

LOCAL DEVELOPMENT PLAN NO.1

CITY OF SWAN
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11 July 2023

General

Unless provided for below, the provisions of the City of Swan Local Planning Scheme No.17, the Brabham Local Structure Plan and the Residential Design Codes Volume 1 (R-Codes) apply.

This LDP operates in conjunction with the requirements to the R-Codes by applying additional controls or by varying Deemed-to-comply requirements. Where this LDP varies any requirements of the R-Codes, compliance shall be deemed to constitute Deemed-to-comply and neighbour consultation with respect to those items is not required.

Public Open Space (POS) Interface

- Dwellings adjoining POS shall have a minimum of one habitable room with a major opening that has clear view of the POS.
- Fencing along boundaries abutting POS shall have a maximum height of 1.8m and be visually permeable (as defined under the R-Codes) more than 1.2m above natural ground level.
- Side boundary fencing to public open space (Lot 140) may be solid to 1.8m behind the primary street setback line.
- Enclosed, non-habitable structures such as storage sheds are only permitted where visible from the POS if attached to the dwelling and constructed of the same materials as the dwelling. Unenclosed, non-habitable structures such as gazebos, patios and pergolas are exempt from this provision.
- All clothes drying areas shall be screened from the POS.

Vehicle Access

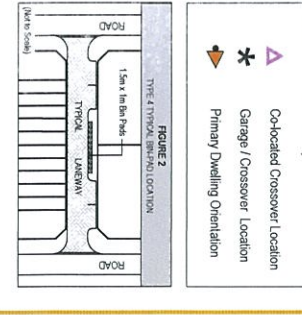
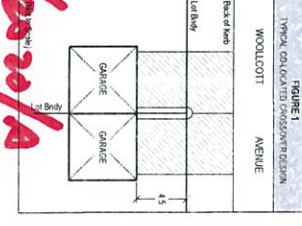
- For lots 79 - 86, 264 - 267, 216 - 311, 312 - 330 fronting Woolcock Avenue, access to on site car parking is permitted from Woolcock Avenue. Crossovers shall be located to provide access to garage locations where identified on this LDP.
- For lots 79 - 85, 264 - 267, 276 - 311, 313, 330 fronting Woolcock Avenue, crossovers shall be co-located where identified on this LDP. See also Figure 1 for indicative co-located crossover design.
- For lots 75, 331, 352, 353 access to on site car parking is not permitted from Woolcock Avenue and shall be provided from alternative streets. Crossovers shall be located to provide access to garage locations where identified on this LDP.
- For corner lots 77, 86, 264, 267, 276, 311 & 312 vehicle access is permitted from the primary street frontage.

Waste Collection

- For Lot Type 1 and lot 140, a 1.5m wide x 1m deep bin collection space shall be provided adjacent to the laneway.
- For Lot Type 4 (excluding lot 140) a bin pad 1.5m wide x 1m deep shall be provided per dwelling within the laneway in the location identified within Figure 2.

Built Form Requirements

- Refer attachment 1 & 2.



ENDORSEMENT TABLE
City Ref. No. _____
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ATTACHMENT 1 - BUILT FORM REQUIREMENTS

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Lot Type	Street Setbacks	Building Height / Lot Boundary Setbacks	Outdoor Living Area	Garage Setback	Parking	Overshadowing	Privacy
1 (6m)	<ul style="list-style-type: none"> R80 2m minimum, no average. 1m to porch / veranda, no maximum length. R80 As per R-Codes. 	<ul style="list-style-type: none"> Boundary walls with a height of 3.5m or less are permitted to both side boundaries with no maximum length. Boundary walls with a minimum height of 5.4m and a maximum height of 7m are required to both side boundaries and are permitted for a maximum length of 60% of the length of the lot boundary in the locations identified on this LDP. The external surface of exposed side boundary walls shall be finished with complementary colours and materials to match the remainder of the dwelling. 	<ul style="list-style-type: none"> An outdoor living area with an area of 10% of the lot size or 20m², whichever is the greater, directly accessible from a habitable room of the dwelling and located behind the street setback area. At least 70% of the outdoor living area must be uncovered. This includes areas under eaves which adjoin uncovered areas. The outdoor living area has a minimum dimension of 3m. No other R-Code site cover requirements apply. 	<ul style="list-style-type: none"> Garages shall be setback a minimum of 1m from a laneway. 	<ul style="list-style-type: none"> One on-site bay where the dwelling has two bedrooms or less. 	<ul style="list-style-type: none"> The solar access requirements of the R-Codes do not apply. 	<ul style="list-style-type: none"> The visual privacy provisions of the R-Codes do not apply.
2 (6.2m front loaded)	<ul style="list-style-type: none"> R80 As per R-Codes. 	<ul style="list-style-type: none"> Two-storey boundary walls with a maximum height of 7m are permitted to both side boundaries with a maximum length of 1/3 the length of the lot boundary in the locations identified on this LDP. For lots 184, 197, 211 and 216 boundary walls are limited to a maximum height of 3.5m where abutting lots external to the LDP area. The external surface of exposed side boundary walls shall be finished with complementary colours and materials to match the remainder of the dwelling. 	<ul style="list-style-type: none"> An outdoor living area with an area of 10% of the lot size or 20m², whichever is the greater, directly accessible from a habitable room of the dwelling and located behind the street setback area. At least 70% of the outdoor living area must be uncovered. This includes areas under eaves which adjoin uncovered areas. The outdoor living area shall include a primary space with a minimum dimension of 3m and a minimum area of 12m². A secondary space (where required) must directly adjoin the primary space and shall have a minimum dimension of 2m. No other R-Code site cover requirements apply. 	<ul style="list-style-type: none"> As per R-Codes. 	<ul style="list-style-type: none"> One on-site bay where the dwelling has two bedrooms or less. 	<ul style="list-style-type: none"> The solar access requirements of the R-Codes do not apply. 	<ul style="list-style-type: none"> The visual privacy provisions of the R-Codes do not apply.



ENDORSEMENT TABLE

City Ref No: *2017/12/2023*

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ATTACHMENT 2 - BUILT FORM REQUIREMENTS

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Lot Type	Street Setbacks	Building Height / Lot Boundary Setbacks	Outdoor Living Area	Garage Setback	Parking	Overshadowing	Privacy
3 (Urban Garage)	<ul style="list-style-type: none"> Buildings shall be setback a minimum of 0.5m from the Primary Street. Buildings shall be setback a minimum of 0.5m from the corner truncation and secondary street boundary. 	<p>Building height:</p> <ul style="list-style-type: none"> Top of external wall (roof above) - 9m. Top of external wall (concealed roof) - 10.5m Top of pitched roof - 12m. <p>Boundary Setbacks:</p> <ul style="list-style-type: none"> Boundary walls with a maximum height of 10m are permitted to side and rear boundaries with no maximum length. For lot 237 boundary walls are limited to a maximum height of 7m. The external surface of boundary walls shall be finished with complementary colours and materials to match the remainder of the dwelling. Buildings shall be setback a minimum of 1m from boundaries abutting public open space. 	<ul style="list-style-type: none"> An outdoor living area shall be provided as a balcony with a minimum area of 10m² directly accessible from a habitable room of the dwelling. The outdoor living area shall include a primary space with a minimum dimension of 3m and a minimum area of 12m². A secondary space (where required) must directly adjoin the primary space and shall have a minimum dimension of 2m. Balconies must face the street. No other R-Code site cover requirements apply, including maximum cover of outdoor living areas. 	<ul style="list-style-type: none"> Garages shall be setback a minimum of 1.5m from the primary street and must be setback a minimum of 0.5m behind the alignment of the main building or balcony (where located above). 	<ul style="list-style-type: none"> One on-site bay where the dwelling has two bedrooms or less. 	<ul style="list-style-type: none"> The solar access requirements of the R-Codes do not apply. 	<ul style="list-style-type: none"> The visual privacy provisions of the R-Codes do not apply.
4 (3.8m rear loaded)	<ul style="list-style-type: none"> The ground floor shall be setback a minimum of 1m from boundaries abutting public open space. Upper floors shall be setback a minimum of 0.5m from boundaries abutting public open space. 	<p>Building height:</p> <ul style="list-style-type: none"> Top of external wall (roof above) - 9m. Top of external wall (concealed roof) - 10.5m Top of pitched roof - 12m. <p>Boundary Setbacks:</p> <ul style="list-style-type: none"> Boundary walls with a maximum height of 7m are permitted to both side boundaries with no maximum length. Boundary walls with a maximum height of 10m and a maximum length of 60% of the length of the lot boundary are permitted to both side boundaries in the locations identified on this LDP. The external surface of exposed side boundary walls shall be finished with complementary colours and materials to match the remainder of the dwelling. Buildings shall be setback a minimum of 1m from boundaries abutting public open space. 	<ul style="list-style-type: none"> An outdoor living area with an area of 10 of the lot size or 18m², whichever is the greater, directly accessible from a habitable room of the dwelling and located behind the street setback area. At least 70% of the outdoor living area must be uncovered. This includes areas under eaves which adjoin uncovered areas. The outdoor living area has a minimum dimension of 3m. No other R-Code site cover requirements apply. 	<ul style="list-style-type: none"> Garages shall be setback a minimum of 0.5m from a laneway with the exception of lot 140, which shall be setback 1.0m. 	<ul style="list-style-type: none"> One on-site bay where the dwelling has two bedrooms or less. 	<ul style="list-style-type: none"> The solar access requirements of the R-Codes do not apply. 	<ul style="list-style-type: none"> The visual privacy provisions of the R-Codes do not apply.



ENGINEERING TABLE

City Ref. No. **22/17/2023/A**

Date **27/7/23**

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Designated Officer: City of Swan
 This Land Development Plan has been approved under the Design and Planning Act 2015.
 The Planning and Development (Local Planning Schemes) Regulations 2015.