

LOCAL DEVELOPMENT PLAN No.5

General

Unless provided for below, the provisions of the City of Swan Local Planning Scheme No. 17, the First Stage Brabham Local Structure Plan, the Residential Design Codes Volume 1 (R-Codes) and POL-LP-11 Variation to deemed-to-comply requirements of the R-Codes - Medium density single house development standards (R-MD Codes) apply.

This LDP operates in conjunction with the requirements of the R-Codes and R-MD Codes by applying additional controls or by varying 'Deemed-to-comply' requirements. Where this LDP varies the requirements of the R-Codes or R-MD Codes, compliance shall be deemed to constitute 'Deemed-to-comply' and neighbour consultation with respect to those items is not required.

Public Open Space (POS) Interface (Lots 956, 950, 951, 955, 795, 799, 800, 801 and 791)

- Buildings shall be setback a minimum of 2m from the rear boundaries abutting POS where identified on this LDP.
- Buildings shall be setback a minimum of 1m from the side boundaries abutting POS where identified on this LDP.
- Dwellings adjoining POS shall have a minimum of one habitable room with a major opening that has clear view of the POS.
- Fencing along boundaries abutting POS shall have a maximum height of 1.8m and be visually permeable (as defined under the R-Codes) above 1.2m of natural ground level where identified on this LDP.
- Enclosed, non-habitable structures such as storage sheds are only permitted where visible from the POS if attached to the dwelling and constructed of the same materials as the dwelling. Unenclosed, non-habitable structures such as gazebos, patios and pergolas are exempt from this provision.

Vehicle Access

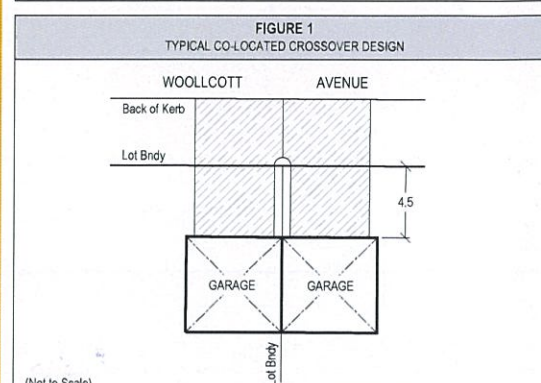
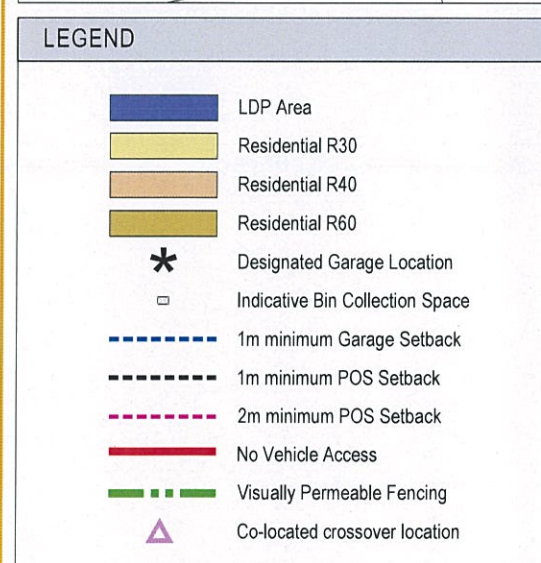
- For lots 820-823, 860-863 and 760 garages shall be located where designated on this LDP.
- For lots 821, 822, 861 and 862 fronting Woollcott Avenue, crossovers shall be co-located where identified on this LDP, as indicatively shown in Figure 1.

Garage Setbacks (Lots 876 - 868)

- Garages shall be setback a minimum of 1m from a laneway.

Waste Collection (Lots 876 - 868)

- Lots identified on this LDP shall provide a 1.5m x 1m deep bin collection space within the lot boundary, adjacent to the laneway.



ENDORSEMENT TABLE
 City Ref. No. *20/2/23*
 Date *20/7/23*
 Delegated Officer, City of Swan

This Local Development Plan has been approved under delegation in accordance with Clause 52(1)(a) of the Planning and Development (Local Planning Schemes) Regulations 2015.