

Local Development Plan R-Code Variations

1 OVERVIEW

- The requirements of the City of Mandurah Town Planning Scheme No. 3, the Residential Design Codes (R-codes), and Local Planning Policy No. 1 – Residential Design Codes Policy apply, unless otherwise provided below.
- The following standards represent variations to the deemed-to-comply provisions of the R-Codes and constitute new deemed-to-comply provisions pursuant to the R-Codes, or are deemed to meet the relevant Design Principles of the R-Codes.

2 SCHEME AND RESIDENTIAL DESIGN CODE VARIATIONS

- Planning approval is not required for the erection of a single house on lots smaller than 260m².
- Where variations to the provisions of the LDP and R-Codes are sought, an approval through a Codes Variation Application will be required.
- The requirements to consult with adjoining or other land owners to achieve a variation to the R-Codes described in this LDP are not required where the design complies with the following criteria.
- The erection or extension of a single house on a lot contained within this LDP, which satisfies the requirements of the Residential Design Codes and this LDP, is exempt from the requirement to obtain development approval.

3 STREETScape AND SETBACK REQUIREMENTS

R25 Lots			
Criteria	Location	Minimum	Requirements
Primary Street	All lots, except lots 157-160, 177-180, 536-537, 539 – 541, 549-550 and 555	3.0m	<ul style="list-style-type: none"> This is an absolute minimum.
	Lots 157-160, 177-180, 536-537, 539 – 541, 549-550 and 555	2.0m	
Secondary Street	All lots (except RMD coded lots)	1.0m	<ul style="list-style-type: none"> This is an absolute minimum.
Garage	All lots	As per R-Codes	<ul style="list-style-type: none"> 14% maximum driveway grade permitted. Garage setback or finished floor level shall be adjusted accordingly.
Side boundary (other than Secondary Street and POS)	All lots (except RMD coded lots)	Nil	<ul style="list-style-type: none"> One side boundary only. Maximum total length determined by front and rear setbacks.
Public Open Space boundary	Lots 581-585	3.0m	<ul style="list-style-type: none"> Averaging permitted (as per R-Codes) This is an absolute minimum
	Lot 564 and Lots 566 and 581 – side boundary	1.5m	

R40 Lots			
Criteria	Location	Minimum	Requirements
Primary Street	All lots	2.0m	<ul style="list-style-type: none"> This is an absolute minimum.
Laneway	Garage – all lots	0.5m	
	Dwelling – ground level, all lots	1.5m	
Dwelling – upper levels, all lots	0.5m		
Side boundary (other than Secondary Street)	All lots, except lots 167-170, 250 and 1079-1082	Nil	<ul style="list-style-type: none"> Both side boundaries. Permitted to all levels. Maximum total length determined by front and rear setbacks.
Garage	Lots 167-170, 250 and 1079-1082	As per R-Codes	<ul style="list-style-type: none"> 14% maximum driveway grade permitted. Garage setback or finished floor level shall be adjusted accordingly.

- For all corner lots, the dwelling shall include at least one habitable room major opening with a clear view of the Secondary Street (not applicable to laneways) and must not be obscured by visually impermeable fencing.
- Where front fencing is not supplied by the Developer and is deemed necessary, the fence is limited to a maximum height of 1.2 metres.
- Where visually permeable fencing is supplied by the Developer and is deemed necessary, the fence shall not be altered or be obscured.
- Due to as-constructed finished lot levels, some lots may not be able to achieve the minimum setback allowances as detailed in the tables above, without modification to the lot and site specific house design.
- For lots 138 and 145 garages can be located and accessed from the laneway, or primary street.
- For lots 581-585, the major entry and primary facade of the dwelling shall be oriented towards the adjoining road.
- For lots 581-585, dwellings shall have one or more major opening(s) to a habitable room and an outdoor living area facing and allow unobstructed view of the POS.
- For lots 564 and 566, the dwellings shall have one or more major opening(s) to a habitable room facing and allowing an unobstructed view of the POS.
- Where visually permeable fencing is supplied by the Developer and is deemed necessary, the fence shall not be altered or be obscured.

4 OPEN SPACE REQUIREMENTS

Location	Minimum	Requirements
R25, except lots 157-160, 177-180, 536-537, 539 – 541, 549-550 and 555	40%	<ul style="list-style-type: none"> No dimension of the Outdoor Living Area (OLA) shall be less than 4m.
Lots 157-160, 177-180, 536-537, 539 – 541, 549-550 and 555	35%	<ul style="list-style-type: none"> No dimension of the Outdoor Living Area (OLA) shall be less than 4m.
R40 Lots	35%	<ul style="list-style-type: none"> Unless varied below.
	30%	<ul style="list-style-type: none"> Permitted where OLA minimum area is 24m² and minimum size is 4m x 6m.

- An unenclosed balcony (roofed or open) with an area of 10m² or greater can be included as part of the minimum open space calculation.
- Outdoor living areas are permitted to be located within the front setback area and shall be constructed to maintain surveillance and activation of the adjoining streetscape.

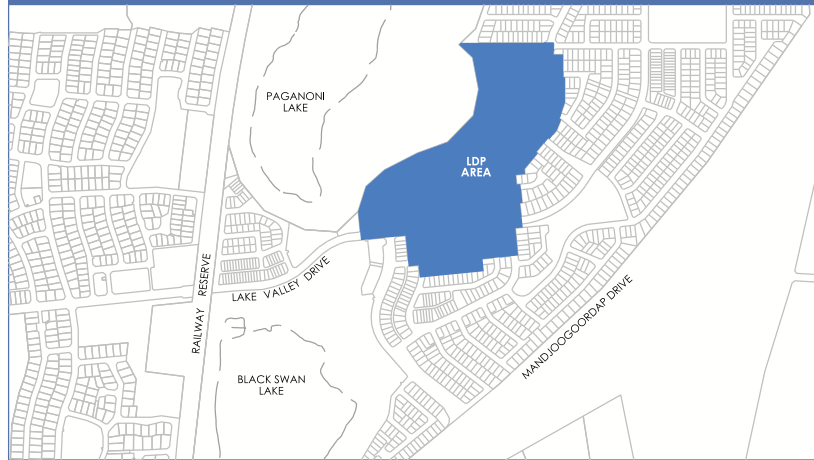
5 DESIGN FOR CLIMATE REQUIREMENTS

- Lots on this LDP are exempt from R-Codes provisions determining solar access for adjoining sites.

6 INCIDENTAL DEVELOPMENT REQUIREMENTS

- Where outbuildings are proposed, they must be designed and constructed from materials to match or compliment the dwelling when visible from the public realm (POS and street, but not a laneway).
- The Buyer in consultation with their builder to accommodate drainage onsite for each dwelling as per BCA standards.

Location Plan



Legend

- Extent of Local Development Plan
- R25 Subject Lots
- R40 Subject Lots
- R-MD-25 Subject Lots
- No Vehicle Access Permitted
- 3m Primary Street Setback
- 2m Primary Street Setback
- Dwelling Orientation
- Visually Permeable Fencing

