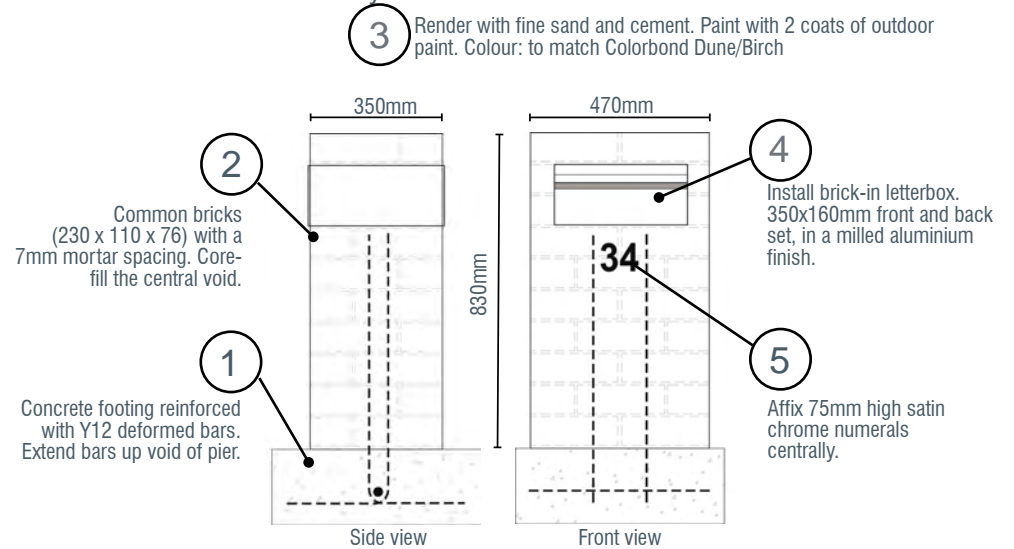
BRICK-IN LETTERBOX: MailMaster350x160 millimetres Front and Back Set. Milled Aluminium. (Refer <http://www.mailmaster.biz/catalog/front-back-p-83.html>)

SYNTHETIC PIER: 'Moderna' architectural mailbox from MailMaster (Refer <http://www.mailmaster.biz/catalog/9-moderna-p-578.html>) OR 'Vectra' architectural mailbox from Mailmaster (Refer <http://www.mailmaster.biz/catalog/91-vectra-p-579.html>).

MailMaster letterboxes can be ordered online or by phone (1300 794 555). They can arrange delivery, ready for you to install yourself, or ask about their installation service.

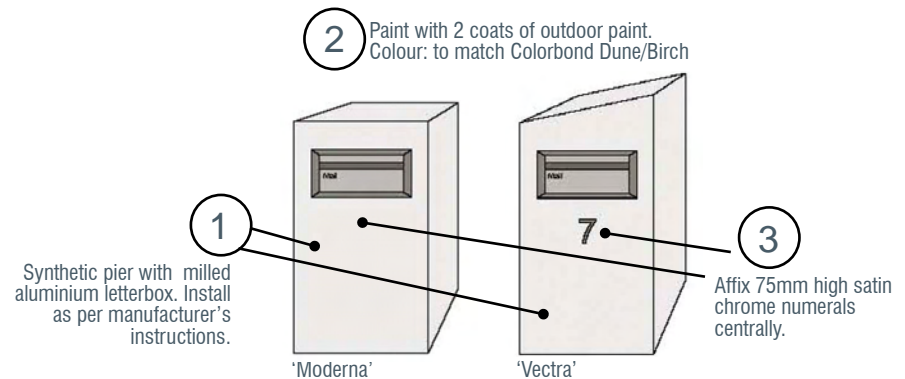
MASONRY PIER LETTERBOX

Construct your own letterbox out of bricks and mortar, or have your builder construct it for you:



SYNTHETIC PIER LETTERBOX

Lightweight synthetic piers are available for purchase with easy installation instructions. They come pre-rendered and with the letterbox already fitted, all you need to do is paint and affix house numbers.



APPENDIX F:

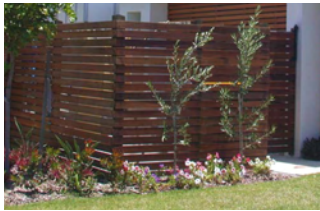
Front Fencing - approved palette



Type One: Solid rendered masonry options

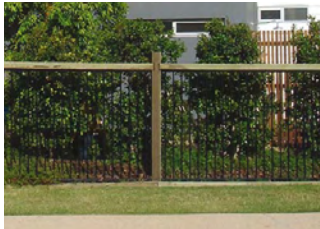
Rendered, stone faced or an alternative approved by Peet Vantage.

All solid fencing options along the front boundary shall be designed to incorporate articulation of materials and perforation, to be approved by Peet Vantage.



Type Two: Timber

Timber fence with dressed post and capping rail and rough sawn pailings to one side.



Type Three: Timber with infill 'pool' fencing

Dressed timber fence frame (posts and capping rail) with infill of black powder coated pool fencing.



Type Four: Alternative Timber

Alternative dressed timber fence that reflects the dwelling design, to be approved by Peet Vantage.



Type Five: Alternative Materials

Appropriately detailed glass and /or glass infill, to be approved by Peet Vantage.

Side & Rear Fencing - approved specifications



Type Six: Standard Timber

Timber fence with rough saw pailings on one side only to a maximum height of 1800 millimetres measured from the ground level.

If the fence adjoins a park, water or open space, it shall be of Type 3 design only (dressed timber fence frame with infill of black powder coated pool fencing) and must graduate in height to meet the existing fence, as illustrated in figure 5 & 6.

Fencing shall be predominantly screened with landscape planting when visible from the street.

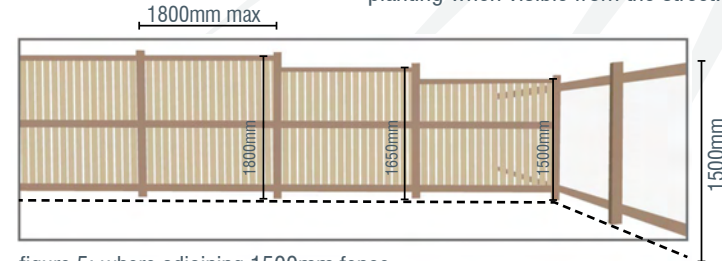


figure 5: where adjoining 1500mm fence

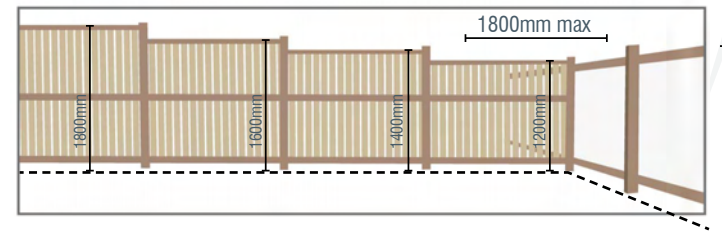


figure 6: where adjoining 1200mm fence



Type Seven: Colorbond

Colorbond Metal to a maximum height of 1800mm. Colours are to be from the approved Colorbond palette range indicated in Appendix A - Roofs.

APPENDIX G: Vantage Planting Schedule

	Botanical Names	Common Names
NATIVE/ BUSHLAND Trees	BACKHOUSIA citriodora BANKSIA integrifolia CALLISTEMON salignus CUPANIOPSIS anacardioides EUCALYPTUS ptychocarpa MELALEUCA leucadendron	Lemon-scented Myrtle Coastal Banksia Willow Bottlebrush Tuckeroo Spring Bloodwood Broad-leaved Paper Bark
NATIVE/ BUSHLAND Shrubs/Ground Covers	AUSTROMYRTUS dulcis BAECKEA virgata 'Miniature' BANKSIA robur CALLISTEMON 'Captain Cook' CALLISTEMON 'Little John' CALLISTEMON pachyphyllus CAREX appressa DIANELLA 'Little Jess' DIANELLA revoluta ERIOSTEMON myoporoides HELICHRYSUM ramosissimum LEPTOSPERMUM 'Pacific Beauty' LOMANDRA hystrix 'Katie Bells' LOMANDRA longifolia LOMANDRA 'Tanika' LOMANDRA 'Wingarra' MELALEUCA thymifolia PATERSONIA sericea POA labillardieri SYZYGIUM 'Tiny Trev' THEMEDA triandra WESTRINGIA fruticosa WESTRINGIA fruticosa 'Wynyabbie Gem' XANTHORRHOEA SP	Midgen Berry Miniature Baeckea Swamp Banksia Bottlebrush Dwarf Bottlebrush Wallum Bottlebrush Tall Sedge Blue Flax-Lily Blue Flax-Lily Long-leaf Waxflower Yellow Buttons Tea Tree Mat Rush Mat Rush Mat Rush Mat Rush Thyme-leaf Honey-myrtle Silky Purple Flag Tussock Grass Dwarf Lilly Pilly Kangaroo Grass Native Rosemary Native Rosemary Grass Tree
CONTEMPORARY Trees	ELAEOCARPUS 'eumundii' ELAEOCARPUS reticulatus 'Prima Donna' CALLISTEMON salignus PLUMERIA obtusa WATERHOUSEA floribunda	Quondong Blue Berry Ash Pandanus Evergreen Frangipani Weeping Lilly Pilly

	Botanical Names	Common Names
CONTEMPORARY Shrubs/Ground Covers	ALCANTAREA imperialis 'Rubra' ASPLENIUM australasicum BAMBUSA textilis 'Gracillis' CARPOBROTUS glaucescens CRINUM pedunculatum CYCAS revoluta DIETIES bicolor DORYANTHES excelsa DRACAENA marginata FURCRAEA foetida KALANCHOE thyrsiflora 'Flap Jack' LIRIOPE "Evergreen Giant" LIRIOPE "Stripey White" LOMANDRA 'Wingarra' LOMANDRA 'Tanika' MAGNOLIA grandiflora 'Little Gem' OPHIPOGON planiscapus nigrescens OPHIPOGON japonicus RHOE O spathacea STRELITZIA reginae TRACHELOSPERMUM jasminoides TRACHELOSPERMUM jasminoides 'Tricolour' VIOLA hederacea XANTHORREA australis YUCCA elephantipes ZAMIA furfuracea ZOYSIA tenuifolia	Giant Bromeliad Birds Nest Fern Slender Weavers Bamboo Pig Face Swamp Lily Sago Palm Spanish Iris Gymea Lily Madagascar Dragon Tree Mauritius Hemp Kalanchoe Flapjack Giant Liriope Variegated Liriope Mat Rush Mat Rush Magnolia Little Gem Black Mondo Grass Mondo Grass Moses in the Cradle Bird of Paradise Chinese Star Jasmine Variegated Star Jasmine Native Violet Grass Tree Yucca Cardboard Plant No-mow Grass
SUBTROPICAL Trees	ACMENA smithii HARPULLIA pendula PLUMERIA obtusa SYZYGIUM oleosum SYZYGIUM tierneyanum WATERHOUSEA floribunda XANTHOSTEMON chrysanthus	Lilly Pilly Tulipwood Evergreen Frangipani Blue Lilly Pilly River Cherry Weeping Lilly Pilly Golden Penda

approval checklist

	Botanical Names	Common Names
SUBTROPICAL Shrubs/Ground Covers	ALCANTAREA imperialis 'Rubra'	Giant Bromeliad
	ALPINIA caerulea	Native Ginger
	ALPINIA zerumbet	Native Ginger
	ALPINIA zerumbet 'Variegata'	Variegated Native Ginger
	ASPLENIUM australasicum	Birds Nest Fern
	CHAMAEDOREA elegans	Parlour Palm
	CISSUS hypoglauca	Native Grape
	CORDYLINE 'Negra'	Palm Lily
	CORDYLINE 'Rubra'	Palm Lily
	CORDYLINE petiolaris	Palm Lily
	CRINUM pedunculatum	Swamp lily
	CYCAS media	Cycas
	DORYANTHES excelsa	Gynea Lily
	HELICONIA rostrata	Lobster Claw
	HYMENOCALLIS littoralis	Spider Lily
	IXORA chinensis 'Prince of Orange'	Ixora
	METROSIDEROS 'Fiji Fire'	Fiji Christmas Bush
	MICHELIA figo	Port Wine Magnolia
	MYOPORUM parvifolium	Creeping Boobialla
	NEOREGELIA compacta	Blushing Bromeliad
PHILODENDRON martianum	Philodendron	
PHILODENDRON 'Xanadu'	Philodendron	
PHYLLANTHUS multiflorus	Phyllanthus	
PITTOSPORUM tobira 'Miss Muffet'	Dwarf Pittosporum	
RHOEO spathacea	Moses in the Cradle	
STRELITZIA reginae	Bird of Paradise	
STRELITZIA nicolai	Giant Bird of Paradise	
SYZYGIUM 'Elite'	Dwarf Magenta Cherry	
SYZYGIUM 'Tiny Trev'	Lilly Pilly Tiny Trev	
VIOLA hederacea	Native Violet	
FORMAL Trees	ELAEOCARPUS 'eumundii'	Quondong
	ELAEOCARPUS reticulatus 'Prima Donna'	Blue Berry Ash
	LAGERSTROEMIA speciosa	Queen's Crape Myrtle
	TABEBUIA argentea	Silver Trumpet Tree
	WATERHOUSEA floribunda	Weeping Lilly Pilly

	Botanical Names	Common Names
FORMAL Shrubs/Ground Covers	CYCAS revoluta	Sago Palm
	ERIGERON karvinskianus	Seaside Daisy
	GARDENIA radicans	Daisy Gardenia
	GARDENIA florida	Florist's Gardenia
	HELICHRYSUM ramosissimum	Yellow Buttons
	IXORA chinensis 'Prince of Orange'	Ixora
	LIRIOPE "Stripey White"	Variegated Liriope
	MAGNOLIA grandiflora 'Little Gem'	Magnolia Little Gem
	MICHELIA figo	Port Wine Magnolia
	MURRAYA paniculata	Mock Orange/Orange Jasmine
	MYOPORUM parvifolium	Creeping Boobialla
	NANDINA domestica 'Nana'	Dwarf Sacred Bamboo
	SYZYGIUM 'Aussie Compact'	Compact Lilly Pilly
	SYZYGIUM 'Elite'	Dwarf Magenta Cherry
	SYZYGIUM 'Tiny Trev'	Lilly Pilly Tiny Trev
	TRACHELOSPERMUM jasminoides	Chinese Star Jasmine
	TRACHELOSPERMUM jasminoides 'Tricolour'	Variegated Star Jasmine
VIOLA hederacea	Native Violet	



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