

# Local Development Plan R-Code Variations

## 1 OVERVIEW

- 1.1 The objectives of this LDP are to improve building design flexibility for these moderate sized lots, and identify R-Codes criteria that requires modification.
- 1.2 These provisions increase development opportunities, allowing an increased dwelling footprint and opportunity to economise construction costs.
- 1.3 Specific streetscape and public realm building considerations are identified (where necessary) to ensure a strong neighbourhood character is achieved for all.

## 2 SCHEME AND RESIDENTIAL DESIGN CODE VARIATIONS

- 2.1 Planning approval is not required for the erection of a single house on lots smaller than 260m<sup>2</sup>.
- 2.2 Where variations to the provisions of the Local Development Plan (LDP) and R-Codes are sought, an approval through a Codes Variation Application will be required.
- 2.3 The requirements to consult with adjoining or other land owners to achieve a variation to the R-Codes described in this LDP are not required where the design complies with the following criteria.

## 3 STREETScape AND SETBACK REQUIREMENTS

R25/R30 Lots			
Criteria	Location	Minimum	Requirements
Primary Street	All lots, except 402-403, 406-407, 425-431, 474-476 and 480-483	3.0m	• This is an absolute minimum.
	Lots 402-403, 406-407, 425-431, 474-476 and 480-483	2.0m	
Secondary Street	All lots	1.0m	• This is an absolute minimum.
Public Open Space	Lots 425-427, 429-431 and 474-476	3.0m	• Averaging permitted (as per R-Codes)
	Lot 477 – side boundary	1.5m	
Side boundary (other than Secondary Street and POS)	All lots	Nil	• One side boundary only. • Maximum total length determined by front and rear setbacks.
Garage	All lots	As per R-Codes	• 14% maximum driveway grade permitted. • Garage setback or finished floor level shall be adjusted accordingly.
Rear Boundary	Lots 389-420	1.0m	• This is an absolute minimum.

R40 Lots			
Criteria	Location	Minimum	Requirements
Primary Street	Lots 396-399	3.0m	• This is an absolute minimum.
	Lots 363, 379-380, 400-401 and 421-424	2.0m	
Secondary Street	All lots	1.0m	• This is an absolute minimum.
Side boundary (other than Secondary Street and POS)	Lots 379-380, 396-399 and 400-401	Nil	• One side boundary only. • Maximum total length determined by front and rear setbacks. • Both side boundaries (except Lot 363). • Permitted to all levels. • Maximum total length determined by front and rear setbacks.
	Lots 363 and 421-424		
Public Open Space	Lot 363 – side boundary	1.5m	• This is an absolute minimum.
Garage	All lots	As per R-Codes	• 14% maximum driveway grade permitted. • Garage setback or finished floor level shall be adjusted accordingly.

- 3.1 For lots 425-427, 429-431 and 474-477, the major entry and primary facade of the dwelling shall be oriented towards the adjoining road.
- 3.2 For lots 381-388 the major entry and primary orientation of the dwelling shall be oriented towards Road 3. Dwellings shall have one or more major opening(s) to a habitable room and an outdoor living area facing Road 1.
- 3.3 For lots 425-427, 429-431 and 474-477, dwellings shall have one or more major opening(s) to a habitable room and an outdoor living area facing and allowing an unobstructed view of the POS.
- 3.5 For lot 363, the dwelling shall have one or more major opening(s) to a habitable room facing and allowing an unobstructed view of the POS
- 3.6 For all corner lots, the dwelling shall include at least one habitable room major opening with a clear view of the Secondary Street (not applicable to laneways) and must not be obscured by visually impermeable fencing.
- 3.7 Where front fencing is not supplied by the Developer and is deemed necessary, the fence is limited to a maximum height of 1.2 metres.
- 3.8 Where visually permeable fencing is supplied by the Developer and is deemed necessary, the fence shall not be altered or be obscured.

## 4 OPEN SPACE REQUIREMENTS

Location	Minimum	Requirements
R25 and R30 lots, except lots 402-403, 406, 425-431, 474-475 and 480-483	40%	• No dimension of the Outdoor Living Area (OLA) shall be less than 4m.
Lots 402-403, 406, 425-431, 474-475 and 480-483	35%	• No dimension of the Outdoor Living Area (OLA) shall be less than 4m.
	35%	• Unless varied below.
R40 Lots	30%	• Permitted where OLA minimum area is 24m <sup>2</sup> and minimum size is 4m x 6m.

- 4.1 An unenclosed balcony (roofed or open) with an area of 10m<sup>2</sup> or greater can be included as part of the minimum open space calculation.
- 4.2 Outdoor living areas are permitted to be located within the front setback area and shall be constructed to maintain surveillance and activation of the adjoining streetscape.

## 5 DESIGN FOR CLIMATE REQUIREMENTS

- 5.1 Lots on this LDP are exempt from R-Codes provisions determining solar access for adjoining sites.

## 6 INCIDENTAL DEVELOPMENT REQUIREMENTS

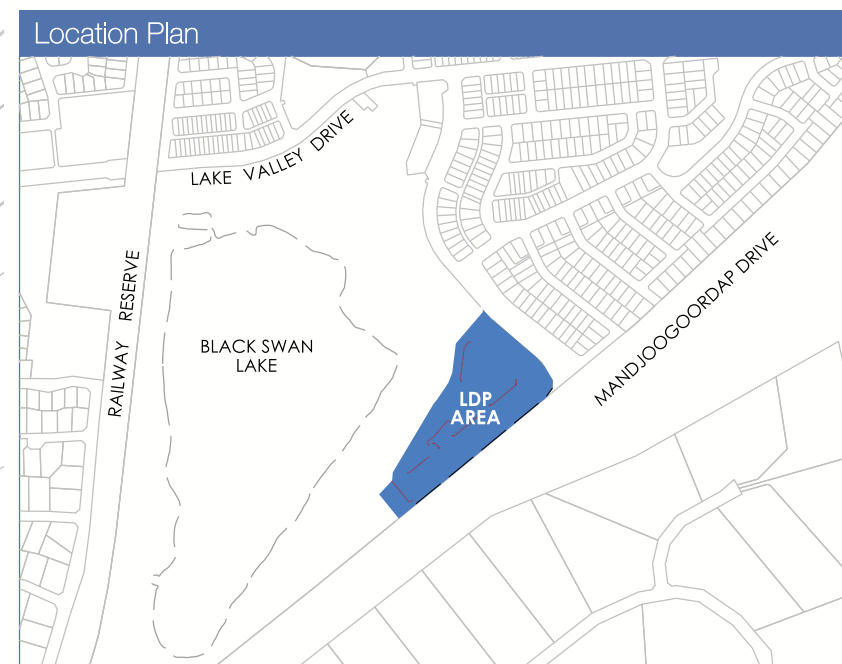
- 6.1 Where outbuildings are proposed, they must be designed and constructed from materials to match or compliment the dwelling when visible from the public realm (POS and street, but not a laneway).
- 6.2 The Buyer in consultation with their builder to accommodate drainage onsite for each dwelling as per BCA standards.

## Legend

- Extent of Local Development Plan
- R40 Subject Lots
- R30 Subject Lots
- R25 Subject Lots
- 3m Primary Street Setback
- 2m Primary Street Setback
- Designated Garage Location
- Visually Permeable Fencing (by developer)
- No Vehicle Access Permitted
- Dwelling Orientation



**FILE REF: DAP 61**  
**COUNCIL APPROVED**  
**DATE 24 / 03 / 2016**



**LOCAL DEVELOPMENT PLAN - STAGE 64**  
 Lakelands, Mandurah  
 A Peet Mandurah Syndicate Limited Project



**ENDORSEMENT TABLE**

This Local Development Plan is endorsed by the City of Mandurah.

Manager of Planning and Land Services	
Date	

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